



**Planning Commission
Agenda
June 6, 2017**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**

1. Lot 19, Block 3, Deming's Addition **Lot Split**
NW 'A' Street

2. Lot 29, Block 5, Dunn & Davis Addition **Property Line Adjustment**
SW 6th & SW 'B' Street

3. Lot 3 Food Hub Addition & **Property Line Adjustment**
Lot 3, Market Addition
801 SE 8th Street

IV. New Business

1. Sewell Family Trust **General Plan Amendment***
(Agriculture to Low Density Res.)
Southwest 'H' Street (Hwy 112)

2. Deb Farms Adventures Inc. **General Plan Amendment***
(Agriculture to Low Density Res.)
Southwest Barron Road & Piercy Road

3. Real Assets Inc. **General Plan Amendment***
(Low Density Res. to Office)
2415 Southwest Regional Airport Blvd.

4. Carroll Electric Cooperative Corp. **Rezoning***
(A-1 to C-2)
707 South Walton Blvd.

5. ESM Events & BITE, et.al. (Food Hub NWA, LLC) **Conditional Use***
801 Southeast 8th Street, Suite 47

6. Lots 1, 2 & 3 ROC Subdivision **Lot Split**
Rice Road

7. Lots 11-15 Southside Addition **Lot Split**
SE 'A' Street & SE 7th Street

8. All Pets Parking Lot Expansion **Large Scale Development**
209 North Walton Blvd.

(continued)

9. Carroll Electric **Large Scale Development**
707 SE Walton Blvd.

10. Bentonville Brewing Co. **Large Scale Development**
1401 SE Griffin Drive

11. The ROC Offices Phase 1 & 2 **Large Scale Development**
Rice Road

V. Other Business

- a. **Bentonville Development Tour – June 7th @ 3:00.**
- b. **Planning Commission Training Workshop – June 28th @ the Arkansas Municipal League, North Little Rock, AR, form 8:30am -4:30pm**

VI. Planner's Report

VII. Adjournment

Planning Commission
Minutes
May 16, 2017

Meeting called to order at 5:00 p.m. by Greg Matteri, Chairman.

Present: Joe Haynie, Scott Eccleston, Jim Grider, Tregg Brown, Greg Matteri, Richard Binns, and Rod Sanders
Staff: Beau Thompson and Jon Stanley

Motion by Mr. Grider, seconded by Mr. Haynie to approve the minutes of May 2, 2017 as written
Approved 7-0

Consent Agenda

1. Lots 1 & 2 Opal Subdivision Lot Split
SW Opal Road, SW Barron Rd, & SW Regional Airport Blvd
2. Lot 10, Block 4, Deming's Addition Lot Split
405 Northwest 'A' Street
3. Lots 34, 35, & 36 Dickson's Addition Property Line Adjustment
West Central Avenue, Southwest 'F' Street, & Southwest 2nd Street

Motion by Mr. Sanders, seconded by Mr. Grider to move Item #1 (Lots 1 & 2 Opal Subdivision) off of the Consent Agenda
Approved 7-0
Consent Agenda
Approved 7-0

New Business

Item #1

Lots 1 & 2 Opal Subdivision: Lot Split, Southwest Opal Road, Southwest Barron Road, & Southwest Regional Airport Boulevard

Jon Stanley reads the staff report

Mr. Thompson states that the acreage may change, but will be worked out before it goes to City Council.

The right of way and easements will still be dedicated.

Approved 7-0

Item #2

Ehret: Rezoning, North Main Street & Northeast Monroe Street, R-1, Single Family Residential to DN-2, Downtown Medium-Density Residential

Jon Stanley reads the staff report

Opened public hearing

No public comments

Closed public hearing

Approved 7-0

Item #3

Bear State Bank: General Plan Amendment, Southwest 2nd Street & Northwest Elm Tree Road, Low Density Residential to Medium Density Residential

Jon Stanley reads the staff report

Opened public hearing

James Robertson opposes due to traffic conditions and pedestrians walking.

Dana Hope speaks next. She states that Coler Creek is to the south. She states that traffic on Highway 72 backs up and believes the area needs to be a garden.

Robert Carter is concerned above traffic. He is open to single-family homes.

Clint Brandon speaks next about his concerns for the large drainage ditch and trash dumpsters.

Mr. Thompson states that Low Density Residential allows single-family homes with 6 units per acre.

Medium Density is 12 per acre. He also states that the road improvements on Elm Tree Road will go to bid soon to help alleviate some of the traffic concerns.

Mr. Haynie asks what happens if the area stays Low Density Residential. Mr. Thompson replies that single-family homes are allowed, but the current regulations state that houses cannot have direct access to Southwest 2nd Street.

The Commissioners and Planners discuss access to the area.

Closed public hearing

Approved 7-0

Item #4

8th Street Treasures (King James Wine School, Inc.): Conditional Use, 801 Southeast 8th Street, Suite 47

Jon Stanley reads the staff report

Mr. Thompson states the applicant plans to regulate the alcohol consumption for private and public properties.

Opened public hearing

No public comments

Closed public hearing

Conditional Use is required as it is within 500 feet of the walking trails. This is 300 feet.

The applicant discusses the Conditional Use and the relation with the school with the Commissioners.

Mr. Thompson states that the only limitations the Planning Commission could apply could only be in regards to the proximity to the trail.

Mr. Sanders denied

Approved 6-1

Item #5

Lots 25, 26, 27, 28, & 29, Block 6, W.A. Burk's Addition: Lot Split, North Main Street & Northeast Monroe Street

Jon Stanley reads the staff report

No discussion from Commissioners.

Approved 7-0

Item #6

Lot 16 Crystal Bridges Addition & Lots 3 & 4 Martz Addition: Property Line Adjustment, 1107 Northeast 'J' Street

Jon Stanley reads the staff report

Mr. Eccleston abstains

Approved 6-1

Item #7

The District: Large Scale Development, Southwest 4th Street & Southwest 'C' Street

Jon Stanley reads staff report

Mr. Thompson states there is a recent update on the drainage issues.

Approved 7-0

Other Business

Bentonville Development Tour will be done June 7th from 3:00 – 5:00pm.

Meeting adjourned

Ali Worley

*A full recording of this meeting can be obtained from the City of Bentonville Planning Department.

LOT SPLIT STAFF REPORT



Lots 19, Block 3, Deming's Addition

NW A Street

PC Date: 6/6/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	16-05000048
Applicant / Current Owner	Phillips Revocable Trust, John Alan (Trustee) 661 Bridgeway Lane Naples, FL 34108
Site Area	0.47 acres
Current Zoning	R-1, Single Family Residential
Future Land Use Map Designation	Downtown High-Density Residential (D-HDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is currently vacant in a redeveloping neighborhood near the downtown square.

Project Details

The applicant has submitted a proposal for a lot split that will create one new lot from one existing parcel. The new lot will be known as Lot 19, (0.44 acres), Block 3 of Deming's Addition. Additional right-of-way will be dedicated along NW A Street per the current Master Street Plan. A 20'-wide utility easements will also be dedicated along NW A Street with the plat to serve the new lot. The newly created lot will have direct access to public utilities and a public street.

Projected Traffic Impact

The proposed lot split will not adversely impact traffic in the area. The property is located within the downtown area where the existing street grid network will provide adequate options for ingress and egress.

Utility Infrastructure

Per the GIS website, water and sewer are available at this location.

Drainage Report

A drainage report is not required.

Waivers

No waivers requested.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

Standard Conditions of Approval

1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

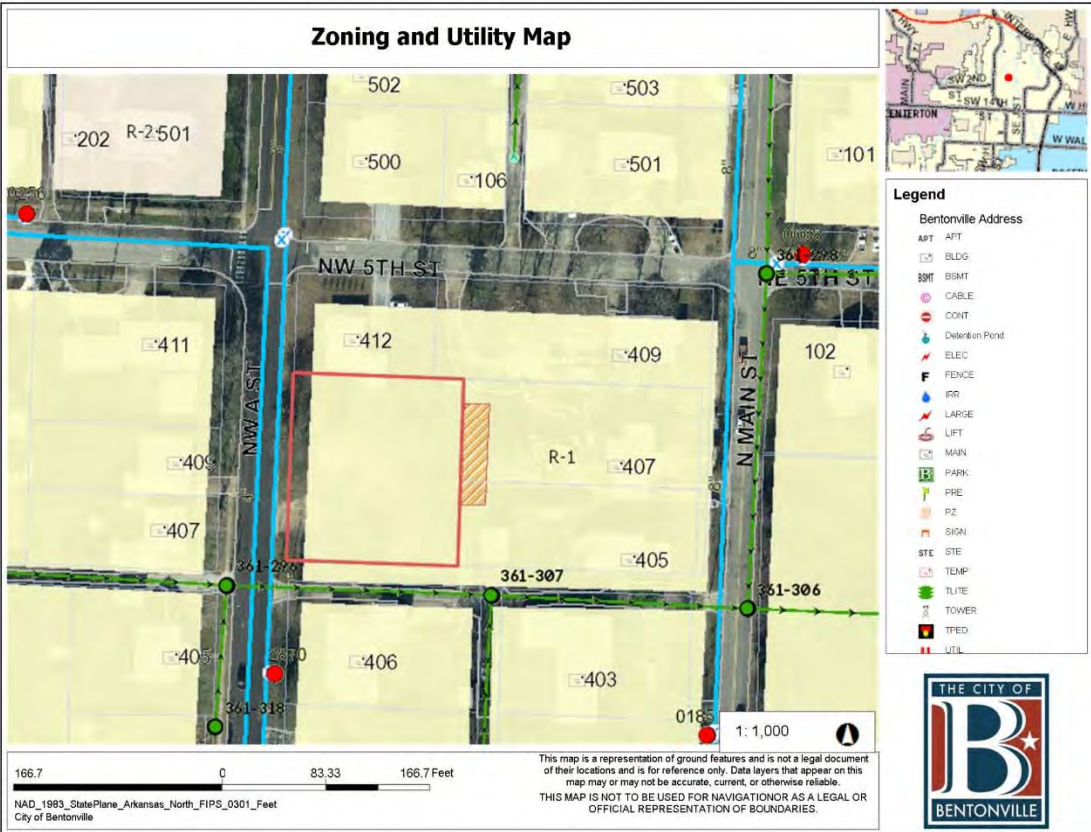
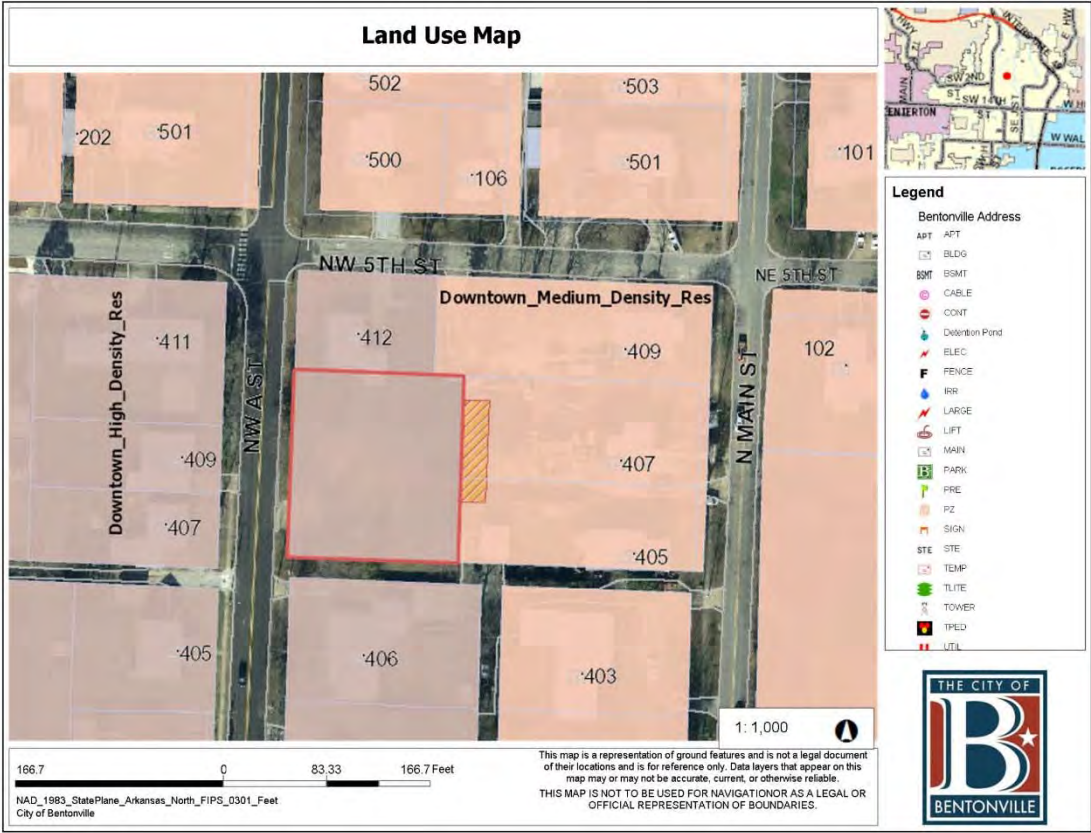
Recommendation

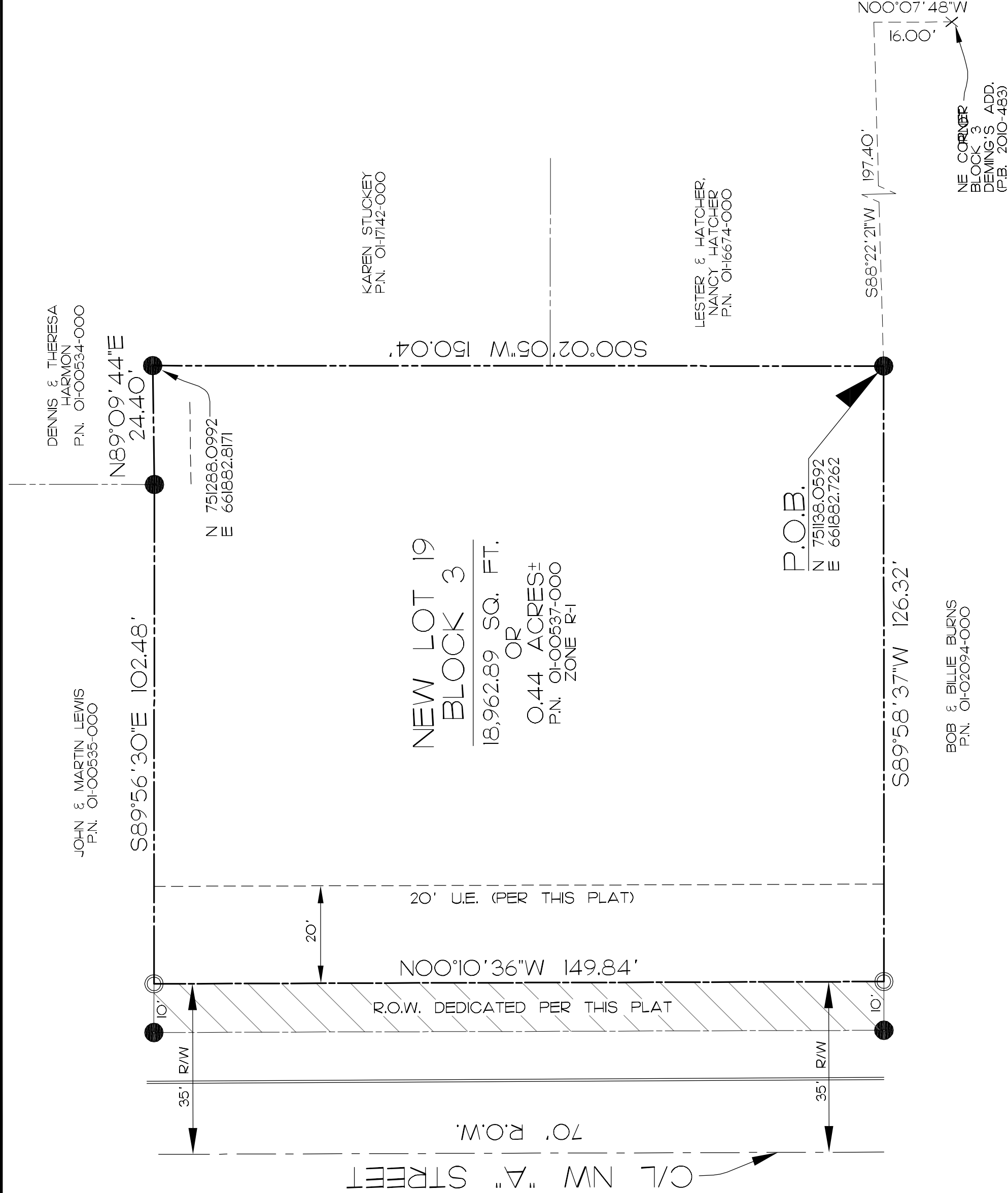
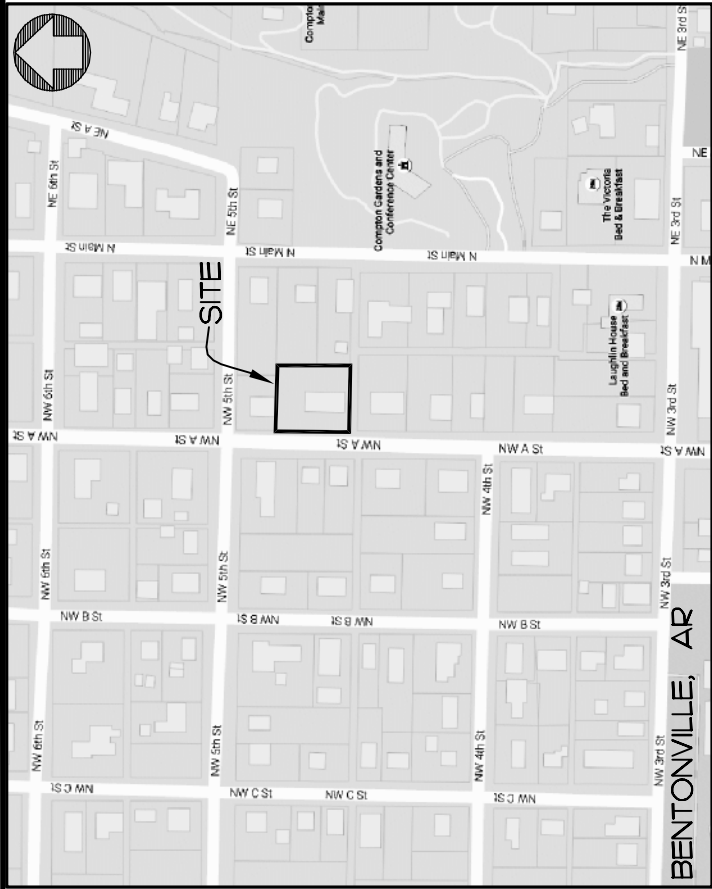
Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT





CERTIFICATE OF OWNERSHIP AND DEDICATION:

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____

PRINT NAME: _____

SIGNATURE: _____

STATE OF ARKANSAS, COUNTY OF BENTON, SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CERTIFICATE OF APPROVAL:

PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

SIGNED _____ PLANNING COMMISSION CHAIRPERSON

DATE OF EXECUTION: _____

SIGNED _____ MAYOR, CITY OF BENTONVILLE

SIGNED _____ CITY CLERK, CITY OF BENTONVILLE

FLOOD CERTIFICATION:

I CERTIFY THAT I HAVE EXAMINED THE F.I.A. OFFICIAL FLOOD INSURANCE HAZARD RATE MAP PANEL NO. 05007C0090J (EFFECTIVE DATE SEPTEMBER 28, 2007) AND FOUND THE DESCRIBED PROPERTY HEREON LIES IN ZONE 'X'. AN AREA HAVING NO SPECIAL FLOOD HAZARDS.

CERTIFICATE OF SURVEY ACCURACY:

I, ROBERT J. CASTER, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.

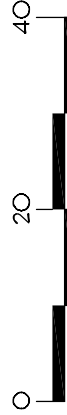
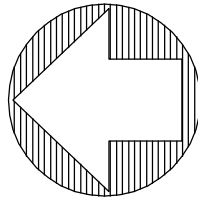
ROBERT J. CASTER, P.L.S. NO.1370, ARKANSAS

DATE

CERTIFICATE OF AUTHORIZATION
COA CERTIFICATE NUMBER: 3049

NOTES:

- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
- BASES OF BEARINGS: ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE.
- DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
- THE PROPERTY SHOWN HEREON IS ZONED R-1 (SINGLE FAMILY RESIDENTIAL) AND IS WITHIN THE CITY LIMITS OF BENTONVILLE, ARKANSAS. THE FRONT, SIDE AND REAR YARD REGULATIONS ARE AS FOLLOWS:
FRONT YARD: 20 FEET
SIDE YARD: 7 FEET (INTERIOR), 20 FEET (EXTERIOR)
REAR YARD: 25 FEET
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
- SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.
- THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.
- OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.
- BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
- 20' CLEARANCES FROM CENTER OF ELECTRIC OVER-HEAD POWER LINES TO ANY STRUCTURE.

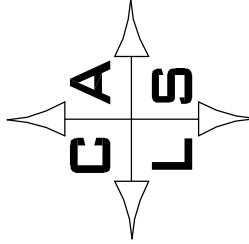


SCALE 1" = 20 FEET

PROJECT NUMBER 16-050000048

CASTER & ASSOCIATES
LAND SURVEYING, INC.

2715 SE 1st Street, Suite 5
Bentonville, AR 72712
Telephone 479-268-4464



SCALE: 1" = 20'

DATE: 5-25-17

LOT SPLIT
DEMINGS ADDITION CREATING
NEW LOT 19 BLOCK 3

410 NW 'A' STREET
BENTONVILLE, BENTON COUNTY,
ARKANSAS

JOB # 16-179

DRAWN BY: ASD

CHECKED BY: RJC

PAGE 1 OF 1

PROPERTY LINE ADJUSTMENT STAFF REPORT



Lot 29, Block 5, Dunn & Davis Addition

SW 6th Street & SW B St
Bentonville, AR 72712

PC Date: 6/6/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-07000022
Applicant / Current Owner	Bike Rack Redevelopment, LLC (Jake Newell) 101 SE G St Bentonville, AR 72712
Site Area	0.49 acres
Current Zoning	DE, Downtown Edge
Future Land Use Map Designation	Downtown Mixed Use Residential (DMUR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

The property is the location of four vacant Mixed Use residential lots in a rapidly redeveloping area in southwest downtown.

Project Details

The applicant has submitted a property line adjustment that will remove the common lot lines of four existing lots and will create one new lot. The new lot will be known as Lot 29 (0.49 acres), Block 5 of Dunn & Davis Addition. Per the requirements of the current Master Street Plan, a small portion of right-of-way will be dedicated along SW B Street. The new lot will have access to public utilities and a public street. An existing 12' alley to the west will allow any development on the new lot to be rear loaded.

Utility Infrastructure

Per the GIS website, water and sewer are available at this location.

Drainage Report

A drainage report is not required for this property line adjustment.

Waivers

No waivers requested.

Standard Conditions of Approval

1. Provide digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

Conclusion

This property line adjustment does meet the minimum requirements of the subdivision regulations.

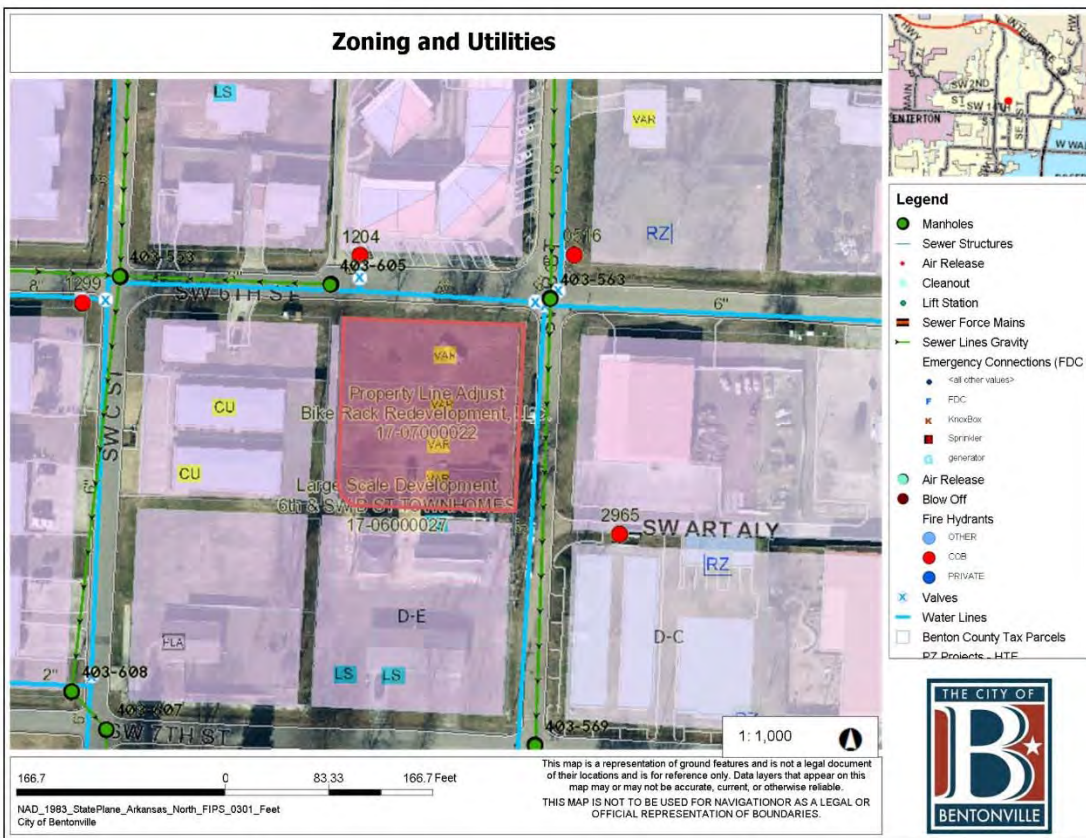
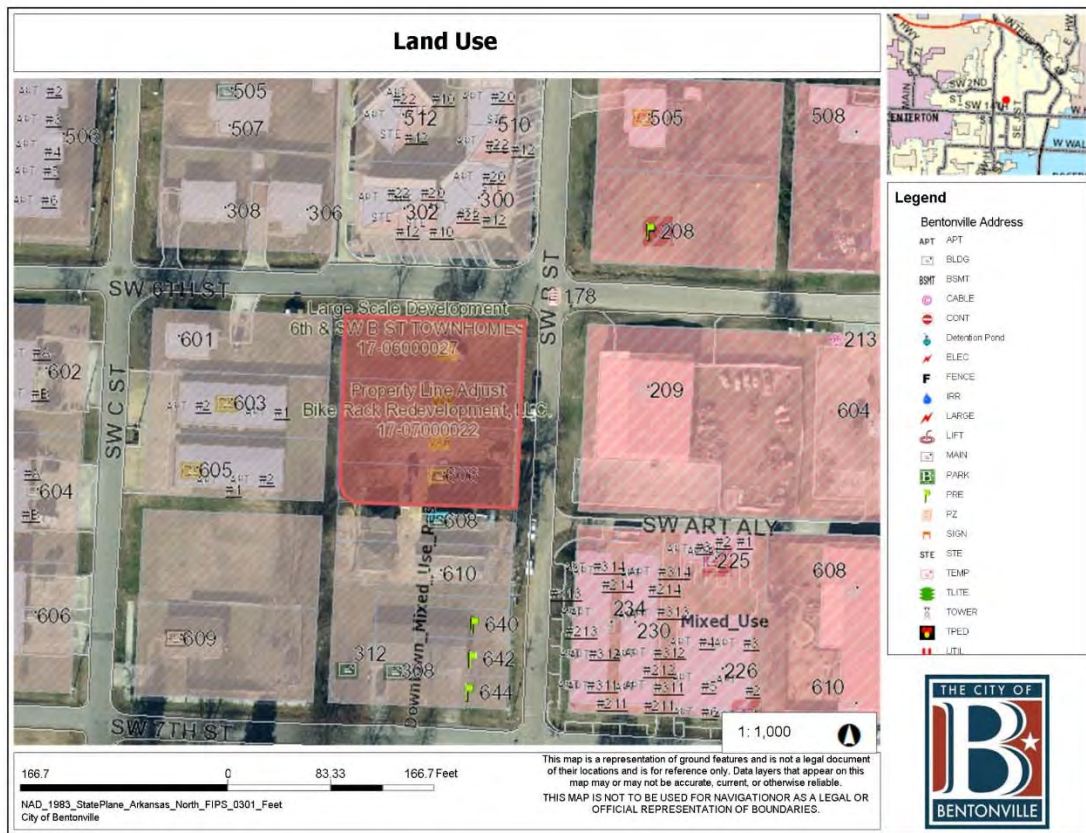
Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

PROPERTY LINE ADJUSTMENT STAFF REPORT

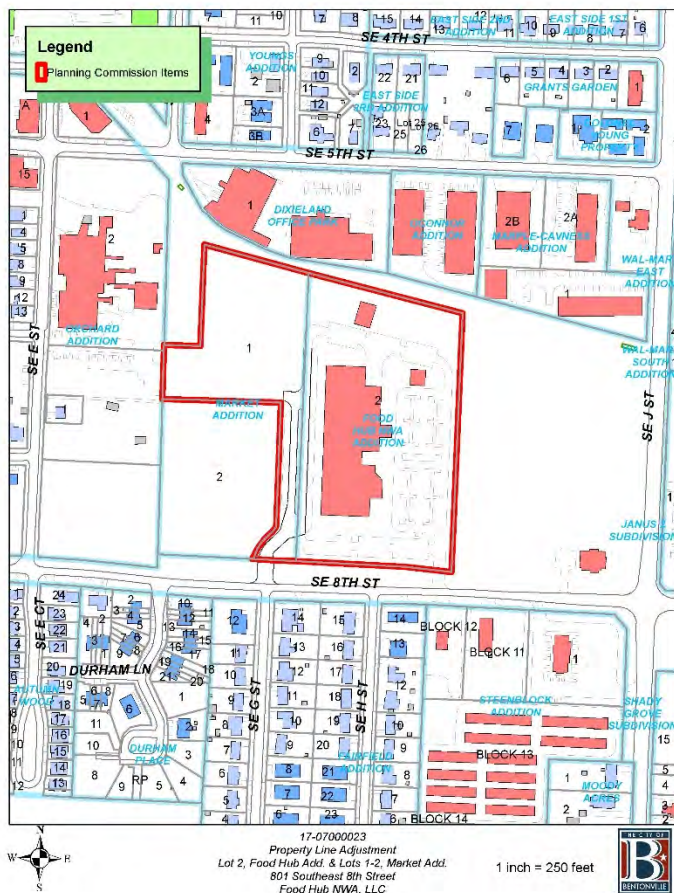


Reviewer: Jon Stanley, Planner

Project Number	17-07000023
Applicant / Current Owner	Food Hub NWA, LLC 700 SE 5 th Street Bentonville, AR 72712
Site Area	Lot 3 Food Hub Addition - 9.07 acres Lot 3 Market Addition - 4.45 acres 13.52 total acres combine
Current Zoning	C-2, General Commercial and I-2, Heavy Industry
Future Land Use Map Designation	Mixed Use (MU) and Downtown Mixed Use Residential (DMUR)

<http://geo.bentonvilliar.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of the newly renovated 8th Street Market located at 801 SE 8th Street and the contiguous vacant lot to the northwest.

Project Details

The applicant has submitted a property line adjustment that will dedicate right-of-way for the future expansion of SE 'G' Street between existing Lot 1 of the Market Addition and existing Lot 2 of the Food Hub NWA Addition. The two new lots will be known as Lot 3 Food Hub Addition and Lot 3 Market Addition. A 20' wide utility easement adjacent to the newly dedicated right-of-way is being dedicated with the plat. Each new lot has access to public utilities and a public road.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required for this property line adjustment.

Waivers

No waivers requested.

Standard Conditions of Approval

1. Provide digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

Conclusion

This property line adjustment does meet the minimum requirements of the subdivision regulations.

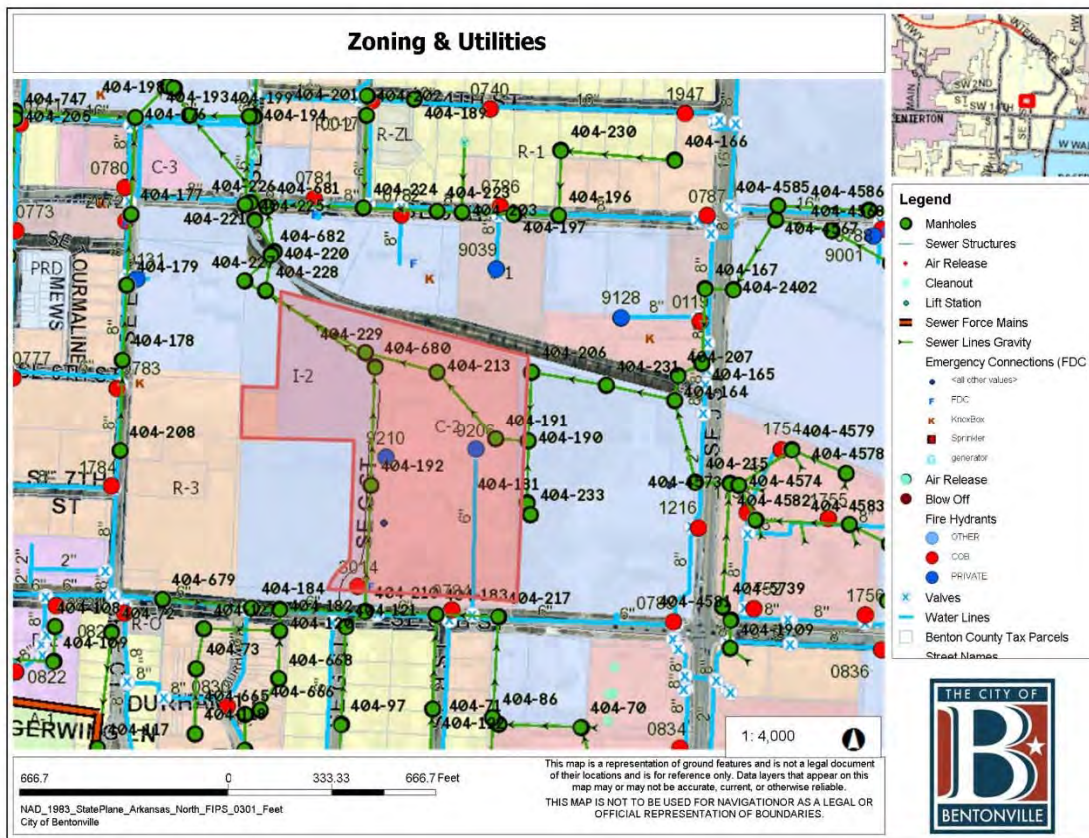
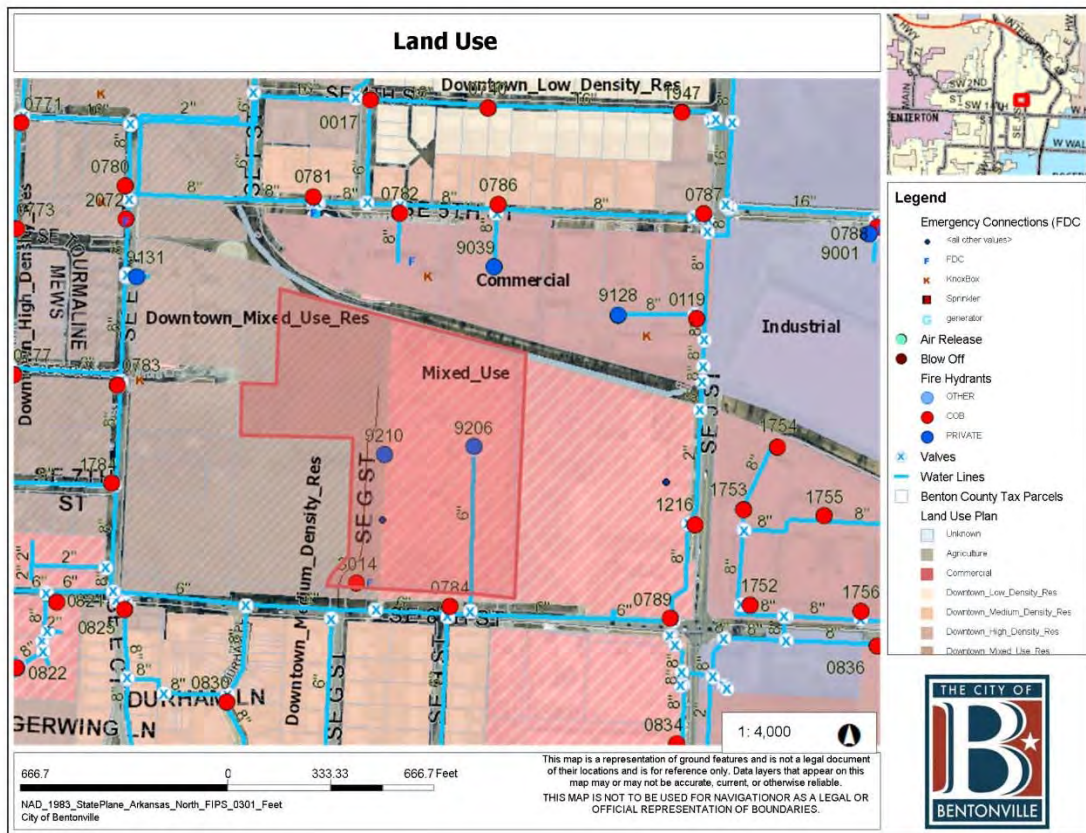
Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

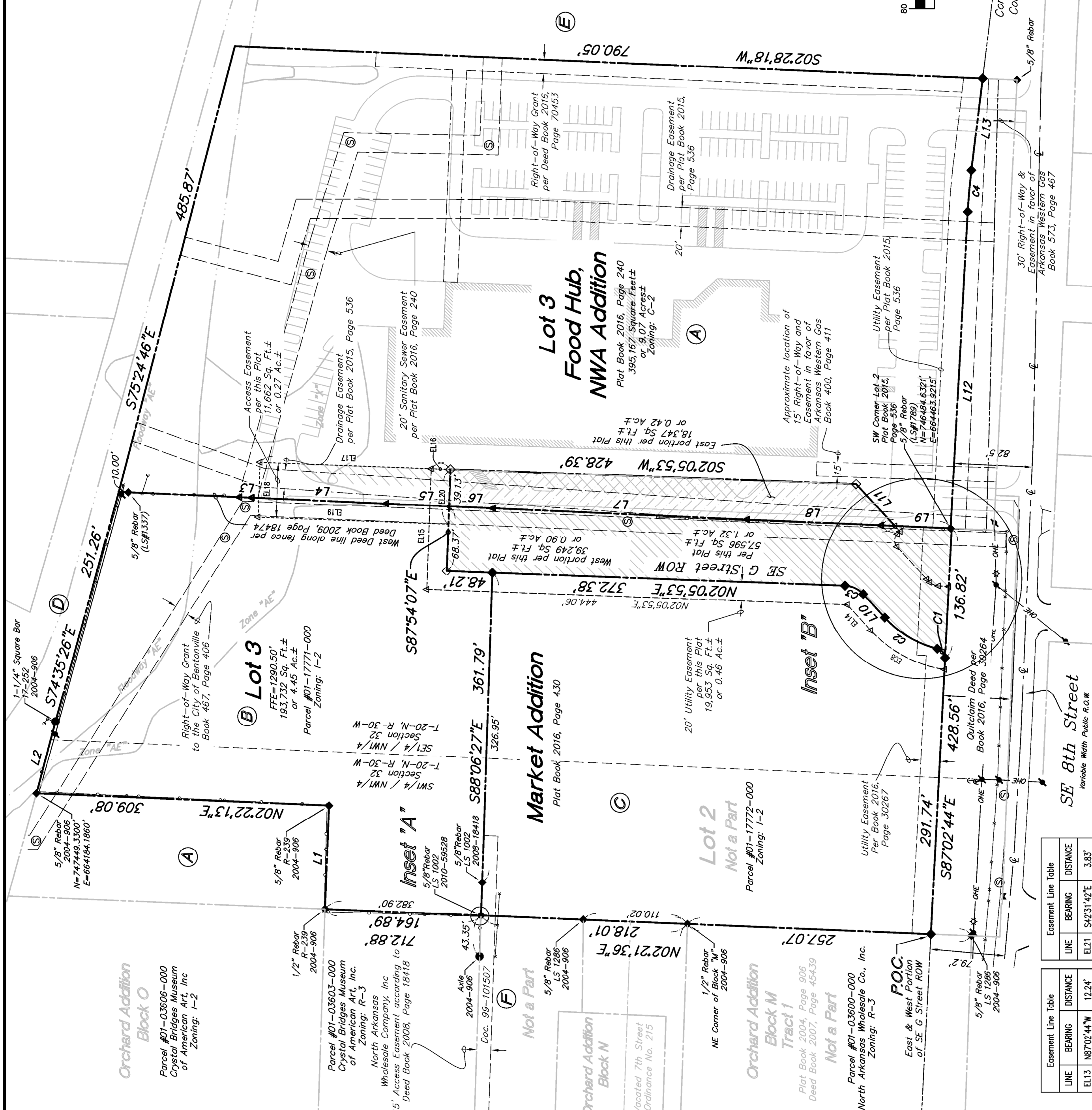
PROPERTY LINE ADJUSTMENT STAFF REPORT



LEGEND

- Boundary Line
- Adjoining Boundary Line
- Easement Line
- Right-of-Way Line
- Centerline
- Fence (Chainlink)
- Fence (Wire/Metal)
- Found Rebar (LS#1789) unless otherwise noted
- Set Rebar w/Cap (LS#1789)
- Found Aluminum Monument
- Found Pipe (As Noted)
- Found Chiseled "x"
- Sanitary Sewer Manhole
- Water Valve
- Guy Wire
- Light on Utility Pole
- Utility Pole

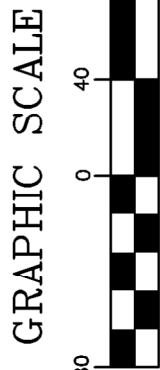
Benton County Recording Information



Property Line Table			Property	
Line #	Direction	Length	Line #	Dir
L7	S02°33'41"W	268.30'	L13	N82°
L8	S02°27'21"W	141.60'	L25	N87°
L9	S02°29'08"W	74.45'	L26	N87°
L10	N47°28'18"E	33.61'		
L11	S47°05'40"W	60.17'		
L12	N86°53'48"W	334.51'		

Property Line Table		Property Curve Table	
Direction	Length	Curve #	Radius
S87°42'44"E	109.26'	C1	10.00'
S75°08'38"E	78.59'	C2	111.50'
N02°14'57"E	12.93'	C3	27.50'
N02°35'44"E	142.13'	C4	642.00'
N02°25'42"E	66.31'		
S02°25'42"W	46.64'		

Property Curve Table			
Curve #	Radius	Length	Delta
C1	10.00'	13.75'	78°46'05"
C2	111.50'	65.34'	33°34'39"
C3	27.50'	21.78'	45°22'39"
C4	642.00'	43.81'	3°54'35"



(IN FEET)
1 inch = 80 ft.

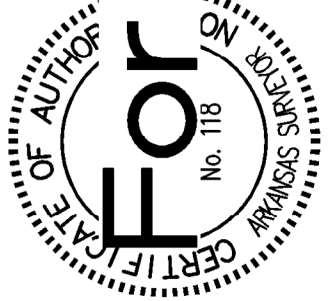
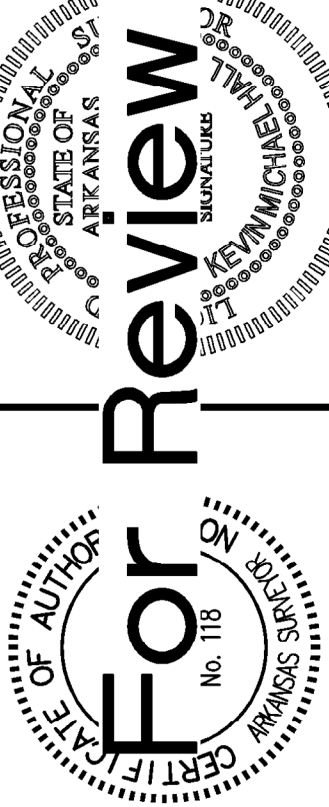
Convergence -116°52.53821"
Combined Scale Factor: 0.999970833
Computed for the Found 1/2" Rebar
at the NEC of Block "M".

Northing: 746762.29' US Ft.
Easting: 664046.45' US Ft.
Elevation=1301.57' US Ft.

Sheet 2 Lot Split Plat

State Plat Code: 500-20N-30W-0-32-420-04-1789

① 5/17/17		Addressed First Submittal Comments				
NO.	DATE	DESCRIPTION				
REVISIONS						
29507	5/22/17	KMH	TLP	KOD	KMH	
CEI PROJECT NO.	DATE	PLS	DRW	FLD	CHK'R	
Market Addition, and Food Hub NWA, Addition						
Engineering Associates, Inc.						
ENGINEERS • PLANNERS • SURVEYORS		LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS				
3108 SW Regency Parkway, Suite 2 Bentonville, AR 72712		PH: (479)273-9472 FAX: (479)273-0844		DATE 5/22/17 6:52 AM		
Lot Split Plat SE G Street		Arkansas		SHEET NO. 2 OF 3		
Bentonville,				Rev-1		



GENERAL PLAN AMENDMENT STAFF REPORT



Sewell Family Trust

SW H Street (Hwy 112)

PC Date: 6/6/2017

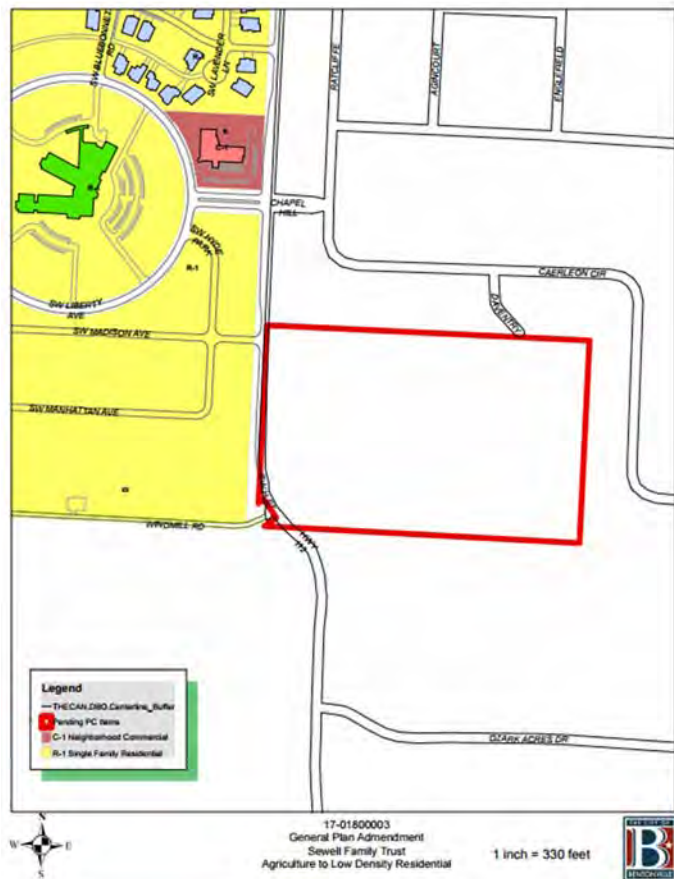
Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-01800003
Applicant/ Current Owner	Sewell Family Trust 1315 Chancery Cave Springs, AR 72718
Site Area	24.15 acres
Current Zoning	A-1, Agricultural
Current Future Land Use Map Designation	Agricultural (A)
Requested Future Land Use Map Designation	Low Density Residential (LDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is currently located within the City of Cave Springs, however, it is now in the detachment process to be annexed into the City of Bentonville. It is an agricultural designated parcel along SW H Street (HWY 112), south of St. Valery Downs subdivision.

Projected Traffic Impact

The proposed land use designation will not adversely impact traffic in the area. It is adjacent to State Hwy 112 which carries in excess of 10,000 vehicles per day. Careful consideration will be given to the location of any ingress/egress points onto Hwy 112 to establish safe lines of sight.

Utility Infrastructure

Per the GIS website, public water and sewer are available.

Relationship to the General Plan

Policy LU-23, Housing Types, within the General Plan suggests that the city should encourage the development of a mix of housing types to meet the needs of its residents throughout their lives. A proposed low density residential development will help to create additional density and reduce the impact on the city's infrastructure by utilizing existing public utilities and traffic networks.

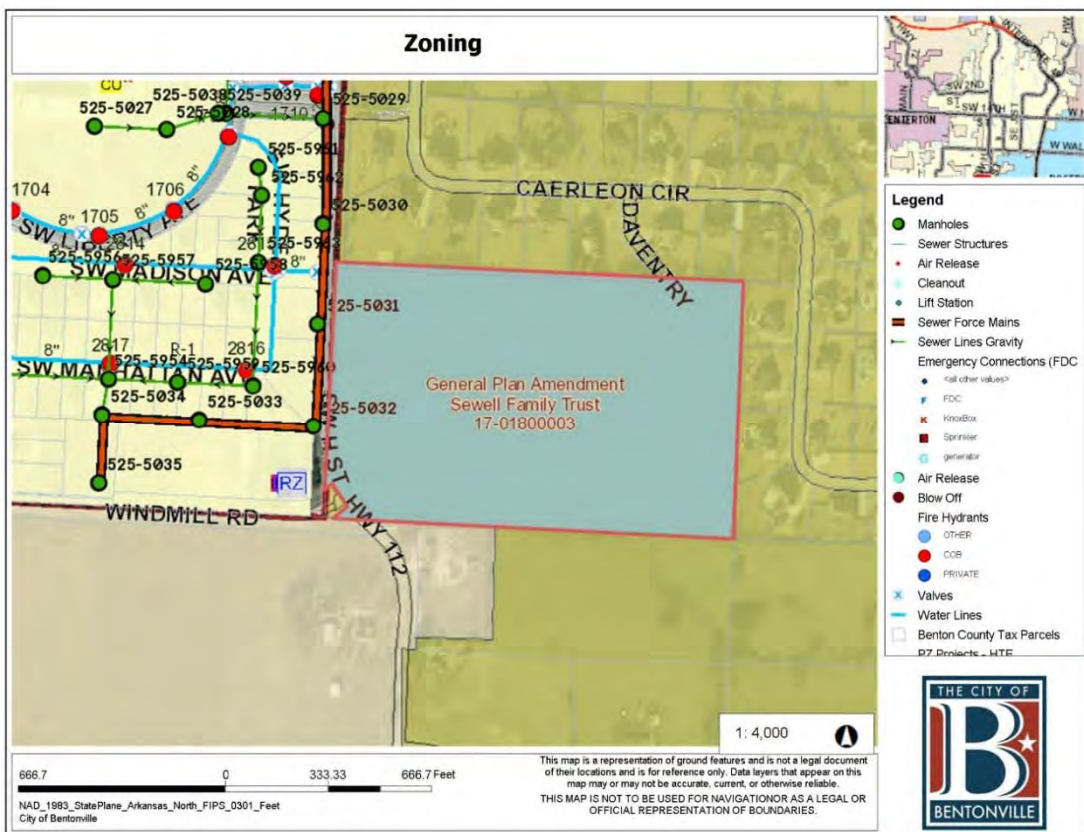
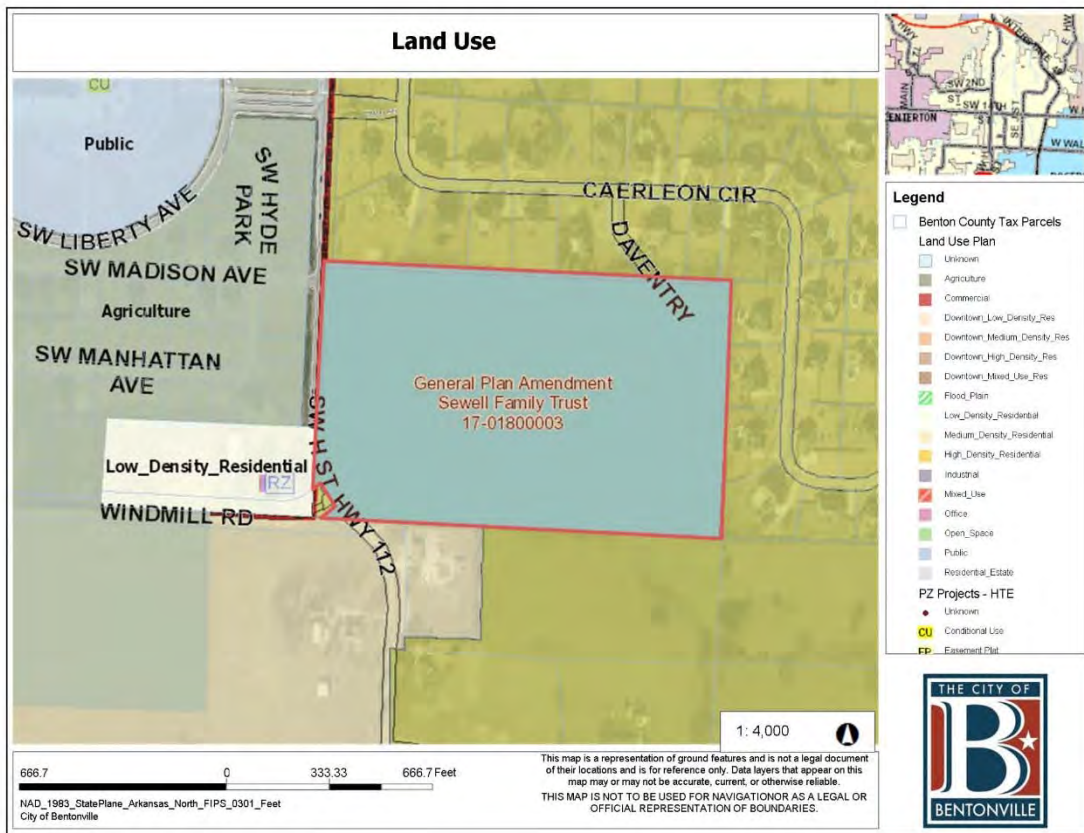
Analysis

In accordance with Zoning Ordinance Sec. 401.5 F, annexed property is accepted as A-1, thus the Future Land Use Plan depicts this property as Agricultural (A). The requested Future Land Use Map designation of Low Density Residential (LDR) is located along and near the intersection of two arterial streets. Additional residential units in the area will provide an opportunity for residents to live and work within the same area of the city. An Agricultural use at this location has the high likelihood to be non-compatible with the existing single-family subdivisions to the north and west. There are several ingress/egress opportunities that can be utilized in the development of the property that will help to facilitate traffic flow and reduce traffic congestion. Public utilities are readily available to the property.

Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval of this General Plan Amendment from Agricultural to Low Density Residential.

GENERAL PLAN AMENDMENT STAFF REPORT



Central Heights - Voluntary Land Use Plan Amendment Application Narrative.

The property in questions is 24.15 acres located along the east side of Highway 112, due south of St. Valery Downs Subdivision. This property has recently been annexed into the City of Bentonville and currently is not included in the City Land Use Plan. This application is to request the Land Use Plan be changed to include this property as Low Density Single Family.

The future plan for the property is to develop a single-family subdivision. Nestled in the middle of low density residential property, this land is perfectly suited for low density residential. To the north and east sits single family residential property in the City of Cave Springs. South of this property is undeveloped land in Cave Springs and to the west is single family residential in Bentonville.

There are no know reasons how this Land Use change to the subject property will adversely affect properties adjacent to or in the vicinity of this property. If the Land Use Plan is not changed and zoning changed to single family residential, it is likely this property will remain undeveloped for the foreseeable future.

GENERAL PLAN AMENDMENT STAFF REPORT



DEB Farm Adventures, Inc.

SW Barron Road & Piercy Road

PC Date: 6/6/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17- 01800004
Applicant/ Current Owner	Michael Payne, DEB Farms Adventures Inc. 11276 Talamore Blvd. Bentonville, AR 72712
Site Area	78.23 acres
Current Zoning	A-1, Agricultural
Current Future Land Use Map Designation	Agricultural (A)
Requested Future Land Use Map Designation	Low Density Residential (LDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of one recently annexed agricultural parcel situated northeast of the intersection of SW Barron Road and Piercy Road in the southwest region of the city.

Projected Traffic Impact

The proposed land use designation will not adversely impact traffic in the area.

Utility Infrastructure

Per the City's GIS website, public water and sewer are available at this location.

Relationship to the General Plan

Policy LU-23, Housing Types, within the General Plan suggest that the city should encourage the development of a mix of housing types to meet the needs of its residents throughout their lives. The proposed low density residential land use will help to create additional housing options for the city's residents and will utilize existing utility infrastructure.

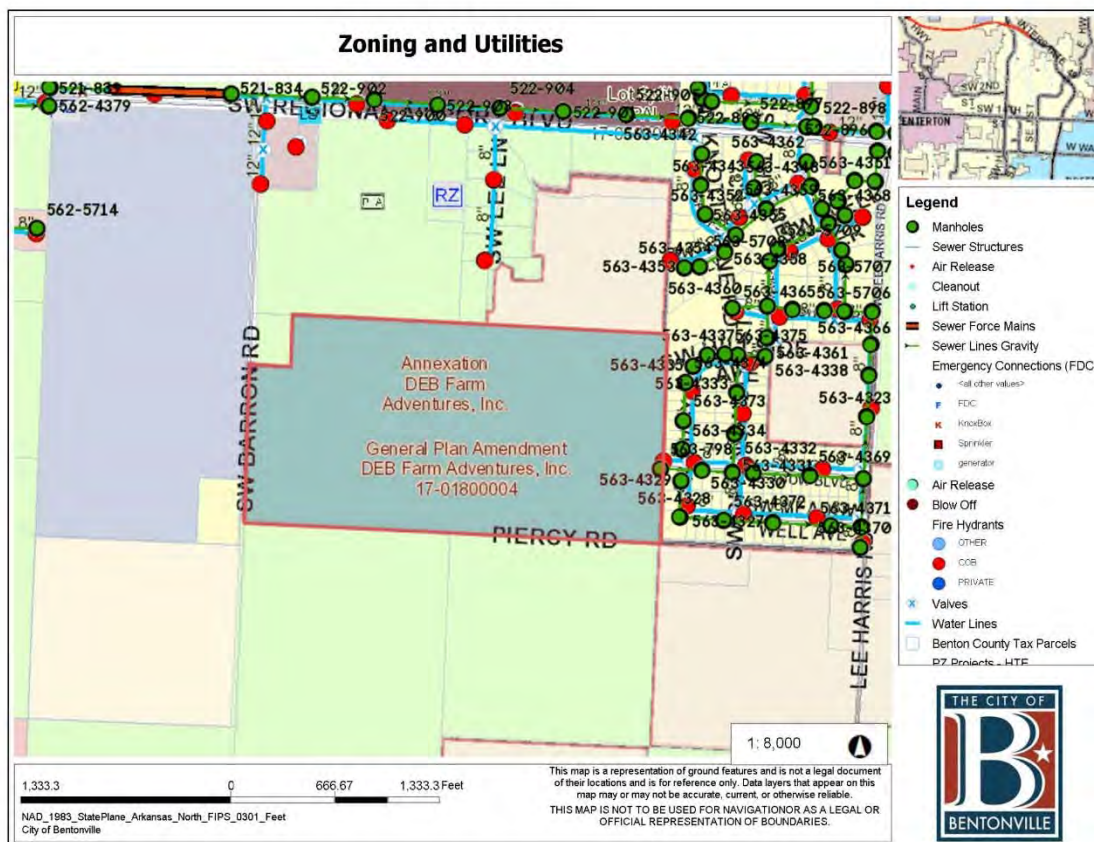
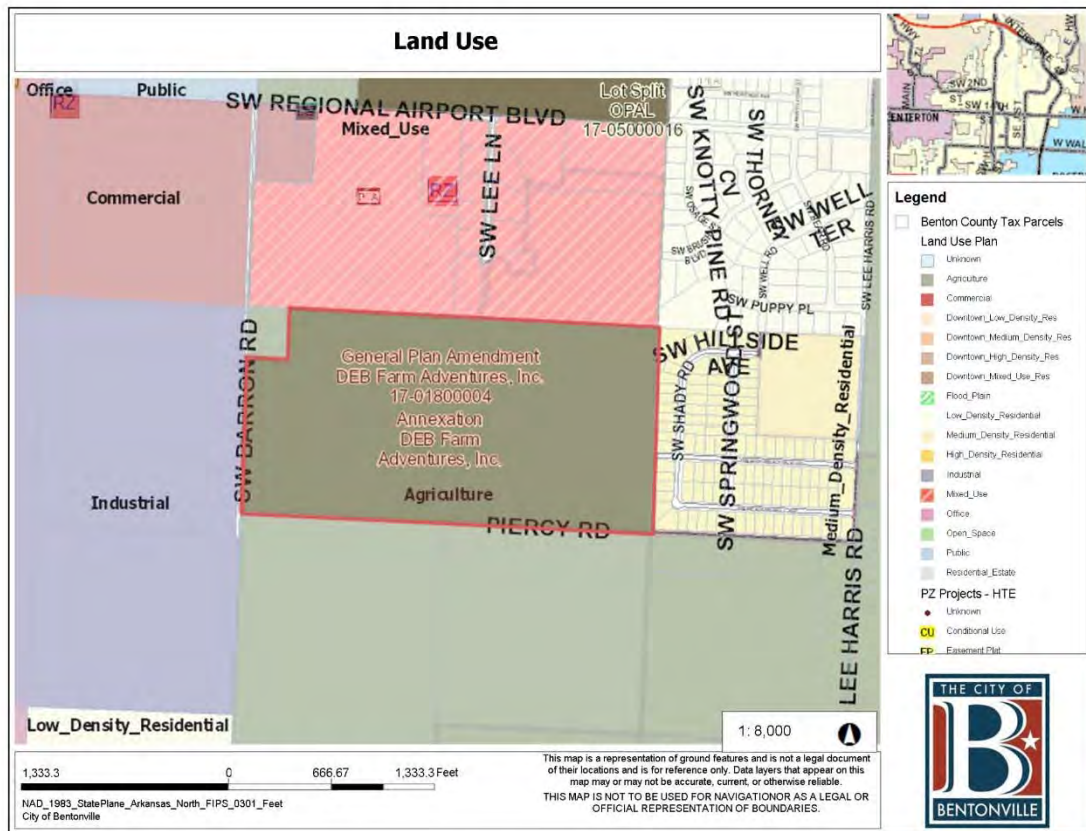
Analysis

The requested Future Land Use Map designation of Low Density Residential (LDR) is located along a future collector street. Additional residential units in the area will provide an opportunity for residents to live and work within the same area of the city and will encourage the future development of goods and services for those living in and around this area. An Agricultural use at this location has the high likelihood to be non-compatible with the existing single-family subdivision located to the east. There are several ingress/egress opportunities that can be utilized in the development of the property that will help to facilitate traffic flow and reduce traffic congestion. Public utilities are readily available to the property.

Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval of this General Plan Amendment from Agricultural to Low Density Residential.

GENERAL PLAN AMENDMENT STAFF REPORT



Future Land-Use Amendment Narrative

78 Acres – Barron and Piercy Rd.

1. Reasons for initiation of this proposal. Has information become available that was not available at the time of adoption of the Future Land Use Map? Or, since the adoption of the map has land use in the area changed?

The reason for initiation of this proposal is to request amending the current Land Use designation from Agriculture to Low-Density Residential. The land owners have applied for annexation of the 78 +/- acres from the County to the City of Bentonville. This parcel is under contract for sale. The need for additional Low-Density Residential has changed as the growth of the City of Bentonville moves towards the West. The land in the general area consists of Low-density Residential, Commercial, Industrial, Medium-density Residential, Office, and Mixed-use.

Since the adoption of the Future Land Use Map of 2007, it appears that several tracts of Agriculture designated land have been allowed to develop low-density single family residential subdivisions. Those tracts include Osage Creek Development, located 2 miles North on Ginn Rd. and Adams Rd.; Central Park Addition, located between SW Gator Blvd., and Windmill Rd.; and Summerlin Subdivision, located on S. Morningstar Rd.

(See Exhibit 1)

2. How will this change impact the land use and character of the property in question and surrounding areas?

The revision of the Land Use for this parcel of land will not affect the current use of the land. This tract at some point was planted with walnut trees to be harvested. Agriculture use is restricted by the walnut trees planted many years ago. If the trees are harvested, the land will not be desirable for planting row crops due to any tree remains, and rough ground. It would not be suitable for raising cattle or other livestock with the lack of natural water. There is only one pond on the parcel. It also may be offensive to the neighboring subdivision with the addition of cattle or other livestock. Attempt will be made to preserve as many walnut trees as possible within the subdivision.

This parcel is contiguous on the East, to the Low-Density Residential Subdivision known as High Meadows. This parcel is contiguous to a Mixed-Use tract located on the North. This parcel lies to the East of an Industrial tract located on the West side of Barron Rd.

There is a 40 acre +/- tract to the South of the said Industrial tract that is Low-Density Residential. This tract lies to the North of Agriculture land located on the South side of Piercy Rd. Allowing a Low-Density Residential Subdivision will not negatively change or impact the surrounding area, but bring much needed affordable homes to this area of Bentonville.

(See Exhibits 2 and 3)

3. How is the property more suitable for the proposed land use designation than for the current land use classification presented on the Future Land Use Map?

The property is more suitable for Low-Density Residential because there is a need in the City of Bentonville for affordable housing. There is an abundance of agricultural land that is not feasible for residential development. In the 2007 Land Use Plan, participants described affordable housing in Bentonville as a difficult proposition because of the cost of land. With the escalating prices of land in Bentonville, this same opinion holds true today. Land prices are once again soaring, to where residential developers are impacted with high land prices making the cost of lots priced at a point where building affordable homes is not an option. With the listed price for the subject tract of land being in a more reasonable price range, the developers of the 78 acres will be able to provide lots for homes that will be in the 1500-2000 square foot range and below \$200,000. Also, with this tract being contiguous to an existing subdivision, it is possible to utilize the existing City of Bentonville sewer, water, and electric utilities available.

According to the US Census Bureau, the median household income in Bentonville in 2011-2015 is \$71,400. The median price range of owner-occupied homes in Bentonville in 2011-2015 is \$174,400. Another Market Profile prepared by ESRI for the City of Bentonville, shows in 2014 median home value at \$192,765 and projects in 2019 \$228,414. The report also shows that in 2014, 43.2% owner occupied housing units by value were between \$100,000-\$199,999, in Bentonville. As of today, according to the Northwest Arkansas MLS, there are only 35 homes listed for sale below \$200,000 in Bentonville. There are approximately 3 subdivisions that currently offer new homes under the \$200,000 range.

According to the land listed for sale in the Northwest Arkansas MLS, there are 21 tracts of 20+ acres of land categorized as development potential, mixed use, agriculture, lots, pasture, or residential. None of these are offered in the price range to either develop for affordable residential homes, or have the capability of utilizing existing City of Bentonville sewer, water, and electric. Many are not eligible for annexation, but the proposed tract is. The proposed tract is considered an "island" of county land,

surrounded on 4 sides by City of Bentonville property. This would be an excellent addition of affordable homes and property to the City of Bentonville.
(See Exhibits 4, 5, 6, 7 and 8)

4. Would the uses permitted by the proposed change be detrimental in any way to the surrounding property?

As stated earlier, this parcel is contiguous on the East, to the Low-Density Residential Subdivision known as High Meadows. This parcel is contiguous to a Mixed-Use tract located on the North. This parcel lies to the East of an Industrial tract located on the West side of Barron Rd. There is a 40 acre +/- tract to the South of the said Industrial tract that is Low-Density Residential. This tract lies to the North of Agriculture land located on the South side of Piercy Rd. Allowing a Low-Density Residential Subdivision will not negatively change or impact the surrounding area, or be detrimental in any way to the surrounding property. The subdivision will bring much needed affordable homes to this area of Bentonville. Also, new residents of the subdivision would be in close proximity to employment opportunities such as XNA airport, the proposed Industrial development, Wal-Mart Distribution Center, the Army National Guard facility, hotels, convenience centers, retail stores, schools, and churches. Residents will be within minutes of the growing commercial developments in the area.
(See Exhibit 3)

5. What are the alternative courses of action if the proposed land use change is not approved?

There are no other alternative courses of action if the land change is not approved. The purchase/sale of this parcel of land is contingent upon approval for a single family residential subdivision.

6. What are your plans for the property if the proposed land use change is approved?

The development will be for a subdivision with single family residences. The covenants will be for homes with 1500-2000 square feet, in order to keep the homes at an affordable retail price under \$200,000.

7. What alternatives other than changing the land use designation have been discussed?

No other alternatives are desired for this parcel of land. The development of this parcel is contingent upon the land use being revised to Low-Density Residential.

GENERAL PLAN AMENDMENT STAFF REPORT



Real Assets Inc.

2415 SW Regional Airport Blvd.

PC Date: 6/6/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-01800005
Applicant/ Current Owner	Real Assets Inc. PO Box 1 Fayetteville, AR 72701
Site Area	2.58 acres
Current Zoning	A-1, Agricultural
Current Future Land Use Map Designation	Low Density Residential (LDR)
Requested Future Land Use Map Designation	Office (O)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of a Low Density Residential parcel located at 2415 SW Regional Airport Blvd. and consist of one unoccupied residential home.

Projected Traffic Impact

The proposed land use designation will not adversely impact traffic in the area. It is adjacent to State Hwy 12 which carries in excess of 23,000 vehicles per day. Careful consideration will be given to the location of any curb cuts onto Hwy 12 to establish safe points of ingress/egress to the site.

Utility Infrastructure

Per the GIS website, public water and sewer are available.

Relationship to the General Plan

The Future Land Use Plan depicts this property as Low Density Residential (LDR) , the proposed designation of Office (O) is adjacent to property that is currently designated as Office (O) on the current Land Use Map. Policy LU-18 of the General Plan states that the City should provide greater flexibility in its development regulations to facilitate efficient and appropriate residential, office and commercial uses.

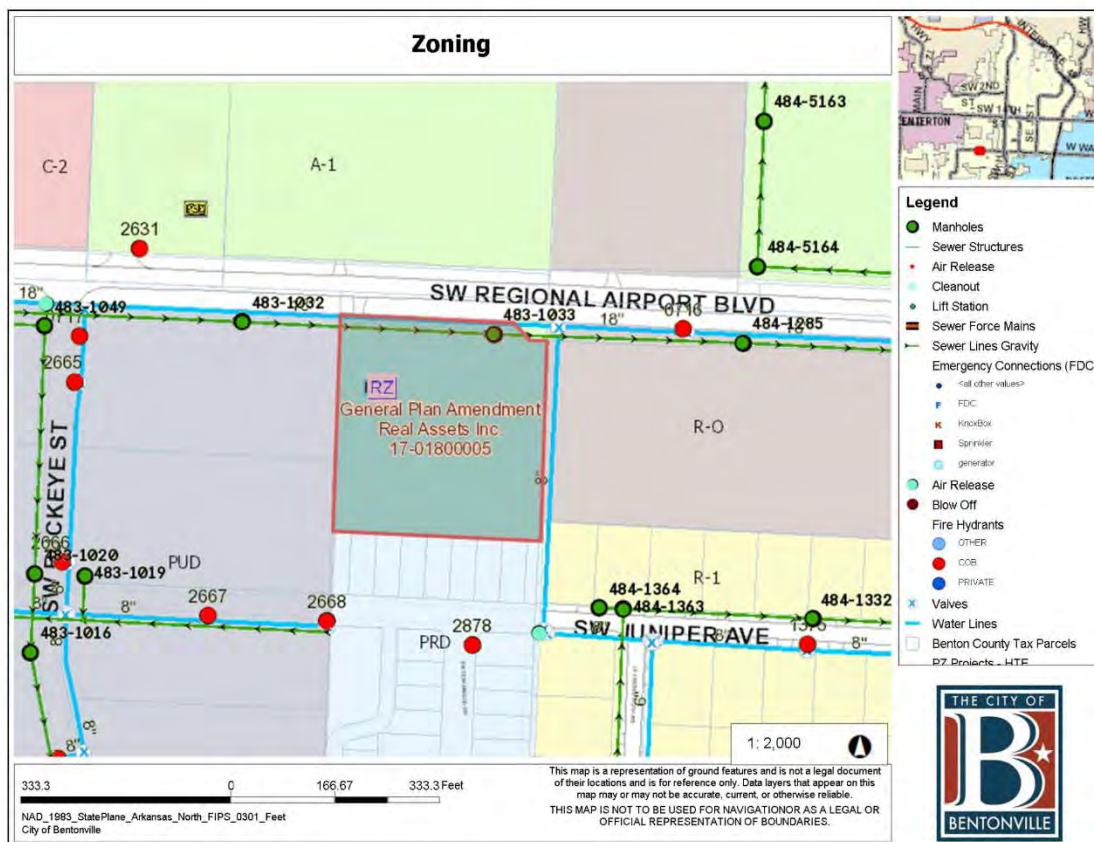
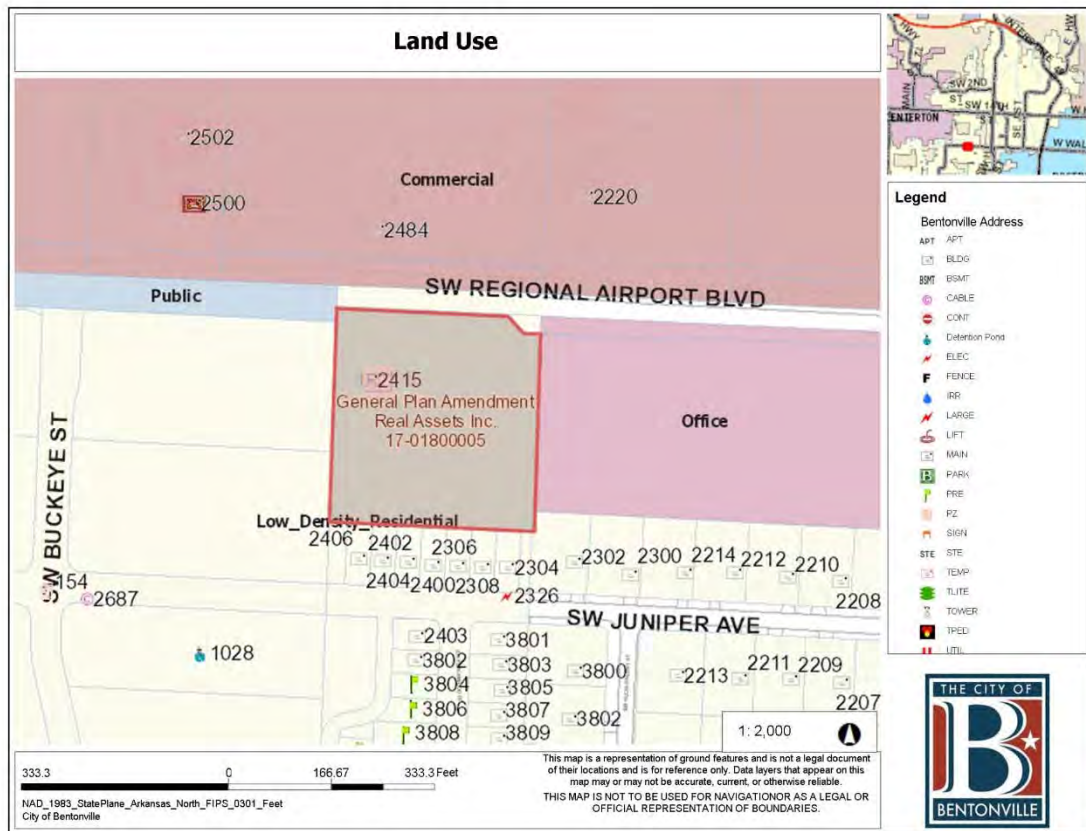
Analysis

The requested Future Land Use Map designation of Office (O) is located along a major arterial road, (State Hwy 12) which carries in excess of 23,000 vehicles per day. The requested Land use of office (o) will serve as a transition from the heavily traveled arterial road to the north and the existing single family residences to the south while providing good and services to nearby residences. There are several ingress/egress opportunities that can be utilized in the development of the property that will help to facilitate traffic flow and reduce traffic congestion. Public utilities are readily available to the property. **Error! Reference source not found.**

Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval of the General Plan Amendment from Low Density Residential to office Space.

GENERAL PLAN AMENDMENT STAFF REPORT



Future Land-Use Amendment Narrative

78 Acres – Barron and Piercy Rd.

1. Reasons for initiation of this proposal. Has information become available that was not available at the time of adoption of the Future Land Use Map? Or, since the adoption of the map has land use in the area changed?

The reason for initiation of this proposal is to request amending the current Land Use designation from Agriculture to Low-Density Residential. The land owners have applied for annexation of the 78 +/- acres from the County to the City of Bentonville. This parcel is under contract for sale. The need for additional Low-Density Residential has changed as the growth of the City of Bentonville moves towards the West. The land in the general area consists of Low-density Residential, Commercial, Industrial, Medium-density Residential, Office, and Mixed-use.

Since the adoption of the Future Land Use Map of 2007, it appears that several tracts of Agriculture designated land have been allowed to develop low-density single family residential subdivisions. Those tracts include Osage Creek Development, located 2 miles North on Ginn Rd. and Adams Rd.; Central Park Addition, located between SW Gator Blvd., and Windmill Rd.; and Summerlin Subdivision, located on S. Morningstar Rd.

(See Exhibit 1)

2. How will this change impact the land use and character of the property in question and surrounding areas?

The revision of the Land Use for this parcel of land will not affect the current use of the land. This tract at some point was planted with walnut trees to be harvested. Agriculture use is restricted by the walnut trees planted many years ago. If the trees are harvested, the land will not be desirable for planting row crops due to any tree remains, and rough ground. It would not be suitable for raising cattle or other livestock with the lack of natural water. There is only one pond on the parcel. It also may be offensive to the neighboring subdivision with the addition of cattle or other livestock. Attempt will be made to preserve as many walnut trees as possible within the subdivision.

This parcel is contiguous on the East, to the Low-Density Residential Subdivision known as High Meadows. This parcel is contiguous to a Mixed-Use tract located on the North. This parcel lies to the East of an Industrial tract located on the West side of Barron Rd.

There is a 40 acre +/- tract to the South of the said Industrial tract that is Low-Density Residential. This tract lies to the North of Agriculture land located on the South side of Piercy Rd. Allowing a Low-Density Residential Subdivision will not negatively change or impact the surrounding area, but bring much needed affordable homes to this area of Bentonville.

(See Exhibits 2 and 3)

3. How is the property more suitable for the proposed land use designation than for the current land use classification presented on the Future Land Use Map?

The property is more suitable for Low-Density Residential because there is a need in the City of Bentonville for affordable housing. There is an abundance of agricultural land that is not feasible for residential development. In the 2007 Land Use Plan, participants described affordable housing in Bentonville as a difficult proposition because of the cost of land. With the escalating prices of land in Bentonville, this same opinion holds true today. Land prices are once again soaring, to where residential developers are impacted with high land prices making the cost of lots priced at a point where building affordable homes is not an option. With the listed price for the subject tract of land being in a more reasonable price range, the developers of the 78 acres will be able to provide lots for homes that will be in the 1500-2000 square foot range and below \$200,000. Also, with this tract being contiguous to an existing subdivision, it is possible to utilize the existing City of Bentonville sewer, water, and electric utilities available.

According to the US Census Bureau, the median household income in Bentonville in 2011-2015 is \$71,400. The median price range of owner-occupied homes in Bentonville in 2011-2015 is \$174,400. Another Market Profile prepared by ESRI for the City of Bentonville, shows in 2014 median home value at \$192,765 and projects in 2019 \$228,414. The report also shows that in 2014, 43.2% owner occupied housing units by value were between \$100,000-\$199,999, in Bentonville. As of today, according to the Northwest Arkansas MLS, there are only 35 homes listed for sale below \$200,000 in Bentonville. There are approximately 3 subdivisions that currently offer new homes under the \$200,000 range.

According to the land listed for sale in the Northwest Arkansas MLS, there are 21 tracts of 20+ acres of land categorized as development potential, mixed use, agriculture, lots, pasture, or residential. None of these are offered in the price range to either develop for affordable residential homes, or have the capability of utilizing existing City of Bentonville sewer, water, and electric. Many are not eligible for annexation, but the proposed tract is. The proposed tract is considered an "island" of county land,

surrounded on 4 sides by City of Bentonville property. This would be an excellent addition of affordable homes and property to the City of Bentonville.
(See Exhibits 4, 5, 6, 7 and 8)

4. Would the uses permitted by the proposed change be detrimental in any way to the surrounding property?

As stated earlier, this parcel is contiguous on the East, to the Low-Density Residential Subdivision known as High Meadows. This parcel is contiguous to a Mixed-Use tract located on the North. This parcel lies to the East of an Industrial tract located on the West side of Barron Rd. There is a 40 acre +/- tract to the South of the said Industrial tract that is Low-Density Residential. This tract lies to the North of Agriculture land located on the South side of Piercy Rd. Allowing a Low-Density Residential Subdivision will not negatively change or impact the surrounding area, or be detrimental in any way to the surrounding property. The subdivision will bring much needed affordable homes to this area of Bentonville. Also, new residents of the subdivision would be in close proximity to employment opportunities such as XNA airport, the proposed Industrial development, Wal-Mart Distribution Center, the Army National Guard facility, hotels, convenience centers, retail stores, schools, and churches. Residents will be within minutes of the growing commercial developments in the area.
(See Exhibit 3)

5. What are the alternative courses of action if the proposed land use change is not approved?

There are no other alternative courses of action if the land change is not approved. The purchase/sale of this parcel of land is contingent upon approval for a single family residential subdivision.

6. What are your plans for the property if the proposed land use change is approved?

The development will be for a subdivision with single family residences. The covenants will be for homes with 1500-2000 square feet, in order to keep the homes at an affordable retail price under \$200,000.

7. What alternatives other than changing the land use designation have been discussed?

No other alternatives are desired for this parcel of land. The development of this parcel is contingent upon the land use being revised to Low-Density Residential.

8. Additional information that is pertinent to support this request

Please see attached Exhibits:

Exhibit 1. 2007 Future Land-Use Map

Exhibit 2. Aerial View of Subject Tract

Exhibit 3. Surrounding Land Use

Exhibit 4. ESRI Study – Median Home Values

Exhibit 5. ESRI Study - Housing Units by Value in Bentonville

Exhibit 6. NWA MLS Current Homes Listed for Sale in Bentonville Under \$200,000

Exhibit 7. NWA MLS Land currently for sale 20+ acres – Bentonville

Exhibit 8. Proposed Annexation Map

- 1) The property is under new ownership and will be developed for office use.
- 2) The proposed usage will not adversely affect adjoining properties.
- 3) Said property is located in a developing area with increased traffic due to road expansion.
- 4) The future uses will in no way be detrimental to the surrounding properties.
- 5) If the commission denies the changed usage request we would seek an alternative designation.
- 6) The property is to be the location for an animal clinic as well as possible dental and tax offices.
- 7) Nothing
- 8) Change of ownership with contracts pending.

REZONING STAFF REPORT



Carroll Electric Cooperative Corp.

707 SE Walton Blvd.

PC Date: 6/6/2017

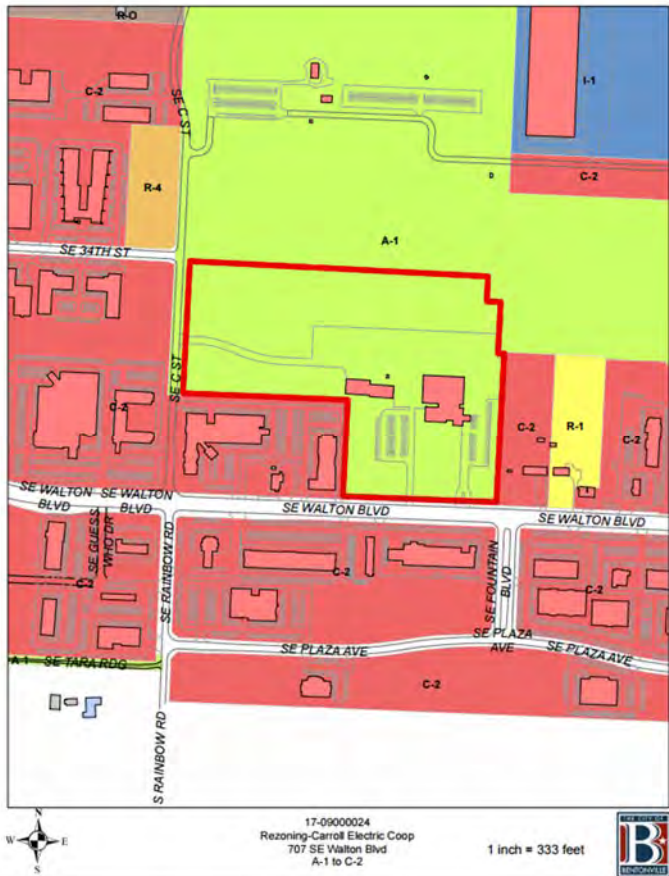
Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-09000024
Applicant / Current Owner	Carroll Electric Cooperative Corp. PO Box 4000 Berryville, AR 72616
Site Area	21.8 acres
Current Zoning	A-1, Agricultural
Requested Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of the existing Carroll Electric Facility located at 707 SE Walton Blvd.

Projected Traffic Impact

The proposed zoning designation will not adversely impact traffic in the area.

Utility Infrastructure

Per the city GIS website, public water and sewer are available at this location.

Relationship to the General Plan

The Future Land Use Plan depicts this property as commercial. The C-2, General Commercial zoning designation is a recommended zoning for this classification.

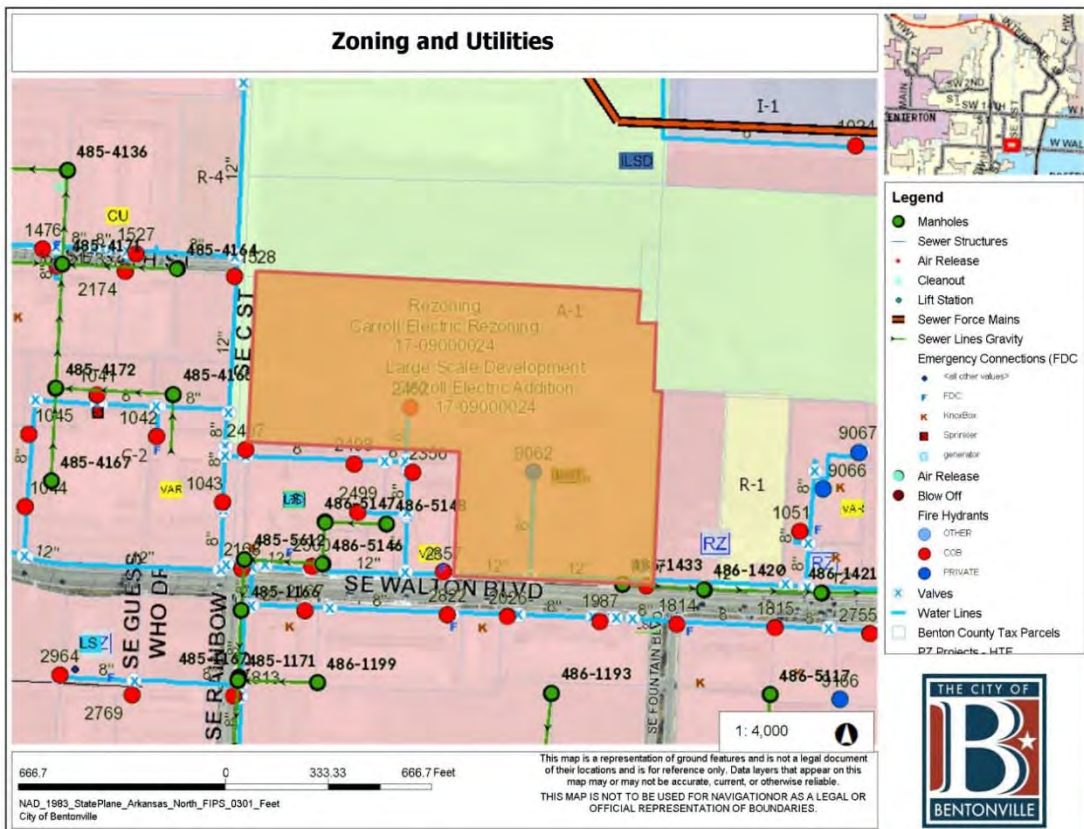
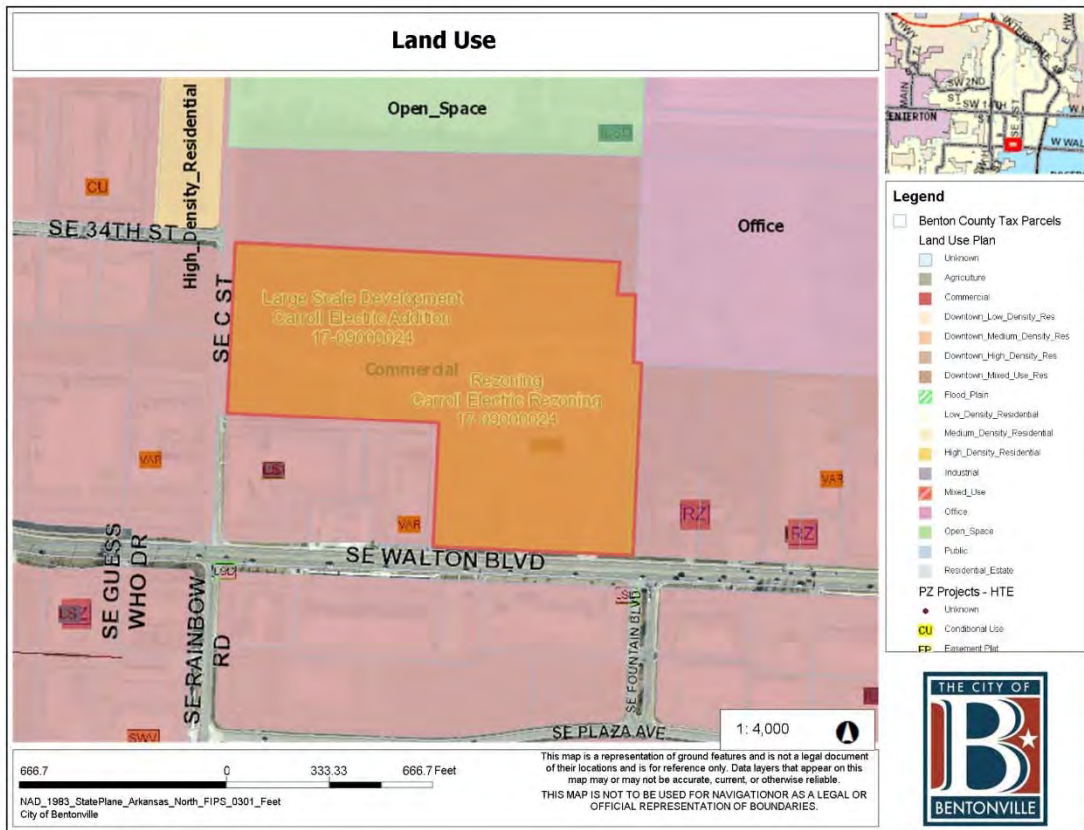
Conclusion

The C-2, General Commercial zoning district is consistent with the City of Bentonville's Future Land Use Map and the General Plan. The property is situated along an established arterial road and is compatible with adjacent uses and zoning therefore, C-2, General Commercial is an appropriate zoning designation for this property.

Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval of this rezoning request from A-1, Agricultural to C-2, General Commercial.

REZONING STAFF REPORT





**JORGENSEN
+ASSOCIATES**
Civil Engineering • Surveying
Landscape Architecture Services

124 W Sunbridge Drive, Suite 5
Fayetteville, AR 72703

Office: 479.442.9127
Fax: 479.582.4807
www.jorgensenassoc.com

October 31, 2016

The City of Bentonville Planning & Engineering Departments
305 SW A Street
Bentonville, AR 72712
Re: Carroll Electric Cooperative Corporation, Rezone

To whom it may concern;

Please accept this application to rezone the property from A-1 to C-2. This rezoning will place the proper usage on the existing facility and allow the expansion to occur by-right. With this expansion, a major increase in traffic is not anticipated. The existing eastern island contains a monument sign that will be removed to aid in pedestrian mobility, a new sign will be located to the west in the greenspace. Elevations of the proposed structures has been included with this submittal along with a site plan.

This development seeks to add additional office space, totaling 26,975 SF. The existing warehouse, has 14,646 SF. The new garage, will have 15,240 SF, and the existing shops, have 11,200 SF. The existing pole yard to the north will be expanded along with upgrades to the existing parking lot.

A fire line will tap the existing private 8" waterline, the existing water meter will remain in-place with a new service line being tapped off this line. A new Fire Hydrant will be installed at the entrance, with a new FDC located just north of this hydrant. The existing forcemain will be abandoned once the new sanitary sewer service is installed.

Sincerely,

Blake Jorgensen, P.E

CONDITIONAL USE STAFF REPORT



ESM Events- BITE, et.al.

801 SE 8th St

PC Date: 6/6/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Property Description

This property is the location of the newly renovated 8th Street Market and the old Bentonville Castings property.

Proposed Use Description

The applicant is requesting a conditional use permit for a culinary festival located at 801 SE 8th Street and the two vacant parcels on the east and west side of this address. The event, known as BITE, is to be held between 6 p.m. and 9 p.m. on June 22nd & 23rd. The applicant is requesting to use the two adjacent, vacant parcels for temporary parking of up to 1100 vehicles (see attached exhibits). A temporary 75'x100' saddle tent will be utilized and located in the existing parking lot near the rear (north) of the property and a temporary stage will be erected near the front (south) of the property. The event will occur solely outdoors. No outdoor lighting nor permanent structures or structural changes are being proposed. Approximately 3,000+/- patrons are expected to attend the event over the two day period with 125 employees to serve. Preliminary coordination with the Fire Department and Police Department has been conducted.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area. The two adjacent arterial streets and the existing downtown street grid will provide adequate options for ingress and egress to the event.

Public Notice

On 5/9/2017, a notice was published in the Arkansas Democrat Gazette, Northwest Arkansas Edition and a public hearing notice sign was posted on the property on 5/18/2017. This meets legal noticing requirements and is adequate for the scope of this project.

Staff has not been contacted regarding this request.

Conditions of Approval

1. All technical review comments must be addressed before a building permit will be issued.
2. Fire and police department approvals must be granted.

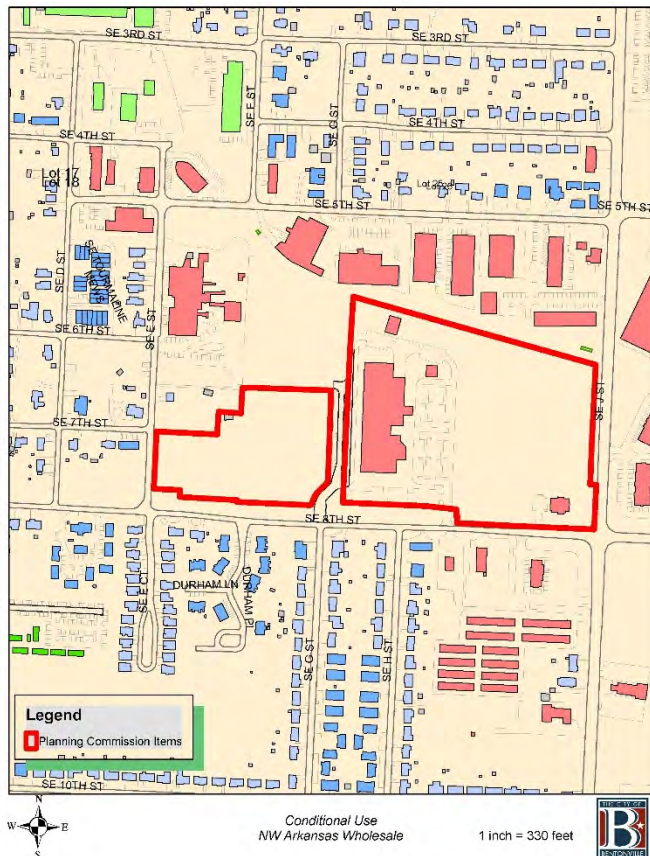
Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

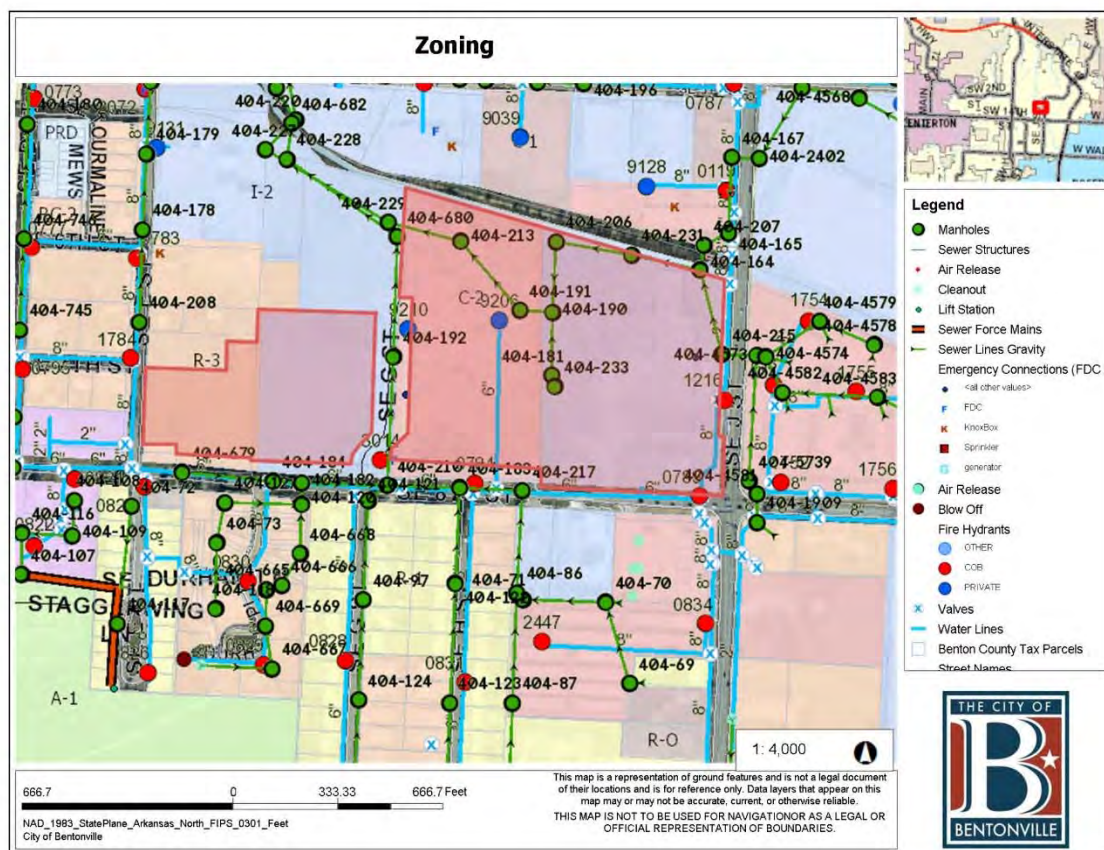
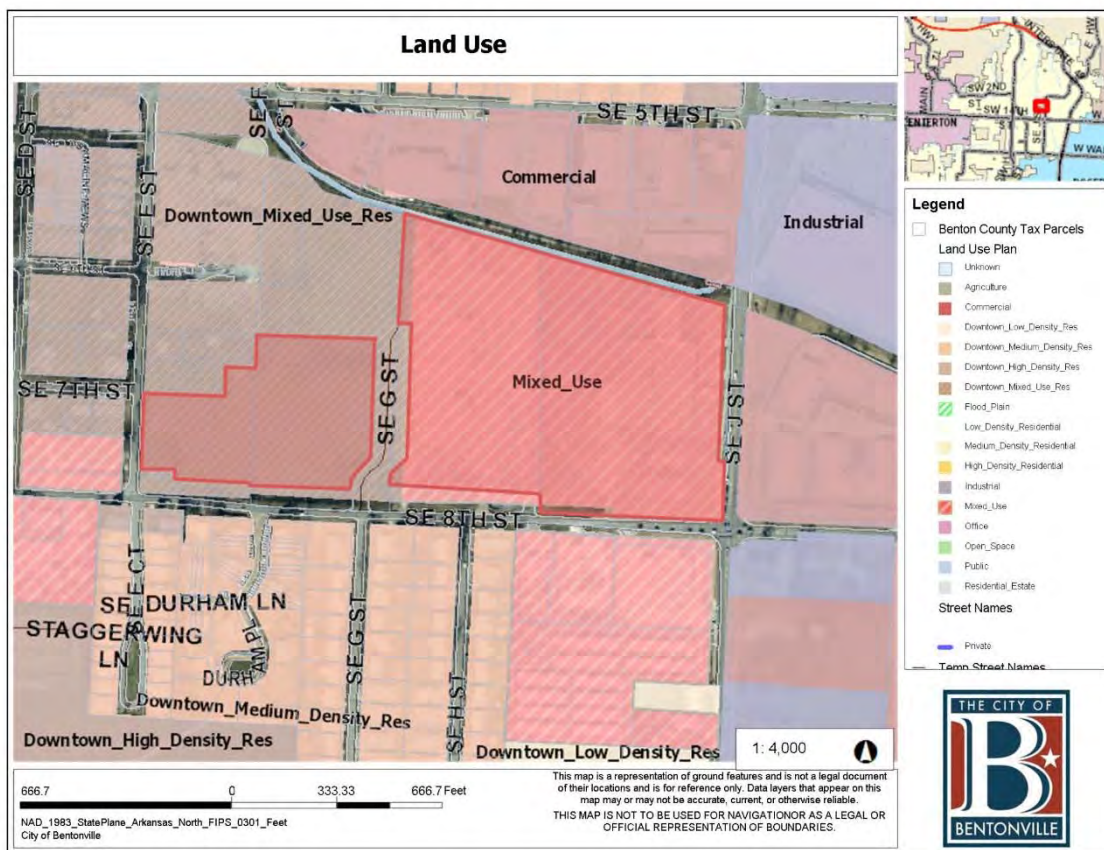
Project Number	17-02000010
Applicant / Current Owner	Food Hub NWA LLC 700 SE 5 th , #1 Bentonville, AR 72712
Site Area	22.7 acres
Current Zoning	I-2, Heavy Industrial and C-2, General Commercial
Future Land Use Map Designation	Downtown Mixed Use Residential (DMUR) and Mixed Use (MU)
Requested Use	Temporary Culinary Festival
Protective Covenants	N/A

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



CONDITIONAL USE STAFF REPORT

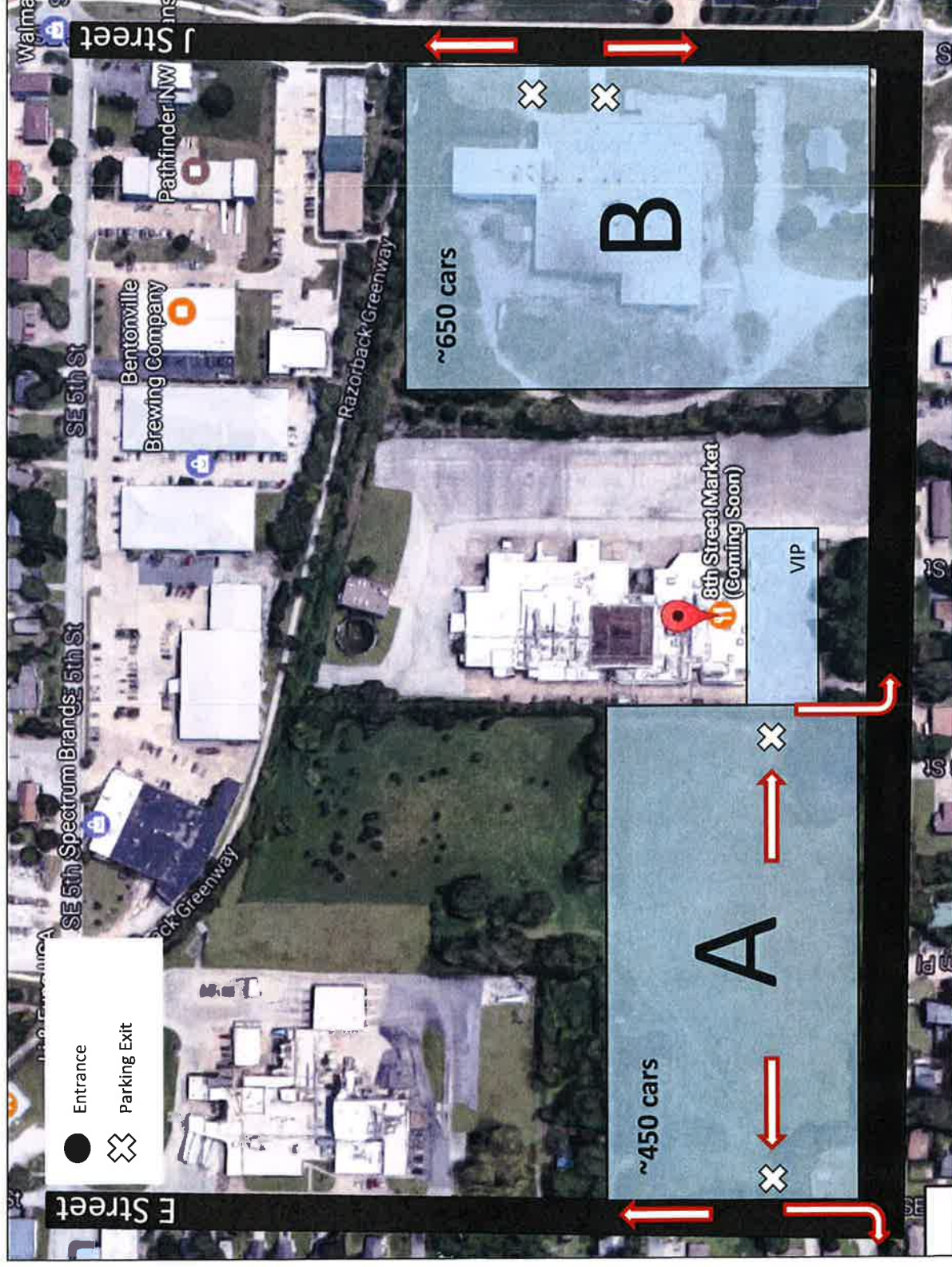


CONDITIONAL USE PERMIT NARRATIVE
FOOD HUB NWA LLC
May 1, 2017

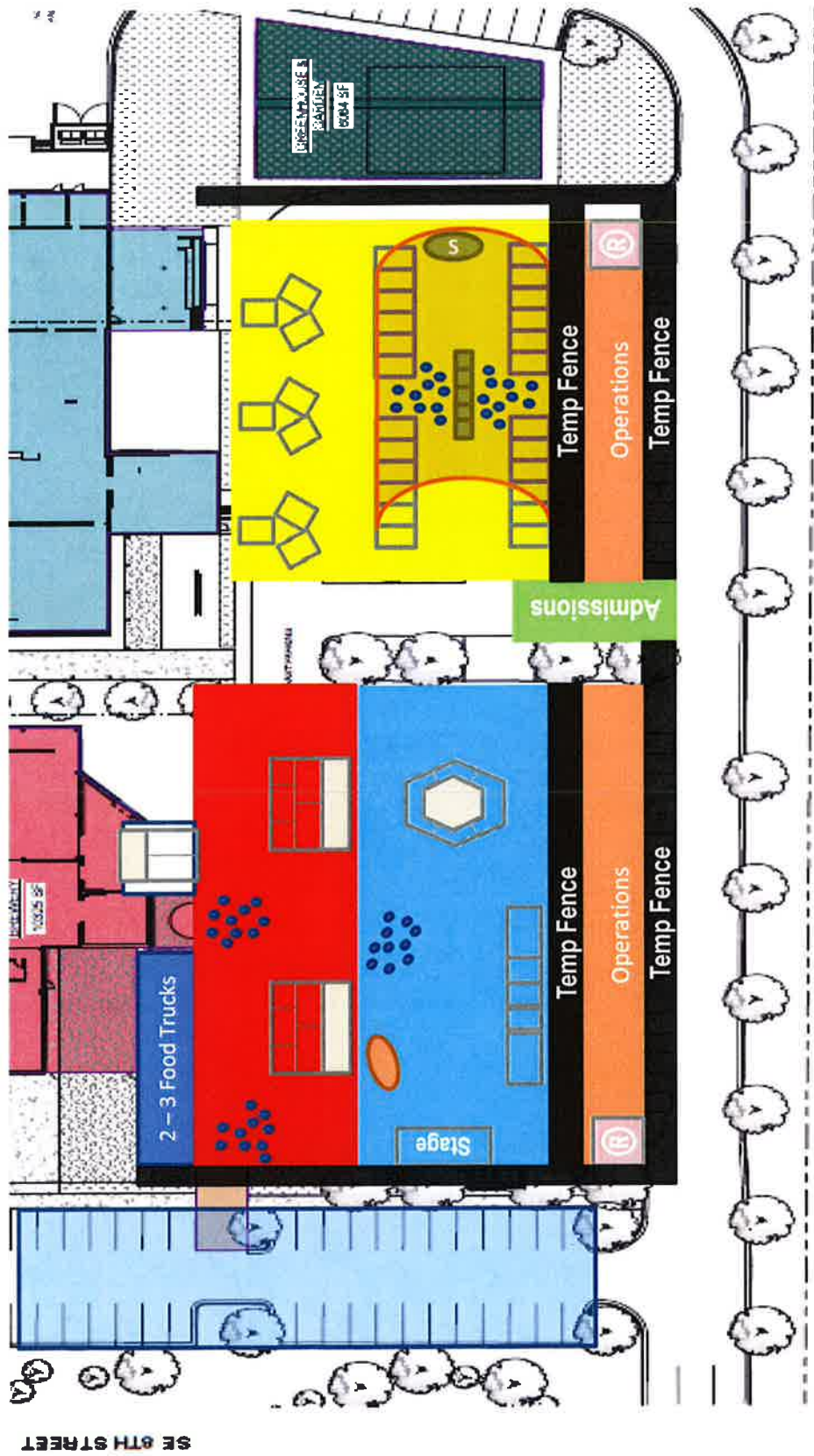
The applicants desire to hold a special event at 801 SE 8th on the Eight Street Market property with temporary event parking on vacant parcels to the east and west. Proposed event is a culinary festival known as BITE. The event will occur between 6 & 9 p.m. on June 22/23; staging for the event will begin on June 20. It is anticipated that the event will attract up to 3,000 persons on the 22nd and 23rd; there will be approximately 125 employees during the use period and up to 40 deliveries per day.

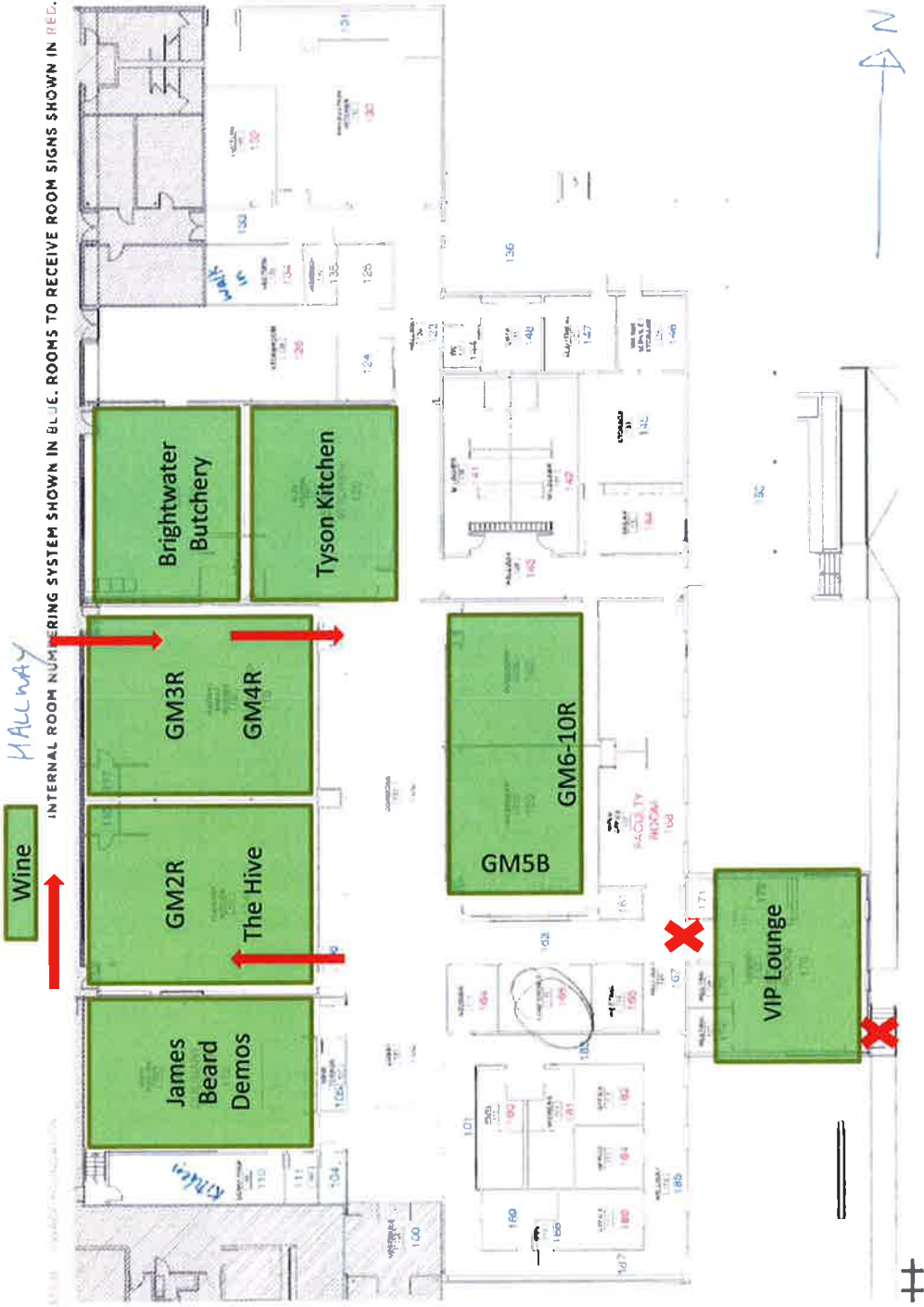
No new structures will be constructed for the event and no structural alterations are planned; however, temporary tenting will be used to provide cover and segregation for food vendors. The event will occur entirely on the exterior of the Eight Street Market building. The current tenants (Brightwater and Bike Rack Brewery) will be participating in the event to varying degrees and their operations will continue throughout the event.

It is anticipated that Eight Street Market will, from time to time, host similar cultural/community events over one to three day periods. While this application addresses the specifics of the BITE event, the applicant would be interested in pursuing a long term approval for events that follow this pattern.



Venue Overview





LOT SPLIT STAFF REPORT



Lots 1, 2 & 3 The Roc Subdivision

Corner of Rice Lane and Rice Road
Bentonville, AR 72712

PC Date: 6/6/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-05000019
Applicant / Current Owner	CrossMar Investments 1500 East Central Ave. Bentonville, AR 72712
Site Area	33.02 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is vacant and situated between Interstate 49 and Rice Road, south of Rice Lane.

Project Details

The applicant has submitted a proposal for a lot split that will create three new lots from one existing parcel. The new lots will be known as Lot 1 (5.41 acres), Lot 2 (5.06 acres) and Lot 3 (20.31 acres) of The ROC Subdivision. Per the requirements of the current Master Street Plan, right-of-way is being dedicated for the construction of a portion of a future collector street as well portions of existing Rice Road and Rice Lane. Various utility and drainage easements are being dedicated to serve the new lots. Each new lot will have access to public utilities and a public street.

Projected Traffic Impact

The proposed lot split will not adversely affect traffic in the area.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required.

Waivers

No waivers requested.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

Standard Conditions of Approval

1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

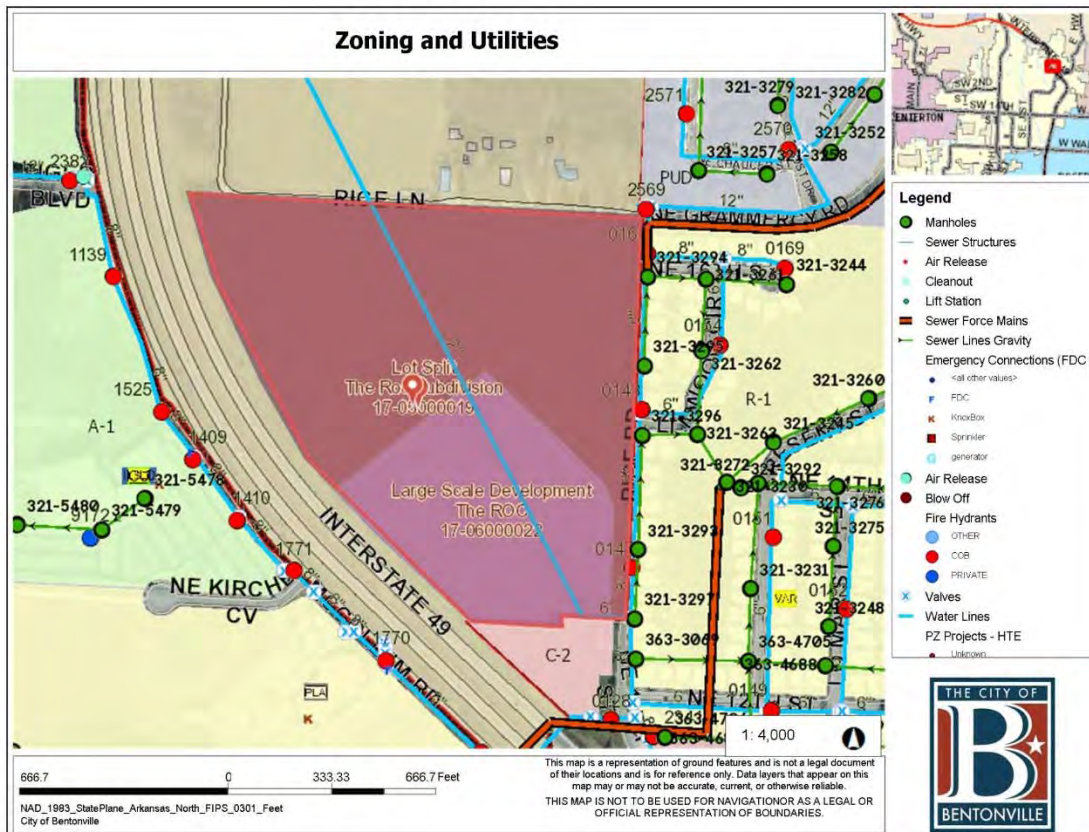
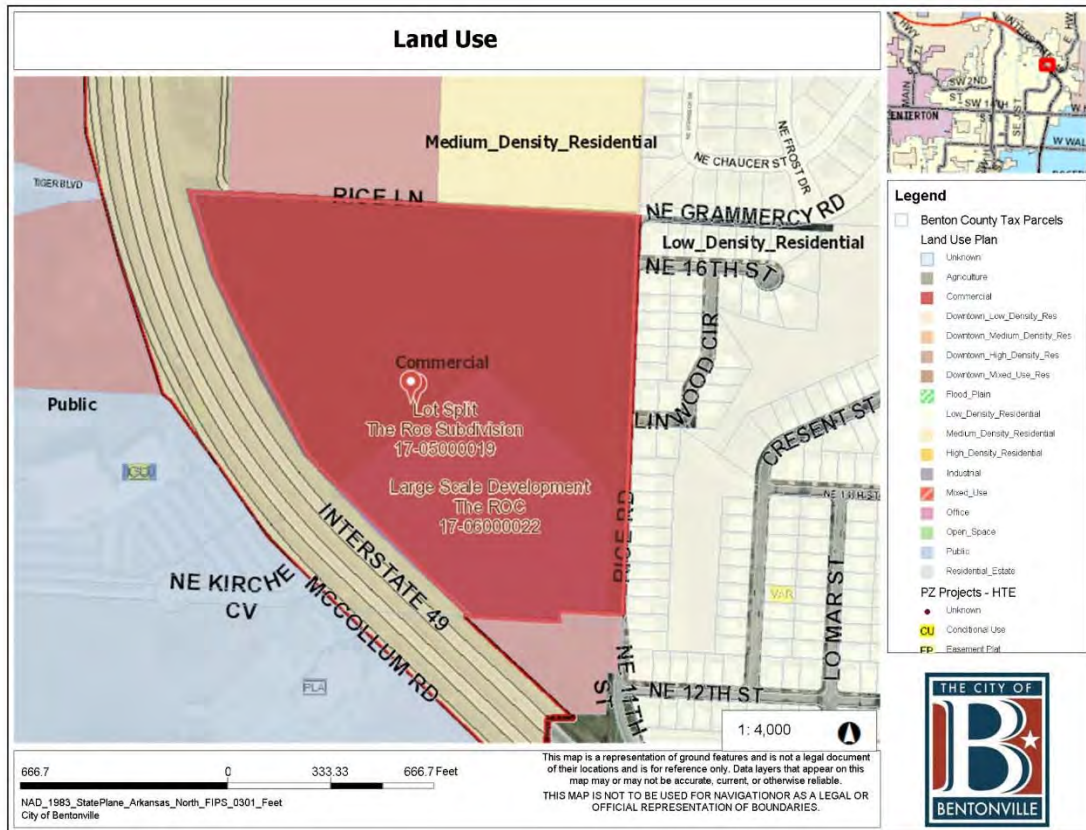
Recommendation

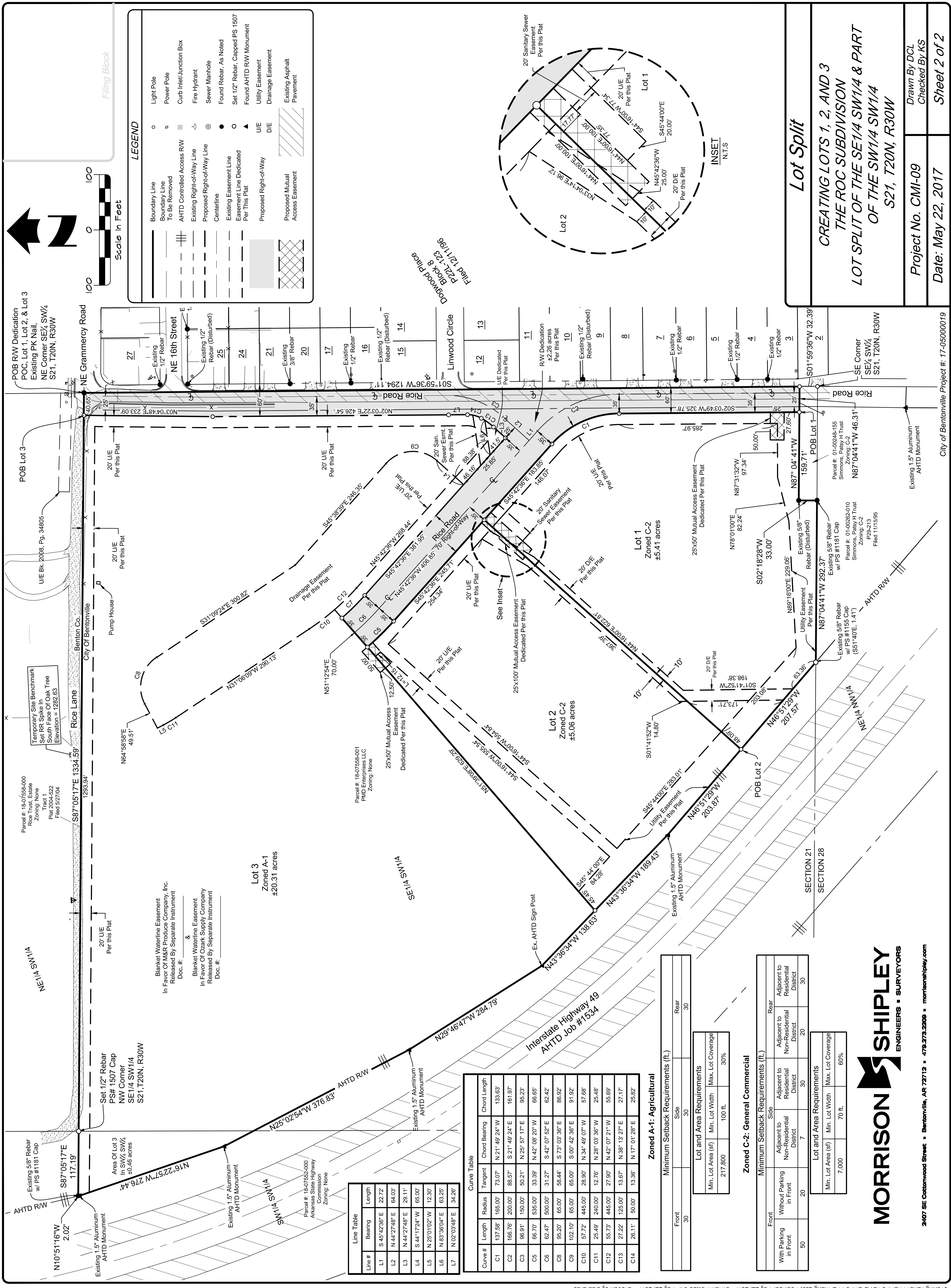
Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT





Line Table		
Line #	Bearing	Length
L1	S 45°42'36" E	22.72'
L2	N 44°27'48" E	64.03'
L3	N 44°27'48" E	29.11'
L4	S 44°17'24" W	65.00'
L5	N 25°01'02" W	12.30'
L6	N 83°36'04" E	63.25'
L7	N 02°03'48" E	34.26'

Curve Table		Zoned A-1: Agricultural	
Curve #	Length	Radius	Tangent
C1	137.58'	165.00'	73.07'
C2	166.76'	200.00'	88.57'
C3	96.91'	150.00'	50.21'
C4	66.70'	535.00'	33.39'
C5	62.47'	500.00'	31.27'
C6	95.20'	65.00'	58.44'
C7	102.10'	65.00'	65.00'
C8	57.72'	445.00'	28.90'
C9	25.48'	240.00'	12.76'
C10	55.73'	445.00'	27.90'
C11	27.22'	125.00'	13.67'
C12	26.11'	50.00'	13.36'

Zoned A-1: Agricultural	
Minimum Setback Requirements (ft.)	
Front	Rear
30	30

Lot and Area Requirements	
Min. Lot Area (sf)	Min. Lot Width
217,800	100 ft.
	Max. Lot Coverage
	30%

Zoned C-2: General Commercial	
Minimum Setback Requirements (ft.)	
Front	Rear
50	30

Lot and Area Requirements	
Min. Lot Area (sf)	Min. Lot Width
7,000	70 ft.
	Max. Lot Coverage
	60%

MORRISON

SHIPLEY

ENGINEERS • SURVEYORS

2407 SE Cottonwood Street • Bentonville, AR 72712 • 479.273.2209 • morrisonshipley.com

Lot Split

CREATING LOTS 1, 2, AND 3
THE ROC SUBDIVISION
LOT SPLIT OF THE SE1/4 SW1/4 & PART
OF THE SW1/4 SW1/4
S21, T20N, R30W

Project No. CMI-09
Date: May 22, 2017

Drawn By DCL
Checked By KS
Sheet 2 of 2

LOT SPLIT STAFF REPORT



Lots 11-15, Southside Addition

SE A Street & SE 6th Street

PC Date: 6/6/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-05000020
Applicant / Current Owner	Hurricane WA LLC 390 W. 5 th St. Fayetteville, AR 72756
Site Area	0.66 acres
Current Zoning	DE, Downtown Edge
Future Land Use Map Designation	Downtown Mixed Use Residential (DMUR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of two vacant parcels in a Downtown Mixed Use Residential neighborhood where infill and redevelopment is beginning to occur.

Project Details

The applicant has submitted a proposal for a lot split that will create five new lots from three existing lots. The new lots will be known as Lots 11, 12, 13, 14 & 15 of Southside Addition. Per the requirements of the current Master Street Plan, right-of-way is being dedicated along both SE A Street & SE 6th Street. A 16' wide private access easement is also being dedicated along the southern property line of each lot to provide rear access. Each new lot will have access to public utilities and a public street.

Projected Traffic Impact

The proposed lot split will not adversely impact traffic in the area. The property is located within the downtown area where the existing street grid network will provide adequate options for ingress and egress.

Utility Infrastructure

Per the GIS website, water and sewer are available at this location.

Drainage Report

A drainage report is not required.

Waivers

No waivers requested.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

Standard Conditions of Approval

1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

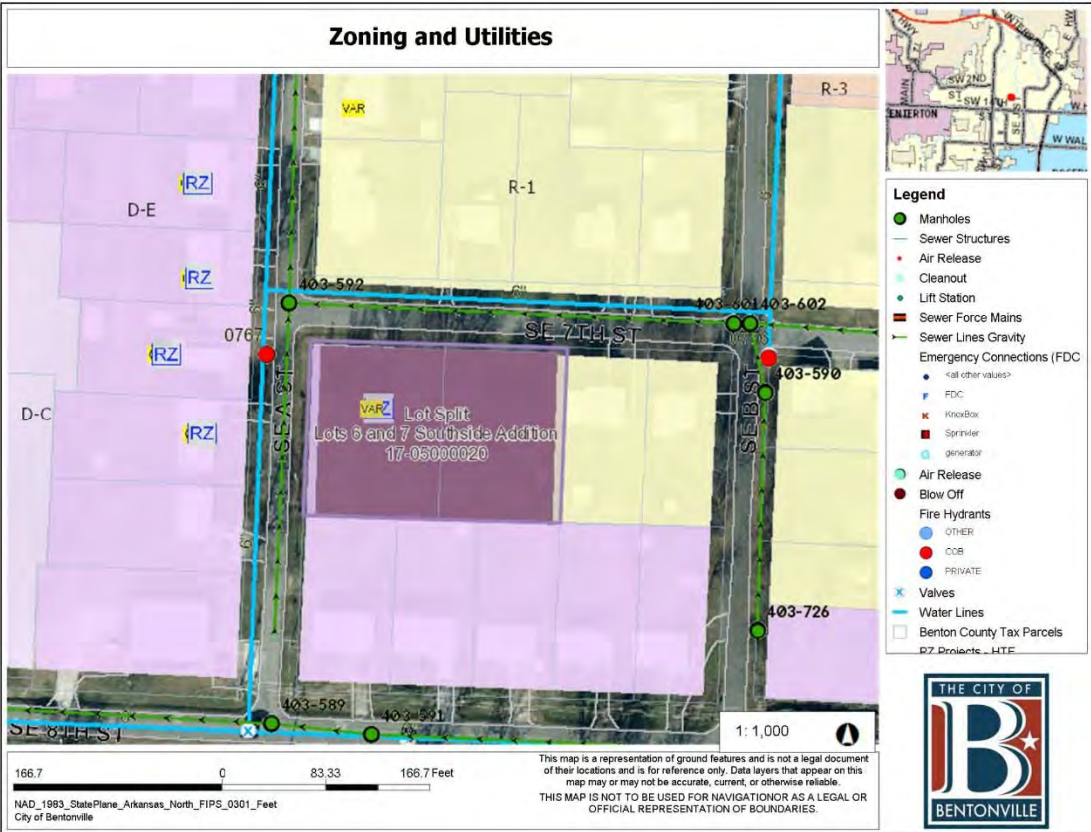
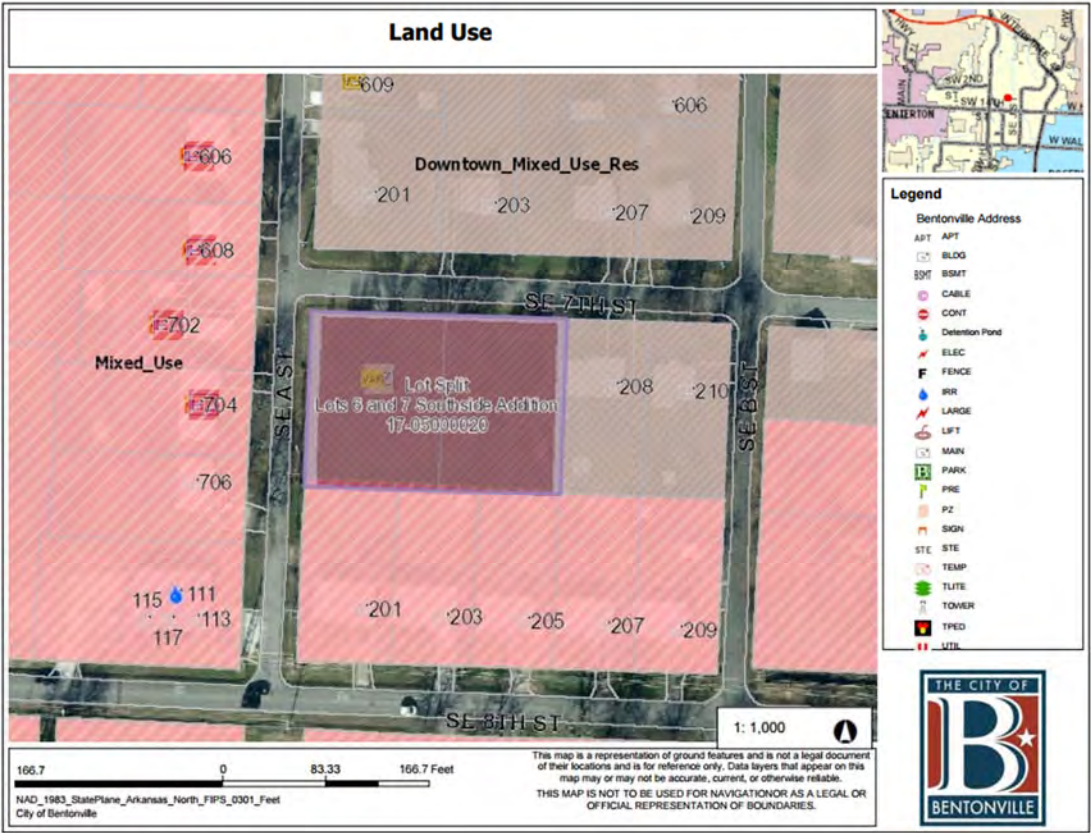
Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

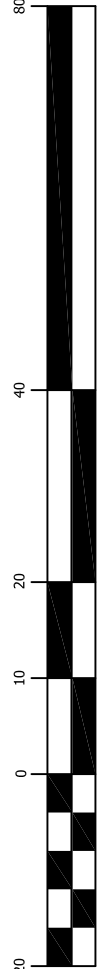
LOT SPLIT STAFF REPORT



NOTES:

1. PARCEL NUMBER: 01-04324-000 & 01-04325-000.
2. SITE ADDRESS: 202 SE 7th STREET BENTONVILLE, ARKANSAS.
3. CURRENT ZONING: DOWNTOWN MIXED-USE RESIDENTIAL (D-MUR).
4. THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FRM #05007C0255K DATED JUNE 5, 2012.

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

Certificate of Ownership and Dedication:

We, the undersigned owners, representing one hundred percent (100%) ownership of the real estate shown and described herein, do hereby dedicate to public ownership, all streets and alleys as shown on this plat for public benefit as prescribed by law. The owners also dedicate to the City of Bentonville and to the public utility companies (including any cable television company holding a franchise granted by the City of Bentonville) the easements as shown on this plat for the purpose of installation of new facilities and the repair of existing facilities. Also, established hereby is the right of ingress and egress to said easements, the right to prohibit the erection of buildings, structures, or fences within said easement, and the right to remove or trim trees within said easements.

Date

Owner

Date

Owner

Certificate of Survey and Accuracy:

I, _____, hereby certify that this plat correctly represents a boundary survey made by me and all monuments shown herein actually exist and their location, size type and material are correctly shown.

Date of Execution:

Registered Land Surveyor

State of Arkansas

Registration No.

Certificate of Preliminary Plat Approval:

This plat has been given preliminary plat approval only and has not been approved for recording purposes as a public record. This certificate shall expire on _____

Date of Execution:

Chairman, Bentonville Planning Commission

VICINITY MAP



OWNERS:
PARCEL #01-04324-000
HURRICANE WA LLC,
390 W. 5TH STREET #1
FAYETTEVILLE, AR. 72701-5901

PARCEL #01-04325-000
CAROL HATCHER TRUSTEE
& REBECCA BURTON
1829 S. E STREET
ROGERS, AR. 72756-6011

BENTONVILLE, ARKANSAS

- BENTONVILLE STANDARD NOTES:
1. BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR & OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING & TRANSPORTATION DEPARTMENTS, & NOTIFY SAID DEPARTMENTS ON THE INTENT & TYPE OF WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
2. OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER & ELECTRIC SERVICE.
3. SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/ OWNER AT TIME OF BUILDING PERMIT ISSUANCE.
4. THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.
5. OWNER TO CONTRACT NEW SERVICE COORDINATOR (271-3139) TO DISCUSS ELECTRIC SERVICE PRIOR TO BEGINNING ANY CONSTRUCTION. FAILURE TO CONTACT BEUD PRIOR TO CONSTRUCTION WILL RESULT IN DELAYS TO OBTAIN ELECTRIC SERVICE.
6. **ALL STRUCTURES MUST MAINTAIN MINIMUM 20' CLEARANCE FROM ALL ELECTRIC LINES.**
1. BEUD'S STANDARD PRACTICE IS TO PLACE UNDERGROUND EQUIPMENT (TRANSFORMERS, SECONDARY PEDESTALS, JUNCTION BOXES, ETC) ON THE LOT LINE OF A DEVELOPMENT. ANY ADJUSTMENTS TO THE PROPERTY LINE THAT RESULT IN OUR EQUIPMENT NOT BEING ON THE LOT LINE WILL REQUIRE THE DEVELOPER TO PAY FOR THE COST OF BEUD TO RELOCATE THE EQUIPMENT TO THE LOT LINE.
2. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO COORDINATE WITH THE NEW SERVICE COORDINATOR @ 479.271-3139 TO DETERMINE IF EQUIPMENT IS IN CONFLICT.
3. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO PAY FOR ANY COSTS ASSOCIATED WITH MOVING OF EQUIPMENT. THIS INCLUDES BUT IS NOT LIMITED TO ANY COSTS ASSOCIATED WITH LOSS OF EQUIPMENT (WIRE AND ELBOWS) AND LABOR AND MATERIAL TO MOVE THE EQUIPMENT TO THE NEW LOT LINE.

LEGAL DESCRIPTION: (PARCEL #01-04324-000).

All of Lot 6 and the west half of Lot 7 in Southside Addition to the City of Bentonville, Arkansas, as per plat of said Addition recorded in the office of the Circuit Clerk and Ex-Officio Recorder of Benton County, Arkansas, and being described as follows: Beginning at the SW Corner of said Lot 6, said point being the POINT OF BEGINNING, thence N01°34'06"E 141.00 feet, thence S87°07'26"E 107.70 feet, thence S01°34'06"W 141.00 feet, thence N87°07'26"W 107.70 feet to the POINT OF BEGINNING. Containing 0.35 acres more or less subject to easements and right of way of record.

LEGAL DESCRIPTION: (PARCEL #01-04325-000).

The east half of Lot 7 and all of Lot 8 in Southside Addition to the City of Bentonville, Arkansas, as per plat of said Addition recorded in the office of the Circuit Clerk and Ex-Officio Recorder of Benton County, Arkansas, and being described as follows: Beginning at the SE Corner of said Lot 8, said point being the POINT OF BEGINNING, thence N87°07'26"W 95.42 feet, thence N01°34'06"E 141.00 feet, thence S87°07'26"E 95.42 feet, thence S01°34'06"W 141.00 feet to the POINT OF BEGINNING. Containing 0.31 acres more or less subject to easements and right of way of record.

LEGAL DESCRIPTION: (TRACT A - Lot 11)

A part of Lot 6 in Southside Addition to the City of Bentonville, Arkansas, as per plat of said Addition recorded in the office of the Circuit Clerk and Ex-Officio Recorder of Benton County, Arkansas, and being described as follows: Commencing at the SW Corner of said Lot 6, thence S87°07'26"E 12.85 feet to the POINT OF BEGINNING, thence N01°15'54"E 134.26 feet, thence S88°11'31"E 57.52 feet, thence S01°34'06"W 135.35 feet, thence N87°07'26"W 58.23 feet to the POINT OF BEGINNING. Containing 0.18 acres more or less subject to easements and right of way of record.

LEGAL DESCRIPTION: (TRACT B - Lot 12)

A part of Lot 6 and a part of Lot 7 in Southside Addition to the City of Bentonville, Arkansas, as per plat of said Addition recorded in the office of the Circuit Clerk and Ex-Officio Recorder of Benton County, Arkansas, and being described as follows: Commencing at the SW Corner of said Lot 6, thence S87°07'26"E 71.08 feet to the POINT OF BEGINNING, thence N01°34'06"E 135.35 feet, thence S88°11'31"E 33.00 feet, thence S01°34'06"W 135.97 feet, thence N87°07'26"W 33.01 feet to the POINT OF BEGINNING. Containing 0.10 acres more or less subject to easements and right of way of record.

LEGAL DESCRIPTION: (TRACT C - Lot 13)

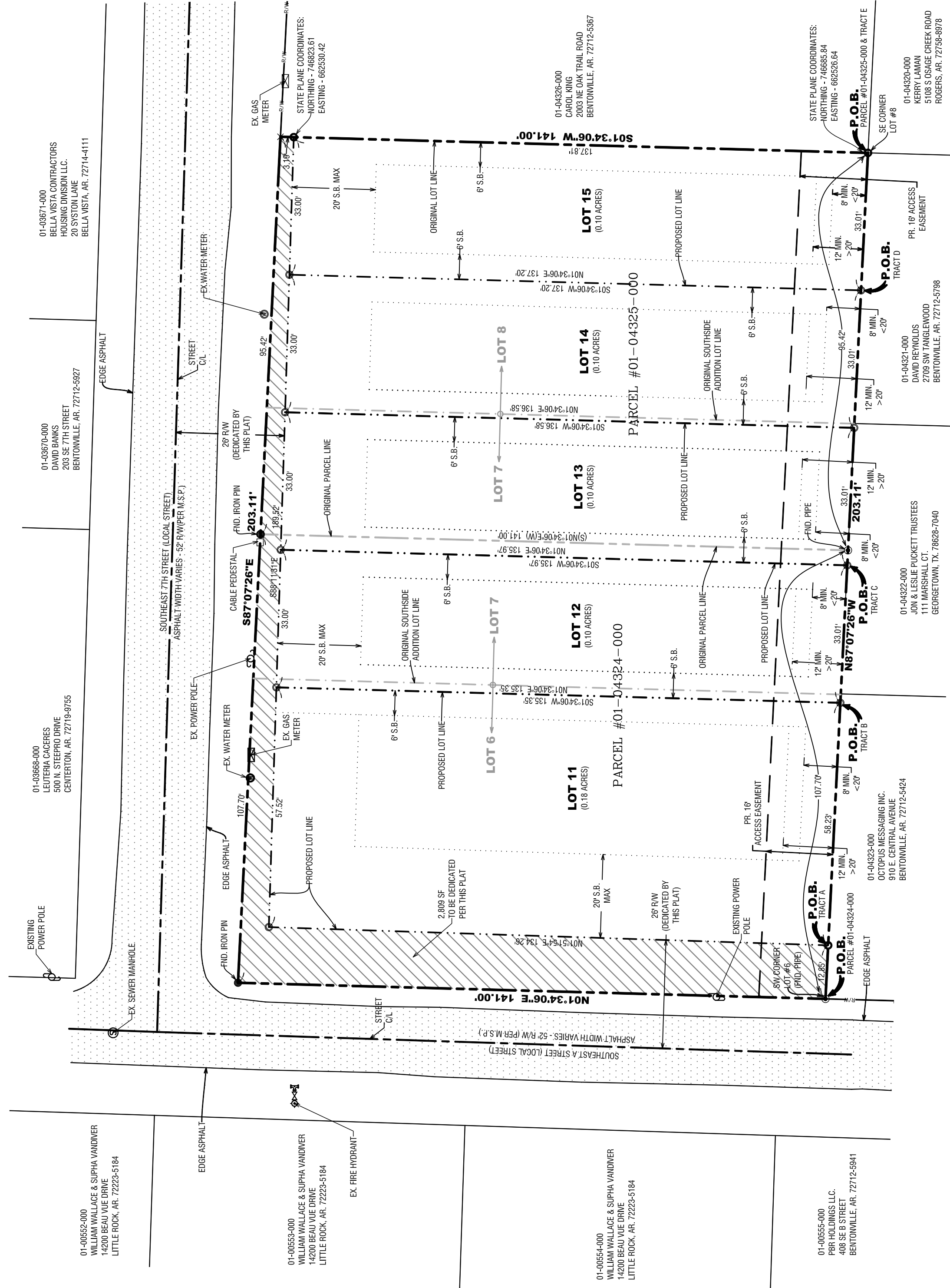
A part of Lot 7 in Southside Addition to the City of Bentonville, Arkansas, as per plat of said Addition recorded in the office of the Circuit Clerk and Ex-Officio Recorder of Benton County, Arkansas, and being described as follows: Commencing at the SW Corner of Lot 6 of Southside Addition, thence S87°07'26"E 104.09 feet to the POINT OF BEGINNING, thence N01°34'06"E 135.97 feet, thence S88°11'31"E 33.00 feet, thence S01°34'06"W 136.56 feet, thence N87°07'26"W 33.01 feet to the POINT OF BEGINNING. Containing 0.10 acres more or less subject to easements and right of way of record.

LEGAL DESCRIPTION: (TRACT D - Lot 14)

A part of Lot 7 and a part of Lot 8 in Southside Addition to the City of Bentonville, Arkansas, as per plat of said Addition recorded in the office of the Circuit Clerk and Ex-Officio Recorder of Benton County, Arkansas, and being described as follows: Commencing at the SE Corner of said Lot 8, thence N87°07'26"W 33.01 feet to the POINT OF BEGINNING, thence N87°07'26"W 33.01 feet, thence N01°34'06"E 136.58 feet, thence S88°11'31"E 33.00 feet, thence S01°34'06"W 137.20 feet to the POINT OF BEGINNING. Containing 0.10 acres more or less subject to easements and right of way of record.

LEGAL DESCRIPTION: (TRACT E - Lot 15)

A part of Lot 8 in Southside Addition to the City of Bentonville, Arkansas, as per plat of said Addition recorded in the office of the Circuit Clerk and Ex-Officio Recorder of Benton County, Arkansas, and being described as follows: Beginning at the SE Corner of said Lot 8, said point being the POINT OF BEGINNING, thence N87°07'26"W 33.01 feet, thence N01°34'06"E 137.20 feet, thence S88°11'31"E 33.00 feet, thence S01°34'06"W 137.81 feet to the POINT OF BEGINNING. Containing 0.10 acres more or less subject to easements and right of way of record.



×	CALCULATED POINT	⊗	EXISTING WATER METER	---	EXISTING BOUNDARY LINE
●	FOUND IRON PIN	☒	EXISTING GAS METER	---	ORIGINAL LOT LINE
○	FOUND IRON PIPE	⊗	EXISTING FIRE HYDRANT	---	ORIGINAL LOT LINE
○	SET IRON PIN & CAP	⊗	EXISTING SEWER MANHOLE	---	PROPOSED LOT LINE
⊗	POWER POLE	⊗		---	CENTERLINE STREET



124 W Sunbridge Drive, Suite 5
Fayetteville, AR 72703
Office: 479.442.9127
Fax: 479.582.4807
www.jorgensenassoc.com

Civil Engineering + Surveying

PROJECT TITLE: LOT SPLIT FOR JACOBS GROUP

LOCATION: BENTONVILLE, ARKANSAS

SHEET TITLE: LOT SPLIT

DRAWN BY: BJR

SHEET SCALE: 1"=20'

DATE: MAY 22ND, 2017

PROJECT FILE: ZLS012016037/LOT SPLIT

BENTONVILLE #17-05000020

SHEET # 1

LARGE SCALE DEVELOPMENT STAFF REPORT



All Pets Animal Hospital Parking Lot Expansion

209 North Walton Blvd.

PC Date: 6/6/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-06000023
Applicant / Current Owner	Wolfcamp LLC 209 N Walton Blvd. Bentonville, AR 72712
Site Area	1.28 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Parking Lot Expansion

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of a vacant parcel situated immediately west of the All Pets Animal Hospital and accessed from NW 2nd Street.

Project Details

The applicant is proposing a large scale development that consists of a 13,000 sq. ft. / 26 space parking lot expansion. It includes a new dumpster enclosure and resurfacing of the existing parking lot. The existing curb cuts onto NW 2nd Street and North Walton Boulevard will be utilized and no new points of ingress/egress are proposed. A utility easement is being dedicated by a separate document for the existing water and sewer mains that traverse the site. Right-of-way along NW 2nd Street is also being dedicated by a separate document to conform the to the current Master Street Plan requirements.

Projected Traffic Impact

The proposed development will not adversely impact traffic in the area.

Utility Infrastructure

Per the GIS website, water and sewer are available.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

The applicant has submitted three waiver request:

- Article 100, Design Standards, Section 1100.7.A, Stormwater Drainage Control Standards.
- Article 1200, Off-site Improvements, Section 1200.2.B, Direct Access to Substandard Streets - waiving improvements to NW 2nd Street since right-of-way is being dedicated by a separate document.
- Article 1100, Design Standards, Section 1100.6, Sidewalks - waiving installation of sidewalk along NW 2nd Street.

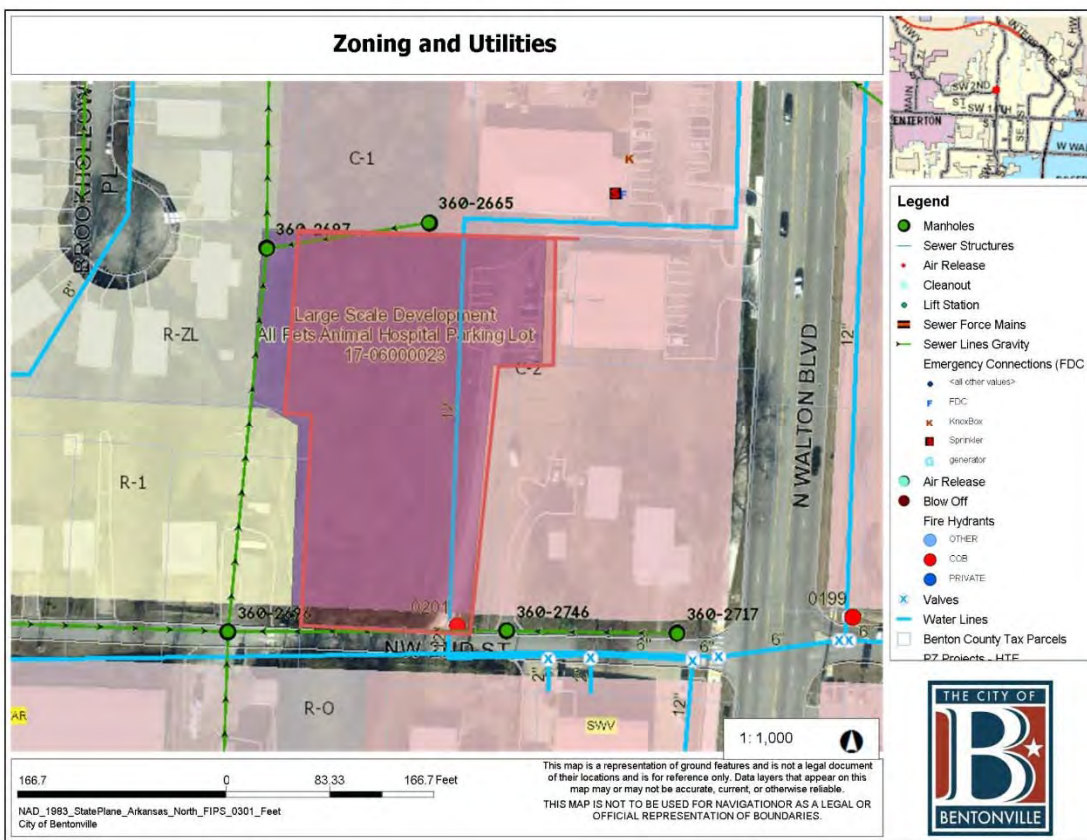
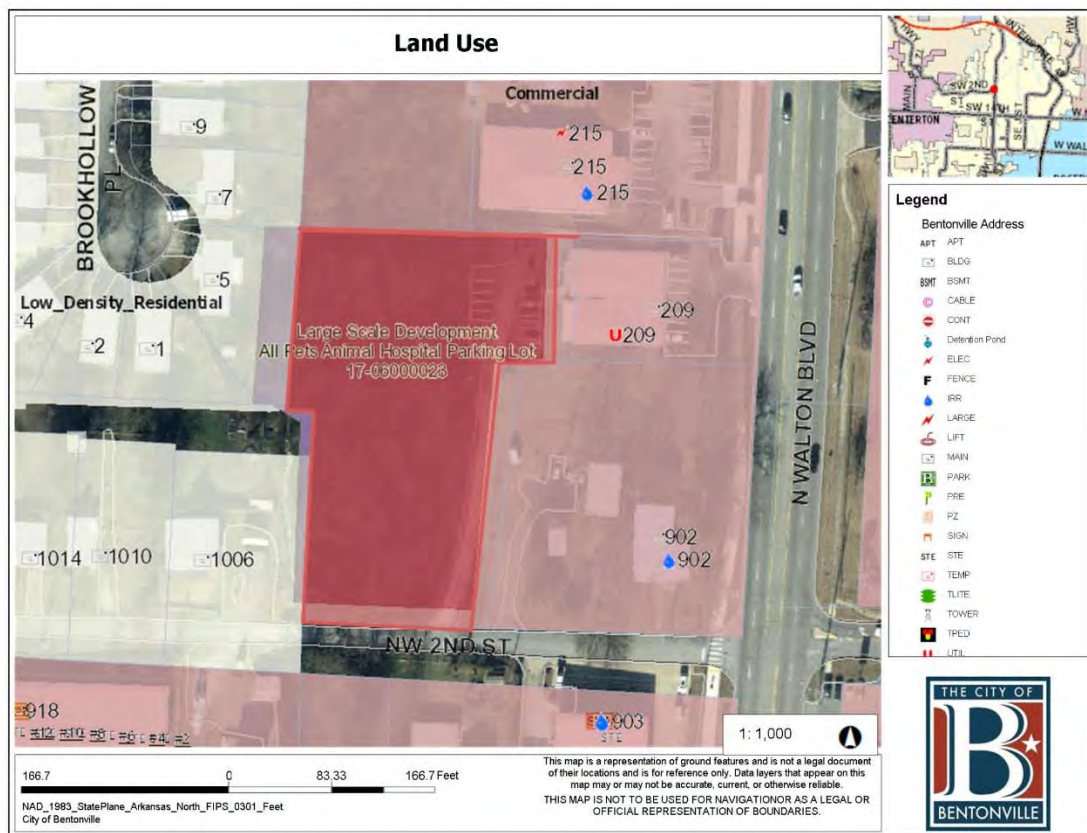
Conclusion

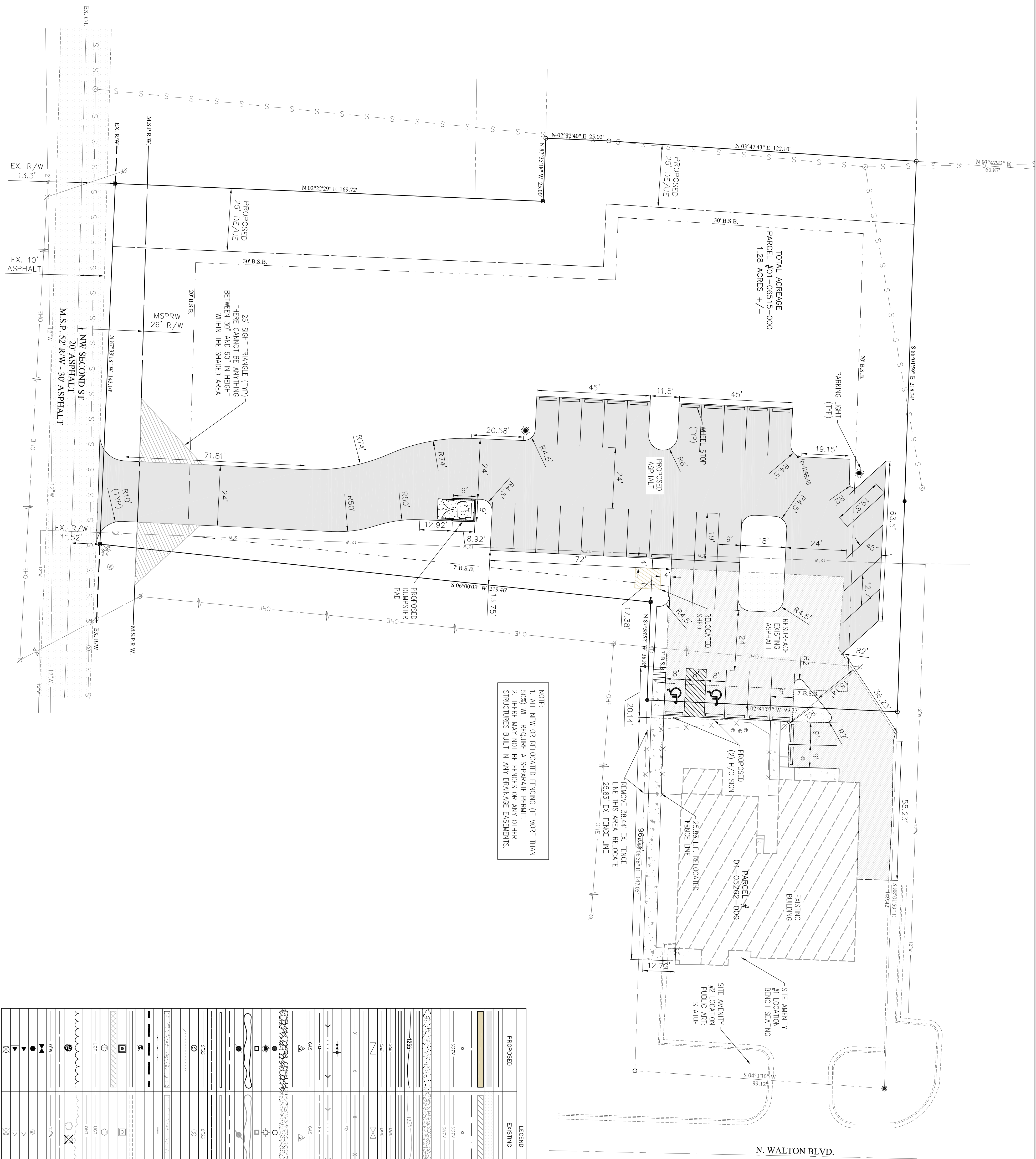
This large scale development does not meet the minimum requirements of the subdivision regulations due the waiver requests.

Recommendation

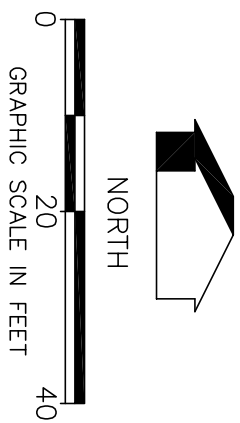
Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

LARGE SCALE DEVELOPMENT STAFF REPORT





PROPOSED	EXISTING	DESCRIPTION
		ASPHALT (EDGE)
		ASPHALT (SURFACE)
		BUILDING
		BUILDING SETBACK LINE
		CABLE TV (UNDERGROUND)
		CABLE TV (OVERHEAD)
		CENTERLINE
		CONCRETE SURFACE
		CONTOURS
		CURB & GUTTER
		ELECTRICAL (UNDERGROUND)
		ELECTRICAL (OVERHEAD)
		ELECT. TRANSFORMER
		EASEMENT
		FENCE (WIRE/WOOD/CHAIN)
		FIBER OPTIC CABLE
		FIRE HYDRANT ASSEMBLY
		FLOWLINE
		FORCE MAIN
		GAS MAIN
		GAS METER
		GRAVEL SURFACE (EDGE)
		GRAVEL SURFACE
		IRON PIN (3/8\"/>
		MONUMENT (CONCRETE)
		POND
		POWER POLE
		PROPERTY LINE (EXTERNAL)
		RETAINING WALL
		RIGHT-OF-WAY
		SANITARY SEWER MANHOLE
		SANITARY SEWER SERVICE
		SECTION LINE
		SIDEWALK
		SIGN
		SILT FENCE
		SPOT ELEVATION
		STORM SEWER PIPE
		STORM SEWER INLET
		STONE SEWER BASE
		TELEPHONE (UNDERGROUND)
		TELEPHONE (OVERHEAD)
		TREE LINE CANOPY
		TREE/TREE TO BE REMOVED
		UTILITY EASEMENT
		WATER MAIN PIPE
		WATER VALVE
		WATER THRUST BLOCK
		WATER MAIN REDUCER
		WATER MAIN BLOWOFF VALVE

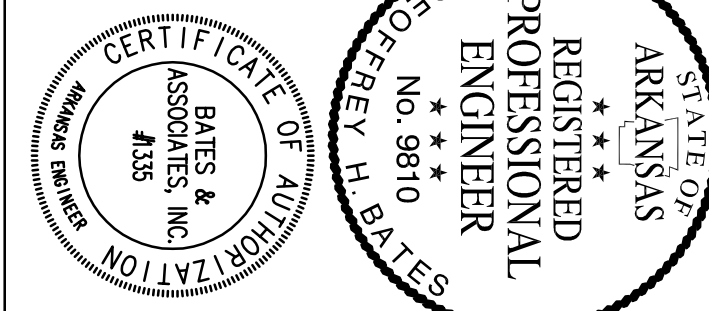


CITY OF BENTONVILLE
PROJECT #17-0600023

PROJECT NO 16-163

ALL PETS PARKING LOT EXPANSION
17-0600023
SITE PLAN
BENTONVILLE, ARKANSAS

DRAWN BY: T. Ford
ENGINEER: G. Bates



Copyright © 2017 Bates & Associates, Inc.



03

LARGE SCALE DEVELOPMENT STAFF REPORT



Carroll Electric Cooperative Corp.

707 SE Walton Blvd.

PC Date: 6/6/2017

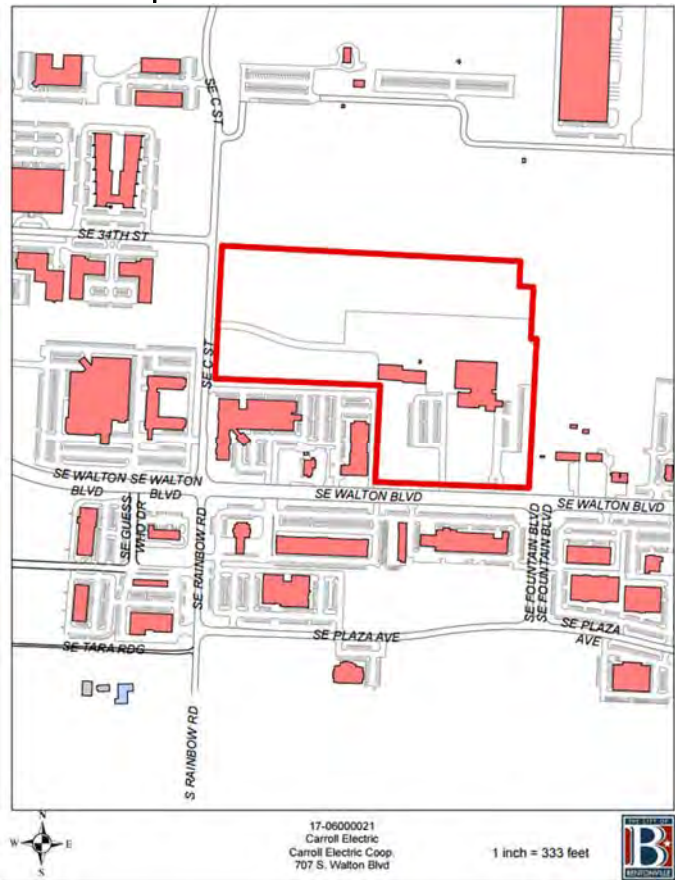
Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-06000021
Applicant / Current Owner	Carroll Electric Cooperative Corp. PO Box 4000 Berryville, AR 72616
Site Area	21.8 acres
Current Zoning	A-1, Agricultural
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Expansion of existing Cooperative Facility

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of the existing Carroll Electric Facility located at 707 SE Walton Blvd.

Project Details

The applicant is proposing a large scale development that will expand the office and warehouse/garage facility of the existing Carroll Electric Cooperative Corporation facility located at 707 SE Walton Blvd. The addition will consist of 14,898 sq. ft. of office space with a drive-thru and another 15,251 sq. ft. of warehouse/garage space. The plan shows the existing 122 parking spaces and proposes 20 new spaces for a total of 145 spaces. The existing curb cuts onto SE Walton Blvd. and SE C Street will continue to be utilized and no new points of ingress/egress are being proposed. The existing storm water detention pond in the southwest corner of the site will remain and a new storm water pond will be constructed in the northwest corner of the site to address the increase in additional impervious surface. The primary materials depicted for the exterior facades include brick, Stucco, stone aggregate concrete and metal panel.

Projected Traffic Impact

The proposed development will not adversely impact traffic in the area.

Utility Infrastructure

Per the city GIS website, public water and sewer are available at this location.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

The applicant has submitted three waiver requests.

- Article 1100, Design Standards, Materials - allow the use of a 24 gauge metal panel on the north, west and east facades.
- Article 601, Use Regulations, Section 601.28.B, Open Display Developments, Traffic Surfaces – allow gravel instead of pavement for the drive aisle within the pole storage yard.

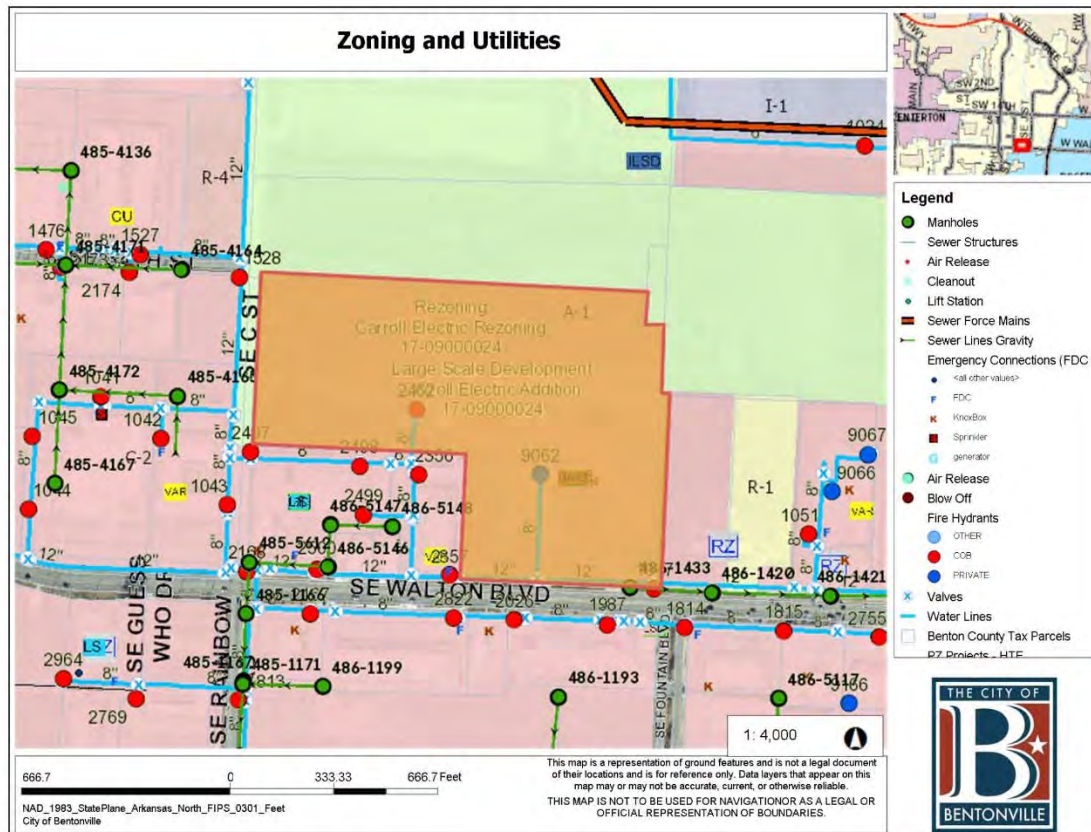
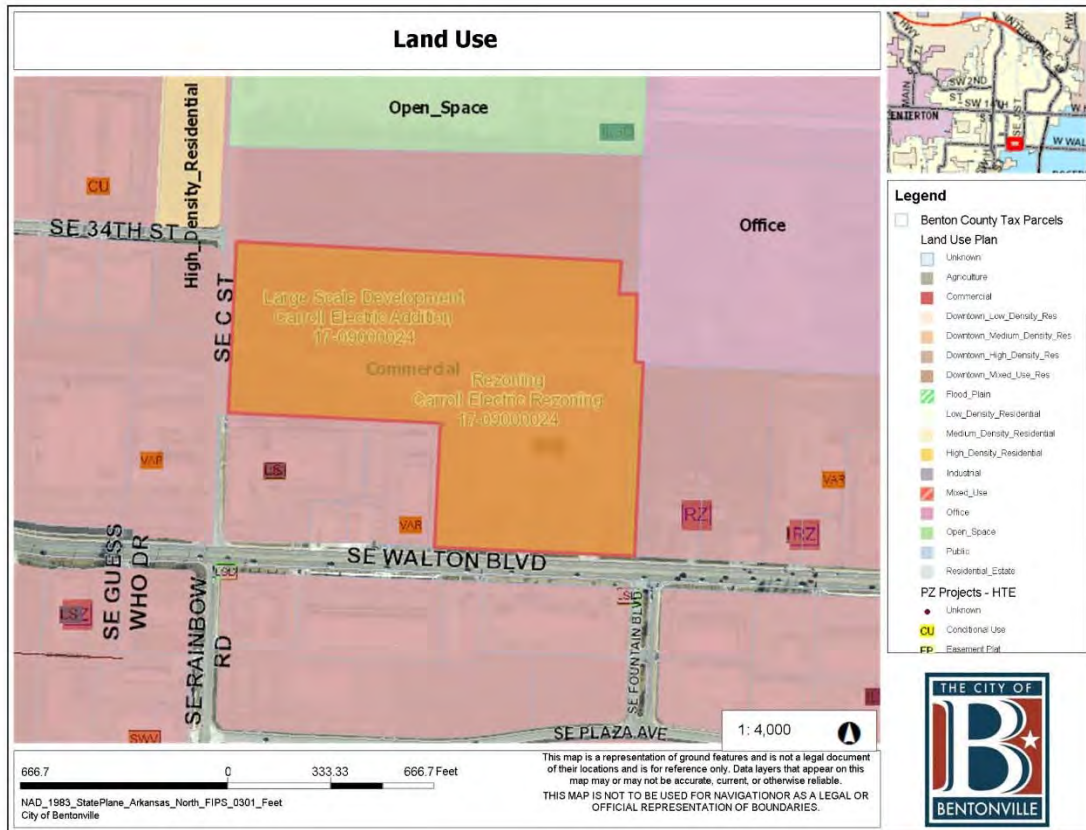
Conclusion

This large scale development does not meet the minimum requirements of the subdivision regulations due to the waiver request.

Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

LARGE SCALE DEVELOPMENT STAFF REPORT





May 11, 2017

Carroll Electric Cooperative Corporation
City of Bentonville, Arkansas
Re: Design Standards for Large Scale Developments

E. Building Design

1. Material: This project consists of an addition and complete remodel of the Carroll Electric office building and warehouse. The primary material of the façade is brick with a portion being stucco. Metal is proposed to be used on the truck garage.
2. Color: Brick is proposed to be shades of brown.
3. Compatibility: The exterior is designed to be compatible with the neighborhood which is commercial.
4. Scale and Bulk: The scale is consistent with the existing warehouse and the buildings on adjacent property.
5. Wall Articulation: Offsets and height changes are utilized to achieve architectural articulation.
6. Facades: This building is set back 230 feet from Walton Boulevard and it is 530 feet to the truck garage which is blocked from view by the public by the new building, screen wall and landscape screening. It is not visible from SE C Street, ball field to the north or the east due to a tree buffer zone.
7. Building material percentages on each façade are listed below.

South:	Brick:	68%	Stucco:	7%	Stone aggregate concrete:	1%	Metal:	16%
East:	Brick:	32%	Stucco:	1%	Stone aggregate concrete:	27%	Metal:	20%
North:	Brick:	-0-	Stucco:	-0-	Stone aggregate concrete:	32%	Metal:	62%
West:	Brick:	31%	Stucco:	1%	Stone aggregate concrete:	23%	Metal:	25%

The building has a very generous setback and wall metal is well screened by the existing building and trees. We believe that the current design improves the overall quality of the area, enhances pedestrian safety and walkability and meets the intent of the design standards. We respectfully request a waiver to utilize metal on the truck garage as shown.

Respectfully,

Ken Shireman, President and CEO
Ken Shireman & Associates



JORGENSEN
+ASSOCIATES
Civil Engineering · Surveying
Landscape Architecture Services

124 W Sunbridge Drive, Suite 5
Fayetteville, AR 72703

Office: 479.442.9127
Fax: 479.582.4807
www.jorgensenassoc.com

June 1, 2017

The City of Bentonville Planning & Engineering Departments
305 SW A Street
Bentonville, AR 72712
Re: Carroll Electric Cooperative Corporation, LSD #17-06000021

To whom it may concern;

Please accept this resubmittal for the above referenced project. We appreciate staff's review and we hope this submittal aids in addressing comments received.

We are kindly seeking a waiver from Subdivision code: Article 601 Section 601.28, Traffic Surfaces, in particular our request to extend the existing gravel pole yard area to the north with more gravel and not paved designated paths.

We have included with this submittal a revised landscape plan, with hopes to address previous comments about perimeter landscaping.

Please review and let us know if there are any additional items that we need to address. Thanks for your time and efforts.

Sincerely,

Blake Jorgensen, P.E

ALL EXISTING DEAD OR DYING TREES WITHIN THE PARKING LOT AND ALONG N. WALTON WILL BE REPLACED WITH NEW 2.5" CAL. LONDON PLANE TREES.

HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME.

LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80 %) OF THE PLANTING ISLANDS. ONE HUNDRED (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED.

ALL PROPOSED TREES SHALL BE PLANTED 5' FROM UTILITY LINES.

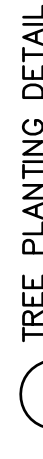
Diagram illustrating the components and maintenance instructions for a tree pit:

- FOR WOODY PLANTS, PRUNE ALL DAMAGED, DISEASED OR WEAK STEMS
- BEGIN MULCH 3" TO 4" AWAY FROM BASE
- 2" TO 3" OF ORGANIC MULCH
- NO CYPRESS MULCH SHALL BE USED
- EVACUATE AND REPLACE EXISTING SOIL. ADD SOIL AMENDMENTS IF NECESSARY. WATER THOROUGHLY TO ELIMINATE AIR POCKETS. DO NOT TAMP.
- ROOTBALL — ROOT COLLAR SHALL BE VISIBLE. REMOVE EXCESS SOIL FROM TOP OF BALL IF NECESSARY. TOP OF BALL MUST BE AT SAME FINISHED GRADE TO ALLOW FOR SETTLING.
- TAPERED SIDES — BREAK DOWN OR ROUGHEN SIDES OF HOLE
- SET BALL ON FIRM SOIL
- UNDISTURBED SUBGRADE

NOT TO SCALE

NOTES:
1. TREE

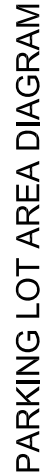
2. THE HOLE FOR THE TREE SHALL BE EXCAVATED 2-3 TIMES THE SIZE OF THE ROOT BALL.
3. STAKE ONLY IF NECESSARY AND AS DIRECTED BY THE PROJECT MANAGER.
4. REMOVE ANY TWINE, ROPE, FLAGGING, WRAPPING, OR GUARDS FROM TREE.
5. PRUNE ONLY DEAD OR BROKEN BRANCHES OR DOUBT LEADERS AT TIME OF PLANTING.
6. ROOTBALL - ROOT COLLAR SHALL BE VISIBLE. REMOVE EXCESS SOIL FROM TOP OF BALL IF FINISHED GRADING IS LOW. FORTHELLER, AFTER SETTING THE BALL IN PLANTING HOLE, CUT AWAY OR REMOVE THE ENTIRE WIRE BASKET, CUT AWAY OR REMOVE ALL ROPES AND TWINE. IF ROOTBALL BEGINS FAILING APART DURING INSTALLATION OR WHILE REMOVING THE WIRE BASKET, CUT AWAY ONLY HALF OF THE BURLAP.
7. SET TREE PLUMB SO THE MAIN LEADER IS STRAIGHT. BEGIN MULCH 3" TO 4" AWAY FROM TRUNK. NO 3" OF ORGANIC MULCH. NO COMPRESS MULCH SHALL BE USED.



STREET TREES:
ALONG "C" STREET: 549' OF R/W
THESE "C" STREET TREES TO BE PRESERVED ALONG ENTIRETY OF "C" STREET FRONTAGE
NO TREES PROPOSED

PARKING TREES:

618 LF OF TYPE 'D' SCREEN
12 TREES (1/50')



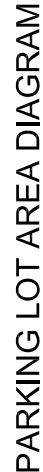
GREEN SPACE AREA = 4,458 SF

GREEN SPACE AREA = 4,458 SF
PARKING LOT AREA = 48,467 SF
4,458/ 48,467 = 9.2%

STREET TREES:
ALONG "C" STREET: 549' OF R/W
THESE "C" STREET TREES TO BE PRESERVED ALONG ENTIRETY OF "C" STREET FRONTAGE
NO TREES PROPOSED

PARKING TREES:

618 LF OF TYPE 'D' SCREEN
12 TREES (1/50')



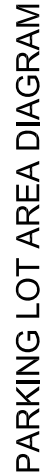
GREEN SPACE AREA = 4,458 SF

GREEN SPACE AREA = 4,458 SF
PARKING LOT AREA = 48,467 SF
4,458/ 48,467 = 9.2%

STREET TREES:
ALONG "C" STREET: 549' OF R/W
THESE "C" STREET TREES TO BE PRESERVED ALONG ENTIRETY OF "C" STREET FRONTAGE
NO TREES PROPOSED

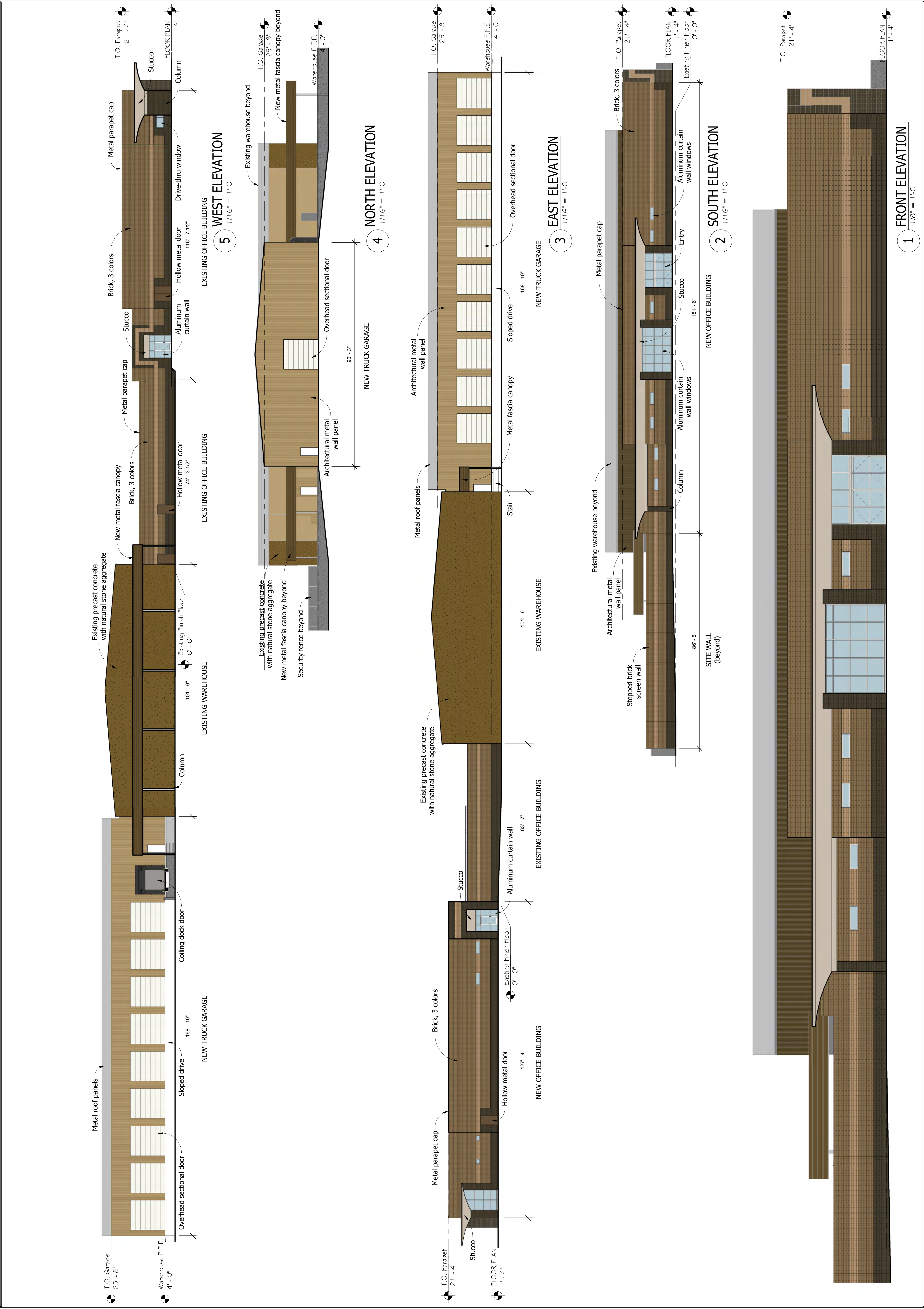
PARKING TREES:

618 LF OF TYPE 'D' SCREEN
12 TREES (1/50')



GREEN SPACE AREA = 4,458 SF

GREEN SPACE AREA = 4,458 SF
PARKING LOT AREA = 48,467 SF
4,458/ 48,467 = 9.2%



LARGE SCALE DEVELOPMENT STAFF REPORT



Bentonville Brewing

SE Griffin Drive

PC Date: 7/6/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-06000024
Applicant / Current Owner	Arvest Bank 201 NE A St. Bentonville, AR 72712
Site Area	2.52 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Commercial brewery/warehouse facility

Property Description

This property is the location of a vacant commercial lot within the Griffin Subdivision situated between the northbound exit ramp for Hwy 102 of I-49 and SE Griffin Drive.

Project Details

The applicant is proposing a large scale development that consists of a new 8,640 sq. ft. single-story commercial brewery/warehouse facility. The plan proposes 33 parking spaces. Ingress/egress will be from a single proposed curb cut onto SE Griffin Drive. Storm water will be detained in the existing pond located in the southwest corner of the site. The primary materials depicted for the exterior elevations include Hardie Reveal Panel System and manufactured stone veneer.

Projected Traffic Impact

The proposed development will not adversely impact traffic in the area.

Utility Infrastructure

Per the GIS website, water and sewer are available at this location.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

No waivers requested.

Conclusion

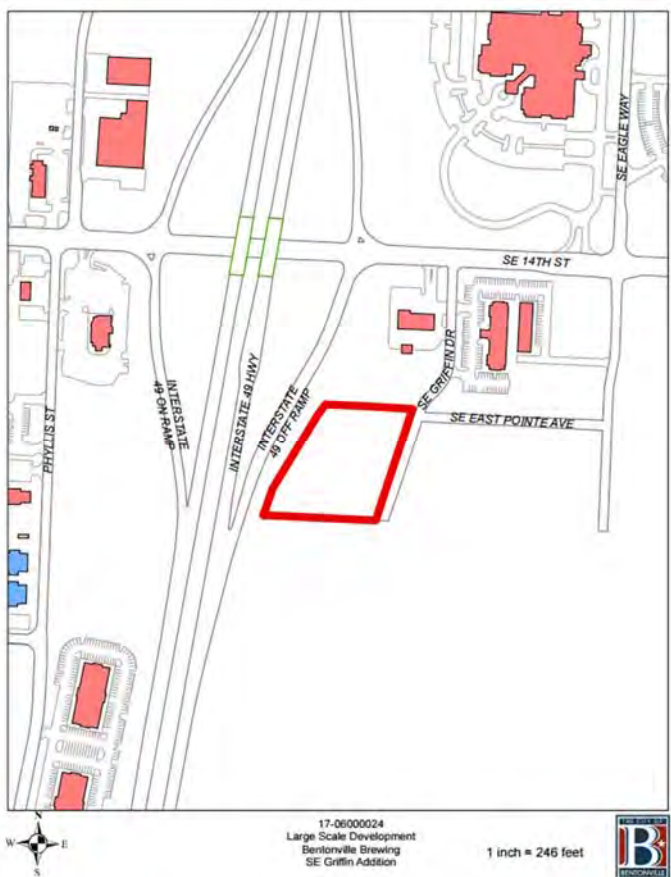
This large scale development does meet the minimum requirements of the subdivision regulations.

Recommendation

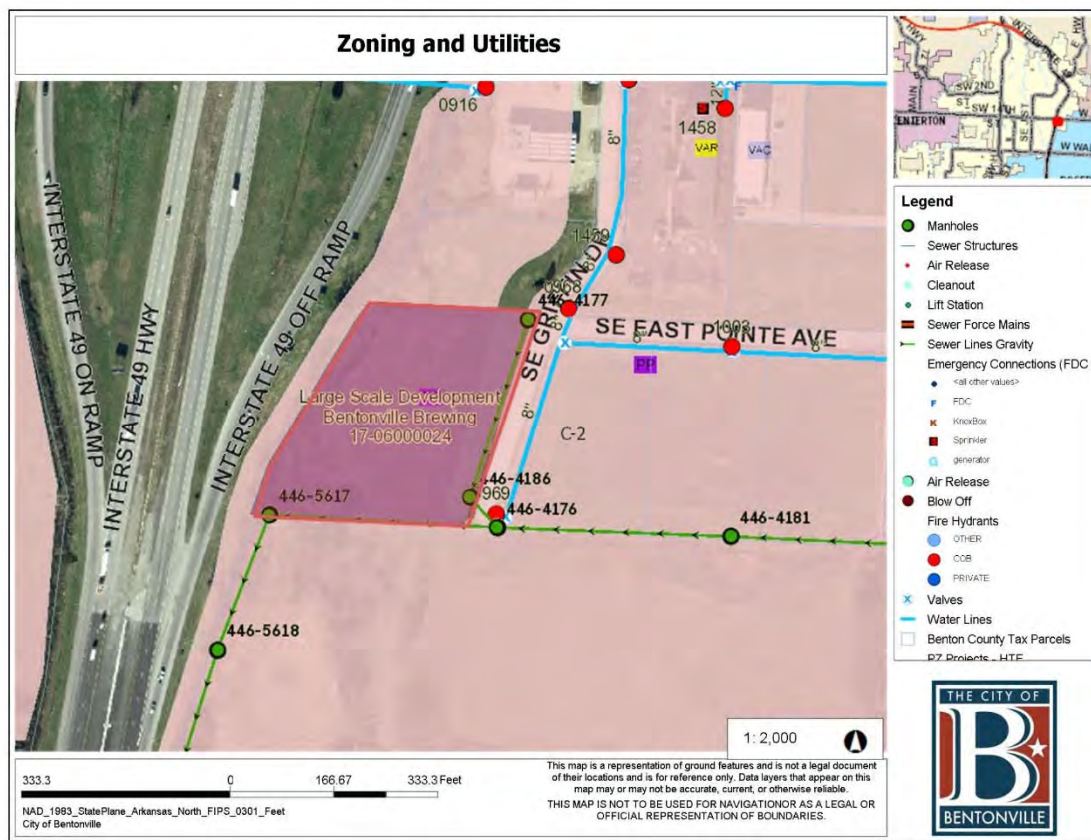
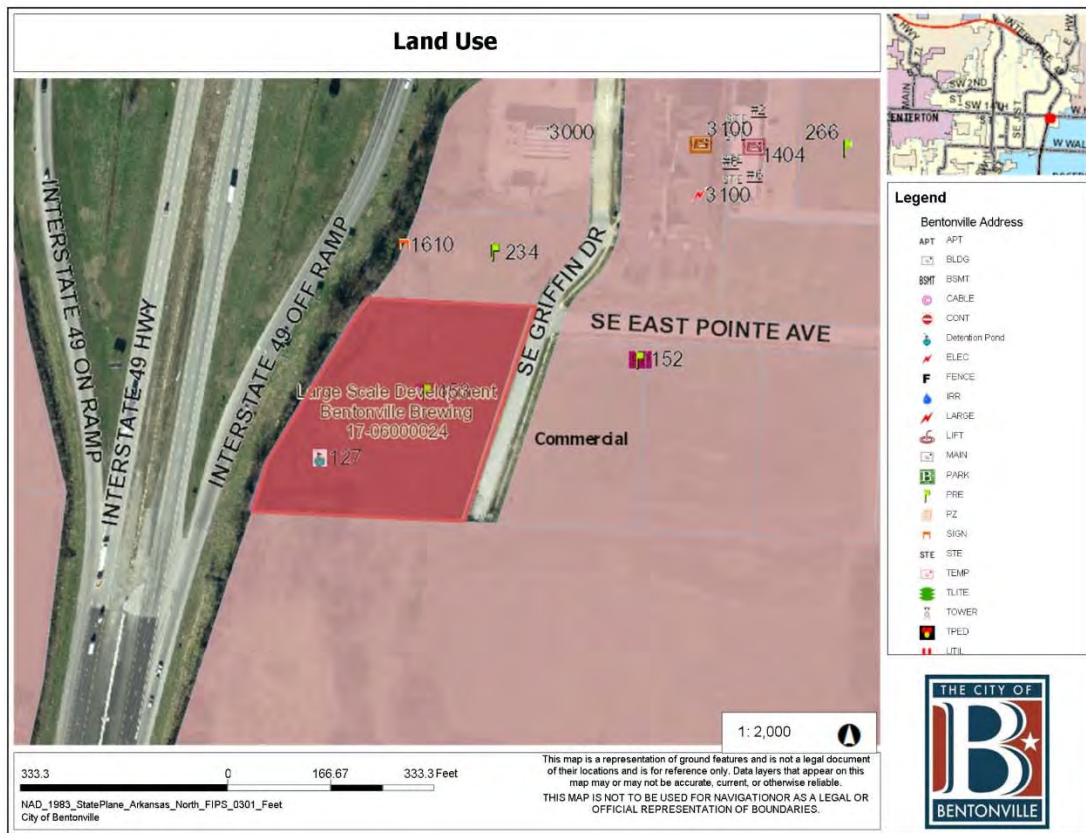
Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map

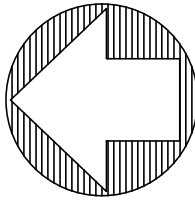


LARGE SCALE DEVELOPMENT STAFF REPORT



1. Contractor shall confirm the location of all utilities prior to starting any work. The contractor is responsible for contacting Arkansas one-call to confirm all utilities.
2. All plants must be healthy, vigorous and free of pests and disease.
3. Standards set forth in "American Standard for Nursery Stock" represent guideline specifications only and shall not be construed as a warranty of performance.
4. All plants must be container grown or balled and burlapped as indicated on the plant list.
5. All required trees shall be 2" minimum caliper, with a single dominant central trunk. Multi-trunk trees will not be acceptable without prior approval from urban forestry.
6. All trees must be straight trunked and full headed, unless specified otherwise, and must meet all requirements specified on the plant list.
7. All plants shall be installed per standard city of Bentonville planting details.
8. All plants are subject to the approval of the landscape architect before, during, and after construction.
9. All planting areas must be completely mulched with a 4" layer of organic hardwood. Mulch shall be not be placed immediately adjacent to tree trunks, but shall be kept at least 3" from root collar at the soil line.
10. All proposed planting areas covered by grass shall have the sod completely removed before planting begins.
11. All planting beds shall be contained by edging material other than vegetation.
12. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. The contractor is responsible for repairing any and all damage to utilities, structures, site appearances, etc. Which occurs as a result of the construction.
13. The contractor is responsible for verifying all quantities shown on these plans before pricing the work.
14. The contractor is responsible for fully maintaining all planting material (including but not limited to: watering, spraying, mulching, fertilizing, etc.) in all planting areas and lawn areas until the work is accepted in total by the owner.
15. The contractor shall completely guarantee all plant material for a period of one (1) year beginning from the date of installation. The contractor shall promptly make all replacements before or at the end of the guarantee period.
16. Any plant material which dies, turns brown, or defoliates (prior to total acceptance of the shall be promptly removed from the site and replaced with material of the same species, quantity, and size and meeting all plant list specifications.
17. Notify landscape architect or designated representative of any layout discrepancies prior to any planting. Locate all utilities and site lighting conduits before construction begins.
18. All areas to be seeded shall receive 5 pounds per 1,000 square feet of turf type fescue, 20% perennial ryegrass and 10% Bermuda grass at 5 pounds per 1,000 square feet.
19. All areas to be seeded shall receive 4" of topsoil and be graded per the grading plan.
20. Irrigation shall be either an underground automatic system or shall utilize hose bibs every 100' as required by Bentonville landscape ordinance, to a min of 5' from finished grade.

21. Maintenance: the current owner of the property shall be responsible for the ongoing maintenance of required landscaping.
22. Replacement landscaping: required landscaping that dies or is damaged shall be removed and replaced by the current owner of the property. The owner shall have 60 days from the receipt of written notice issued by the city to remove and replace any required landscaping that dies or is damaged.
23. Three (3) year maintenance survey shall be deposited for each required street and mitigation tree inspected by Urban Forester at time of installation.
24. Any structural soil required must be indicated on plan, have certified documentation, and be maintained 5' min. horizontal separation between tree plantings and utility lines.
25. All planting details are according to Bentonville Landscape Manual.
26. All plants shall be secured by a 3-year warranty, according to City of Bentonville requirements.
27. All plants shall be secured by a 3-year warranty, according to City of Bentonville requirements.
28. All plants shall be secured by a 3-year warranty, according to City of Bentonville requirements.
29. All planting beds to be contained by 4" edging approved by City of Bentonville Urban Forestry Department.
30. Three (3) year maintenance survey shall be deposited for each required street and mitigation tree.
31. Once installed, landscaping shall be maintained in healthy living conditions and all plant material that dies shall be replaced (See 1400.5.C-10)
32. Trees shall not be topped at any time and proper tree pruning techniques as established by the latest ANSI A300 Standards for Tree Care shall be utilized for maintenance purposes. (See 1400.5.C-11)
33. Healthy trees shall not be removed at any time and proper tree pruning techniques as established by the latest edition of ANSI A300 "Standards for Tree Care" shall be utilized for maintenance purposes. (See 1400.5.C-12)
34. Living materials, such as lawn, grass or herbaceous groundcovers like Juniper or liriodie, etc., shall cover a minimum of eighty percent (80%) of the planting islands. One Hundred percent (100%) of living materials is strongly encouraged. (See 1400.6.A-3 & 1400.8.C-7)
35. All trees within the public r.w. shall be limited to a min of 5' from finished grade.



SEEDING AND SODDING NOTE:

ALL DISTURBED AREAS UNDER A 10% SLOPE SHALL BE TOPSOILED TO A MINIMUM DEPTH OF 4", FERTILIZED AT A RATE OF 250 POUNDS PER ACRE AND SEEDED WITH ANNUAL RYE GRASS AT A RATE OF 3-4 POUNDS PER 1000 SQUARE FEET AND BERMUDA SEED AT A RATE OF 8 POUNDS PER 1000 SQUARE FEET. IF SODDING IS REQUIRED FOR THE AREA, THE AREA IS DESIGNATED FOR SODDING. THE CONTRACTOR SHALL WATER AND MAINTAIN THE GRASS UNTIL A HEALTHY PERMANENT STAND IS ESTABLISHED.

ALL DISTURBED AREAS WITH A 10% TO 15% SLOPE SHALL BE TOPSOILED TO A MINIMUM DEPTH OF 4", FERTILIZED AT A RATE OF 250 POUNDS PER ACRE AND SODDED AND STAKED WITH BERMUDA GRASS (SEE PLAN FOR AREAS.) IF ANY OTHER SLOPES ARE CREATED BY THE CONTRACTOR ABOVE 10%, THEY SHALL ALSO BE TREATED IN THIS MANNER.

ALL AREAS OVER 15% SHALL BE PLANTED AS ABOVE, BUT SHALL ALSO BE COVERED WITH EROSION CONTROL FABRIC.

AREAS TO BE SODDED ARE DESIGNATED BY THE DOTTED HATCH AS SHOWN IN THE LEGEND ON THE LANDSCAPING PLAN.

Existing Features:

Feature	Description
	Found 3/8" rebar
	Sanitary sewer manhole
	Power pole
	Property line
	Right-Of-Way line
	Street / Drive Centerline
	Curb And Gutter
	Building Setback Line
	Utility Easement Line
	Building Setback & Utility Easement Line
	Ex 6" Water Line
	Ex 8" Sanitary Sewer Line
	Existing asphalt
	Paving

Proposed Features:

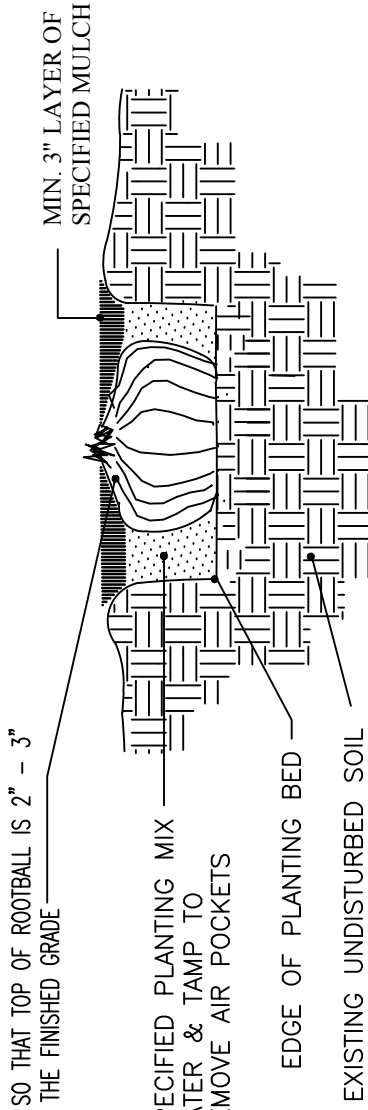
Feature	Description
	Property line
	Right-Of-Way line
	Street / Drive Centerline
	Curb And Gutter
	Access Easement
	Light Duty Asphalt (See Detail Sheet For Pavement Sections)
	Concrete Sidewalk
	Water Meter
	3/4" Irrigation Meter
	Sanitary Sewer Manhole
	Pr 4" Sanitary Service Line
	Pr 8" Sanitary Sewer Line
	Pr Water Service Line
	Private Electric Service Line(s)

PLANTING REQUIREMENTS:

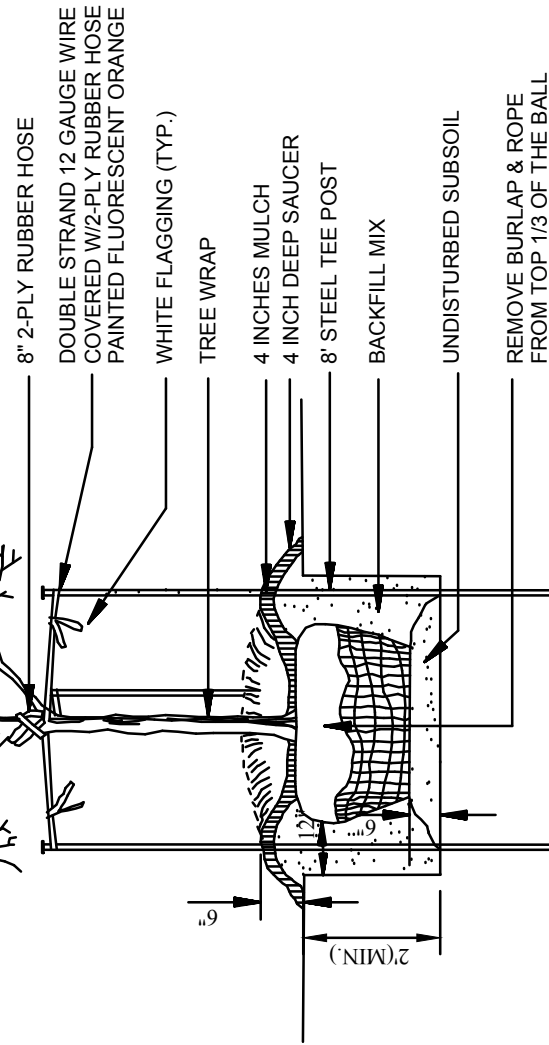
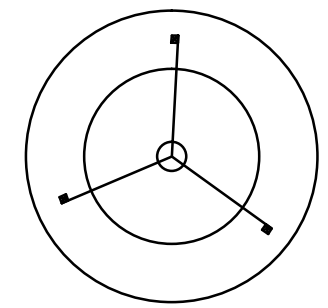
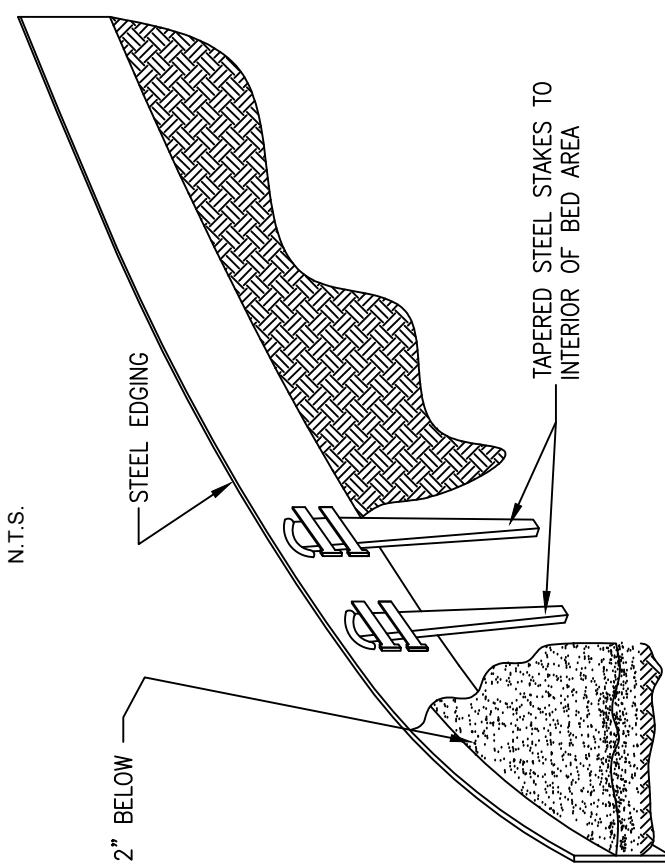
1400.8 (Interior)
13,200 sq ft @ 8% = 1,056 sf of idscop area
Required trees = 1,056 sf / 125 = 9 trees

1400.7 (Perimeter)
North = 285.70 LF / 50 LF = 5.3 = 6 trees
East = 362.29 LF / 50 LF = 7.3 = 8 trees
South = 362.29 LF / 50 LF = 7.3 = 8 trees
West = 382.12 LF / 50 LF = 7.8 = 8 trees
TOTAL = 31 trees

1400.6 (Street)
East = 369.29 LF / 20 LF = 18.5 = 19 trees



SHRUB/GROUND COVER PLANTING



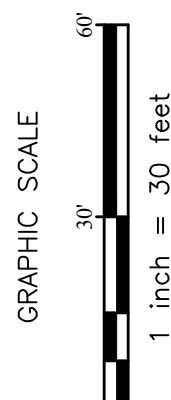
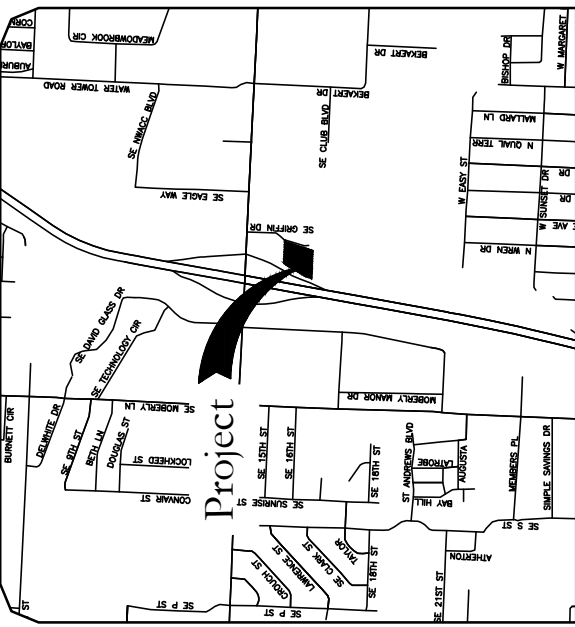
NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TREE PLANTING

N.T.S.

PLANT SCHEDULE

COMMON NAME	SIZES/SPACING/REMARKS
Bernuda Sod	
LONDON PLANETREE Platanus x Acerifolia	B&B: 2.5" CAL @ DBH 30' O.C.
AUTUMN BLAZE MAPLE Acer x Freemanii	B&B: 2.5" CAL @ DBH 20' O.C.
LEGACY MAPLE Acer saccharum	B&B: 2.5" CAL @ DBH 25' O.C.
WHITE PINE Pinus Strobus	B&B: min 8' height 30' O.C.
PIN OAK Quercus Palustris	B&B: 2.5" CAL @ DBH 25' O.C.



NO.	DATE	REVISION

Development for:
BENTONVILLE BREWING CO
1000 SE 5TH STREET
BENTONVILLE, AR 72712
PH: 479-464-0150

SWOPE ENGINEERING
Civil Engineering
2811 SE J Street, Suite 9 PMB 264
Bentonville, Arkansas 72712
479-250-4285 fax
479-683-8399 office

Project No. 17-203	Scale 1"=30'
Date: 5/22/2017	Sheet Description LANDSCAPE PLAN
Sheet # C2.0	

LANDSCAPE EDGING

N.T.S.

COBH 17-00000024



DESC.	DATE	REV. NO.

HENRY ARCHITECTURE
1722 N COLLEGE AVE., SUITE C - BOX 153
FAYETTEVILLE, AR 72703
PHONE - 479.530-9693 EMAIL: chenny@henryarchitecture.com
DRAWN BY: CJH4
CHECKED BY: CJH4

BENTONVILLE, AR
JOB #17-002

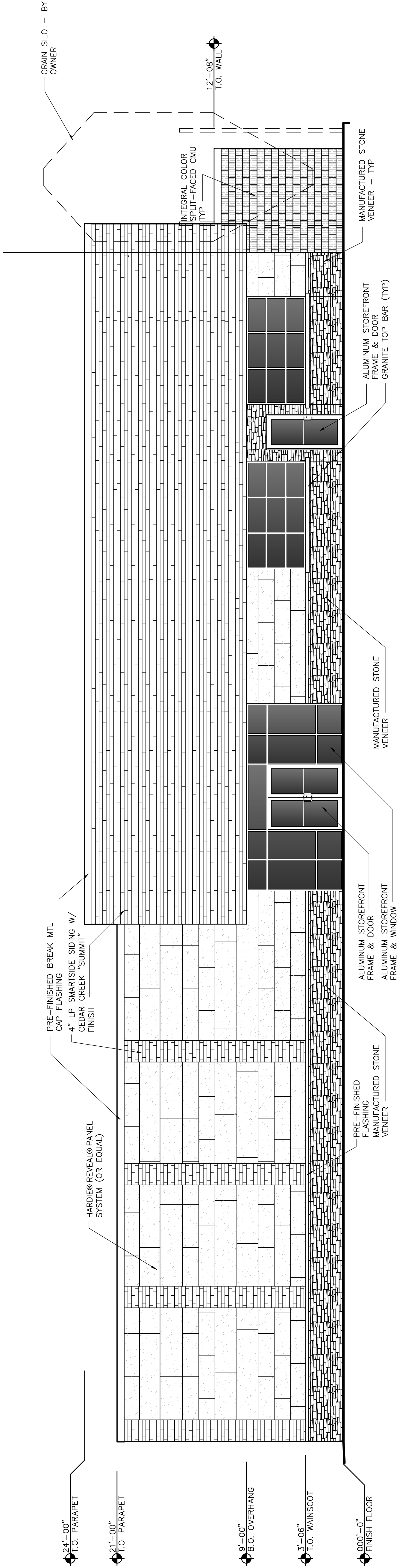
BENTONVILLE BREWING COMPANY

PRELIMINARY SET 06.01.2017

BUILDING ELEVATIONS

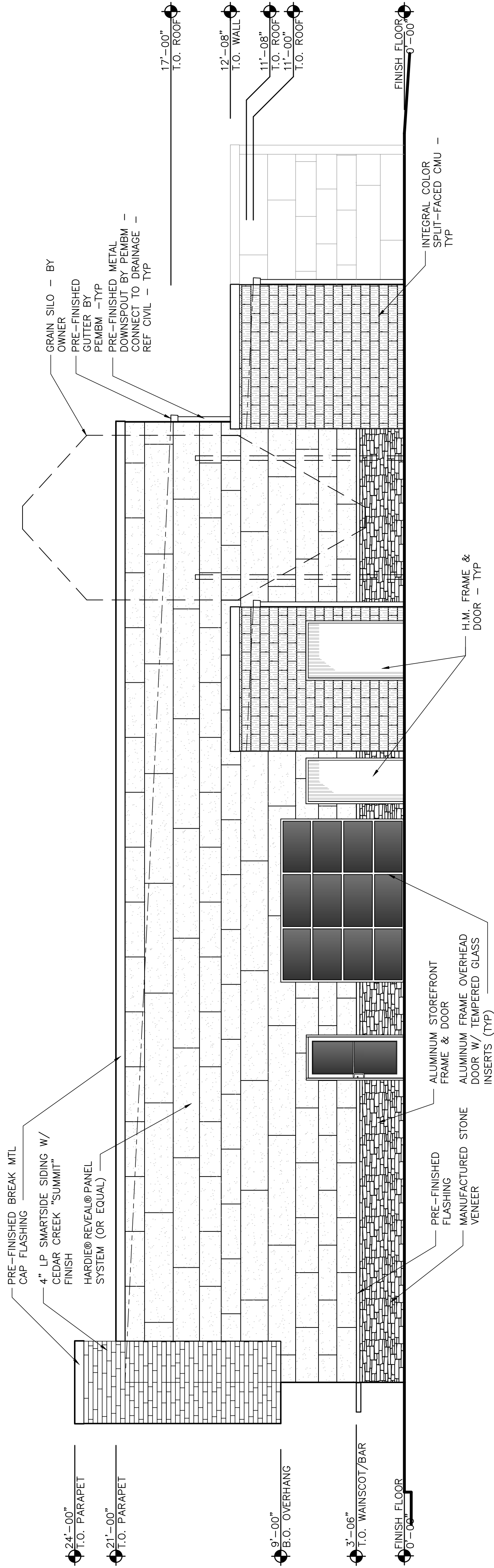
DATE: 04.17.2017

A2.1



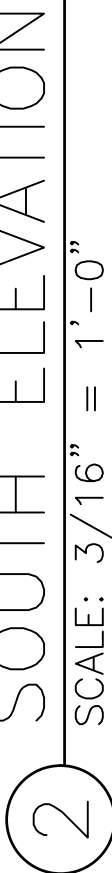
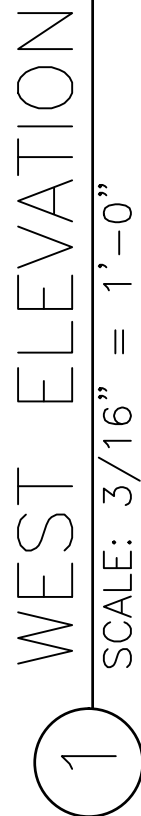
1 EAST ELEVATION

SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION

SCALE: 3/16" = 1'-0"



LARGE SCALE DEVELOPMENT STAFF REPORT



The ROC Offices Phase 1 & 2

SW Corner of Rice Lane and Rice Road

PC Date: 6/6/2017

Recommendation: In Report

Reviewer: Jon Stanley, Planner

Project Number	17-06000022
Applicant / Current Owner	CrossMar Investments 1500 East Central Ave. Bentonville, AR 72712
Site Area	33.02 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Commercial Office Building

Property Description

This property is vacant and situated between Interstate 49 and Rice Road, south of Rice Lane.

Project Details

The applicant has submitted a large scale development consisting of two phases that will be known as the ROC Offices. Phase 1 will include a 78,704 sq. ft. single-story office building with 298 parking spaces and the extension of a collector street that will provide the primary access to the proposed development. Phase 2 will include a 72,244 sq. ft. single-story office building and 289 parking spaces. Within the two phases of the project, the plan shows three points of ingress/egress onto the new collector street. Sidewalk will be constructed along the west side of the proposed collector street. Storm water detention is provided in the northeast corner of the project. The primary materials depicted for the exterior facades include metal composite wall panels, insulated aluminum store front glass panels and pre-cast concrete wall panels.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Projected Traffic Impact

The proposed development will not adversely impact traffic in the area.

Utility Infrastructure

Per GIS website, water and sewer are available at this location.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

The applicant has submitted one waiver request.

- Article 1400, Landscaping, Screening & Buffering Requirements, Section 1400.7.A.1, Perimeter Landscaping Strip - providing additional interior greenspace in lieu of the perimeter requirement (20% for phase 1 and 12% for phase 2 where only 10% is required).

Conclusion

This large scale development does not meet the minimum requirements of the subdivision regulations due to the waiver request.

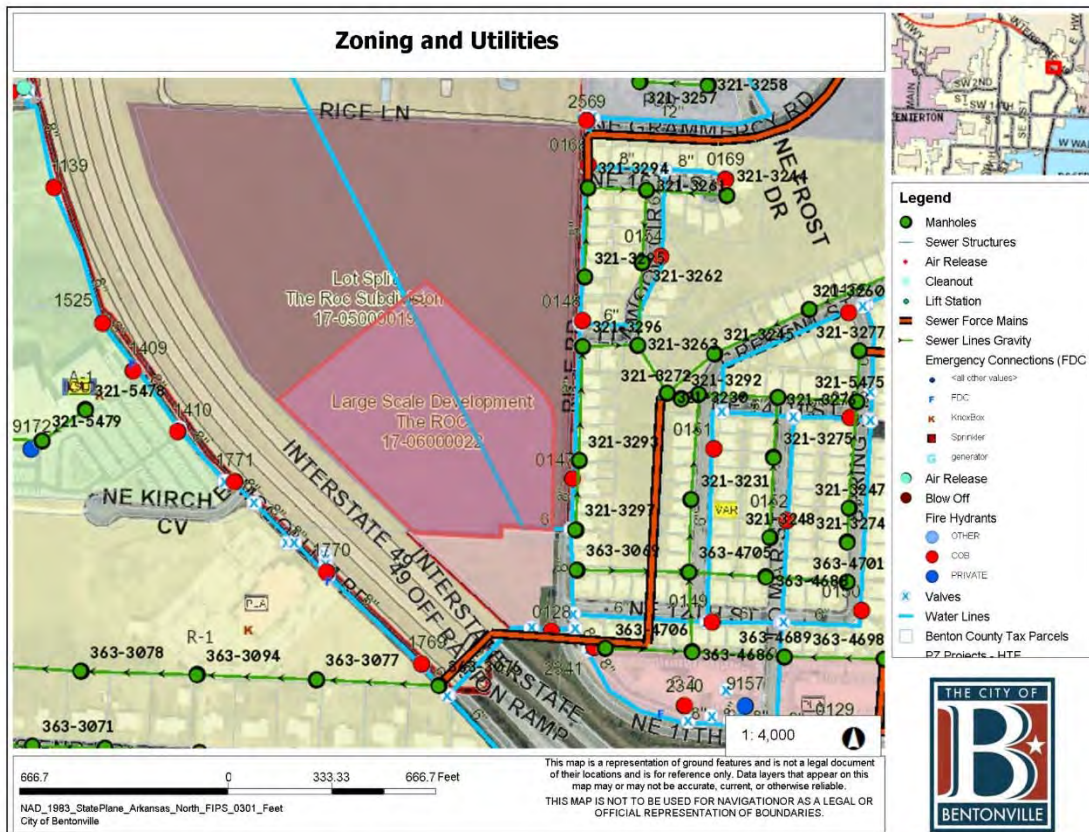
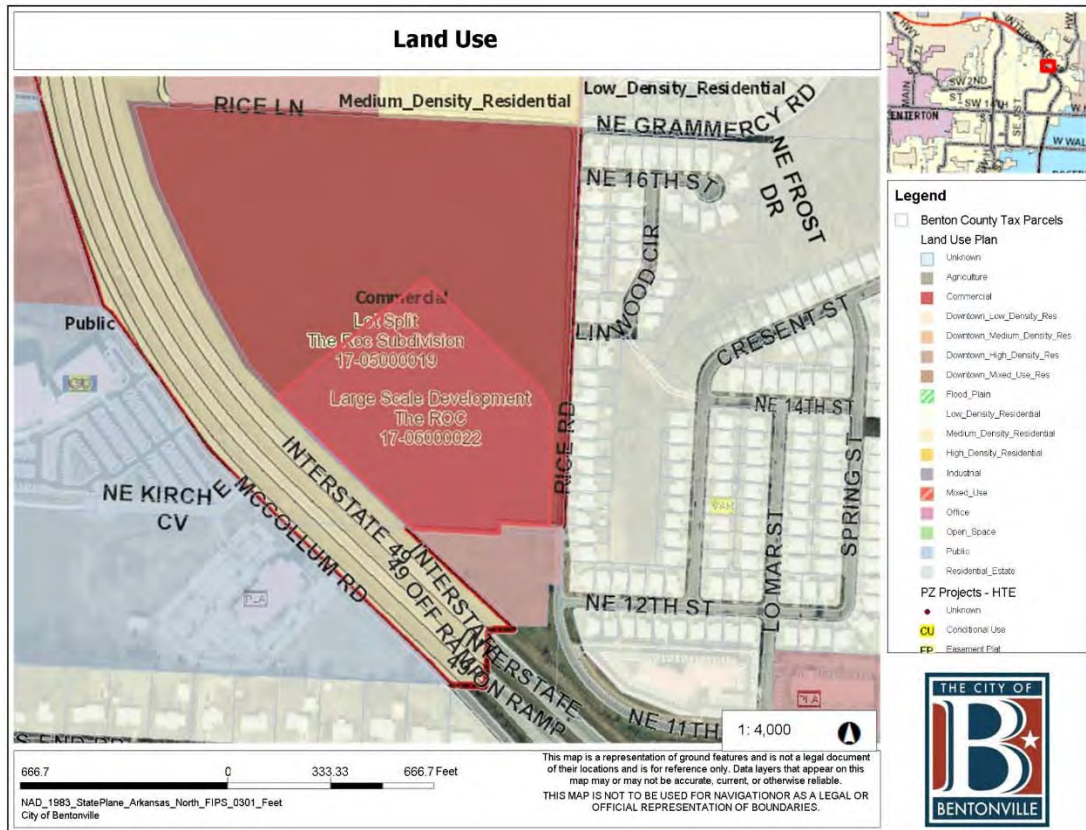
Recommendation

This application is still under review. An appropriate recommendation will be made prior to Planning Commission.

Location Map



LARGE SCALE DEVELOPMENT STAFF REPORT





MORRISON SHIPLEY

ENGINEERS • SURVEYORS

Mr. Troy Galloway
City of Bentonville
305 S.W. "A" St.
Bentonville, AR 72712

May 22, 2017

Re: *The ROC Development*
 1301 & 1401 Rice Rd
 7' Perimeter Greenspace Waiver Request

Dear Mr. Galloway:

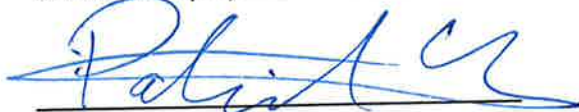
On behalf of Crossmar Investments, we respectfully request a waiver of the 7' perimeter greenspace requirement between phase 1 and phase 2 of the above referenced project.

The proposed development for construction is two, 1-story, approximate 78,000 sf (bldg. 1) and 72,000 sf (bldg. 2) Office Buildings with associated parking and drives. Currently the development is not meeting the 7' perimeter greenspace requirement between phase 1 and 2. This is due to providing the most efficient parking layout to serve the overall development and needs of the future tenants.

Additional interior greenspace has been provided in lieu of and in attempt to offset the 7' perimeter greenspace. The minimum greenspace required per code is 10% and the developer is providing 20.1% for phase 1 and 12.8% for phase 2.

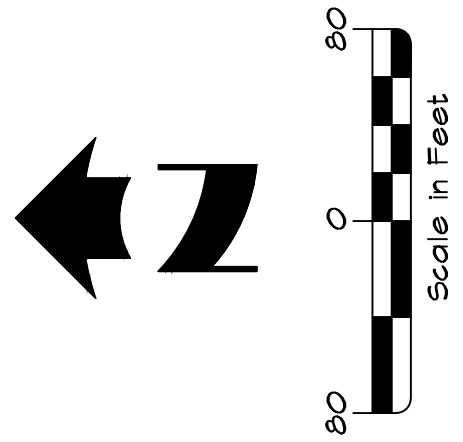
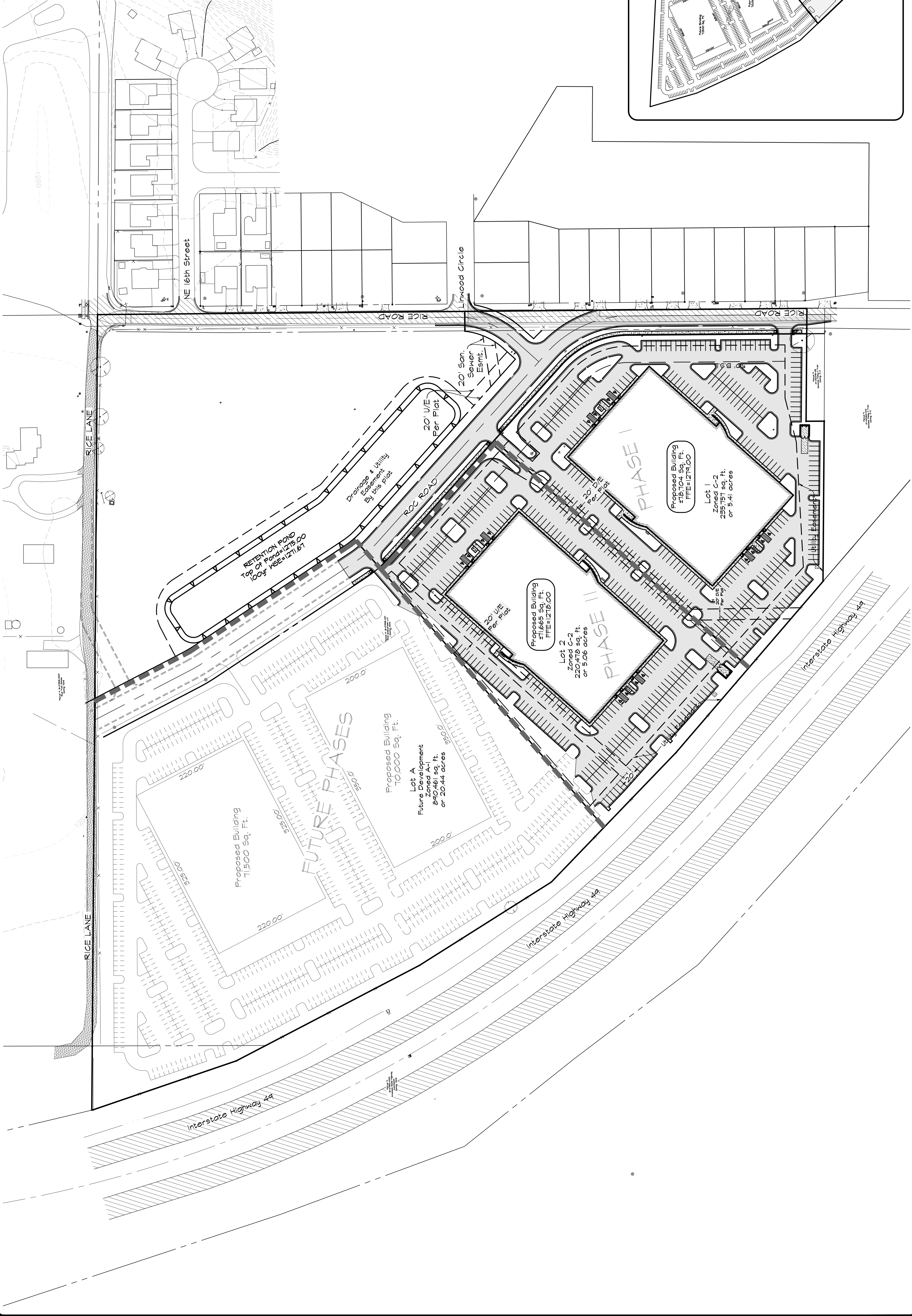
In conclusion, based on the information provided, it is our opinion that the additional interior greenspace that will have 2 shade trees planted in each will make up for the 7' perimeter greenspace between buildings 1 and 2. Please consider this waiver request on the future site development described. If you have any questions or need additional information, please call.

Sincerely,
Morrison Shipley Engineers, Inc.

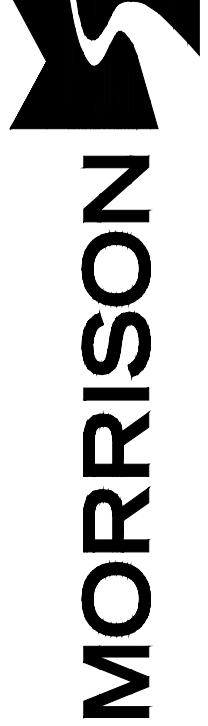


Patrick Foy, E.I.
Project Manager

2407 S.E. Cottonwood Street
Bentonville, AR 72712
479.273.2209 ■ Fax 479.273.2553
Morrisonshipley.com



Revision	By	Date



MORRISON

SHIPLEY

ENGINEERS • SURVEYORS

2407 SE Cottonwood Street • Bentonville, AR 72712 • 479.273.2209 • morrisonshipley.com

FOR REVIEW

Drawn By:	DKW
Approved By:	PRF
Date:	04.10.17
Project No.:	CMI-09
Drawn Name:	Plan Sheets

Vertical Scale:	—
Horizontal Scale:	1" = 80'
Plotting Scale:	1

THE ROC

RICE LANE And RICE ROAD

Bentonville, Benton County, Arkansas

OVERALL SITE PLAN

Issued for Review 5.01.2017

Photos

Reside
208 Southwest P.e
R-1 to DM-2
17' 0"

W
WEEKLY FROM
12' 8"

GRAPHIC: DE
are not to be used

FINISH LEGEND

MP-1 METAL COMPOSITE MATERIAL WALL PANELS		PC-1 PRECAST CONCRETE WALL PANELS	
MATERIAL	INSULATED METAL PANELS	MATERIAL	SMOOTH FINISH PRE-CAST CONCRETE INSULATED WALL PANEL
COLOR	SLATE GRAY	COLOR	PANT - SHERWIN WILLIAMS RESERVED WHITE SW 7056
MNF	MBC OF ARCHITECTURAL HORIZONTAL	MNF	TED

AL-1 ALUMINUM FRAMED STOREFRONT		GL-1 THERMOPLASTIC MEMBRANE SOILING	
MATERIAL	ALUMINUM STOREFRONT	MATERIAL	65 MIL. TPO WITH INTERNALLY FABRIC OR SCRIM REINFORCED UNIFORM
COLOR	CLEAR ANODIZED	COLOR	WHITE
MNF	KAWNEER	MNF	CARULE STITEC INC. SUPER-HELD TPO, ULTRAPLY TPO, PRESIDENT BUILDING PRODUCTS CO. ULTRAPLY TPO, JORDAN MANVILLE INC. JM TPO

GU-1 INSULATED GLASS UNIT	
MATERIAL	SOLARBLUE REFLECTIVE GLASS
COLOR	SOLARCOOL SOLARBLUE
MNF	VITRO GLAZINGS

