



**Planning Commission
Agenda
November 21, 2017**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**
- IV. New Business**

- 1. Inspire Med Spa** **Conditional Use***
2104 SE 14th Street (CU17-0103)
- 2. Kaiser** **Rezoning***
(R-1, Single Family Residential to DN-3, Downtown High Density Residential)
302 NE 'B' Street (RZ17-0106)
- 3. Kuhlman Properties, LLC** **Rezoning***
(A-1, Agricultural to C-2, General Commercial)
SW Regional Airport Blvd. (RZ17-0107)
- 4. Kuhlman Properties, LLC** **Rezoning***
(A-1, Agricultural to R-4, High Density Residential)
SW Blue Jay Ln. (RZ17-0108)
- 5. Deb Farms Adventures Inc.** **Rezoning***
(A-1, Agricultural to R-1, Single-Family Residential)
Southwest Barron Road & Piercy Road (RZ17-0109)
- 6. Lots 1, 2, & 3 Crossings Subdivision** **Lot Split**
2090 NE 'J' Street (LS17-0107)
- 7. Lots 46, 47, & 48 Fountain Plaza Subdivision** **Lot Split**
798 SE Plaza Ave (LS07-0111)
- 8. Lots 6 & 7 Wayne Carlson Subdivision** **Property Line Adjustment**
1503 & 1505 SW 2nd Street (PLA17-0005)
- 9. Hogwild Warehouse Phase II** **Large Scale Development**
2908 SE 'I' Street (LSD17-0105)

10. J3 Apartments **Large Scale Development Extension**
SE 3rd St./SE J St. & E. Central Ave. (*LSD17-06000042*)

11. Article 1600 Addressing Amendment **Ordinance***

12. Sign Ordinance Amendments **Ordinance***

- V. Other Business**
- VI. Planner's Report**
- VII. Adjournment**

Planning Commission
Minutes
November 7, 2017

Meeting called to order at 5:00 p.m. by Rod Sanders, Chairman

Present: Joe Haynie, Jim Grider, Elaine Kerr, Scott Eccleston, Rod Sanders, Richard Binns and
Tregg Brown
Staff: Shelli Kerr, Jon Stanley, and Tyler Overstreet

Motion by Mr. Grider, seconded by Mr. Binns to approve the minutes of October 17, 2017 as written
Approved 7-0

Consent Agenda

- | | |
|--|------------------------------|
| 1. Lots 1 & 2 Featherston Valley Subdivision | Lot Split |
| Featherston Road, Glen Road, and Been Road | |
| 2. Lot 13, Block 26, Deming's 2 nd Addition | Property Line Adjustment |
| 204 Northwest 7 th Street | |
| 3. McClain Place Addition | Final Plat |
| McClain Road | |
| 4. All Pets Animal Hospital Parking Lot Exp. | Large Scale Development Ext. |
| 209 North Walton Boulevard | |

Approved 7-0

New Business

Item #1

Word of Life Fellowship: Rezoning, 404 Southwest Regional Airport Boulevard, R-1, Single Family
Residential to C-2, General Commercial
Jon Stanley reads the staff report.
Opened Public Hearing
No public comments
Closed Public Hearing
Approved 7-0

Item #2

Hall: Rezoning, 701 East Central Avenue, R-1, Single Family Residential to DN-1, Downtown Low Density
Residential
Jon Stanley reads the staff report.
Opened Public Hearing
No public comments
Closed Public Hearing
Approved 7-0

Item #3

Fellowship Bible Church: Conditional Use, Tiger Boulevard & McCollum Road

Jon Stanley reads the staff report.

Opened Public Hearing

No public comments

Closed Public Hearing

Approved 7-0

Item #4

The Neighborhood Church: Large Scale Development, 2702 Southwest 'I' Street

Jon Stanley reads the staff report.

Motion by Mr. Haynie, seconded by Mr. Grider to approve the Waiver Request: Parking Placement

Approved 7-0

Large Scale Development

Approved 7-0

Item #5

The Momentary: Large Scale Development, 507 Southeast 'E' Street

Jon Stanley reads the staff report.

Motion by Mr. Grider, seconded by Mr. Binns to approve the Waiver Request: Landscaping Requirements

Approved 6-0

Mr. Eccleston abstains

Large Scale Development

Approved 6-0

Mr. Eccleston abstains

Item #6

Lambert: Driveway Waiver, 400 Southwest 'E' Street

Jon Stanley reads the staff report.

There is discussion between the Commissioners and Mr. Lambert.

A condition is set contingent upon use of substantial edging material to contain the gravel.

Approved 7-0

Meeting adjourned

Ali Worley

**A full recording of this meeting can be obtained from the City of Bentonville Planning Department.*

CONDITIONAL USE STAFF REPORT



Inspire Med Spa

2104 SE 14th Street

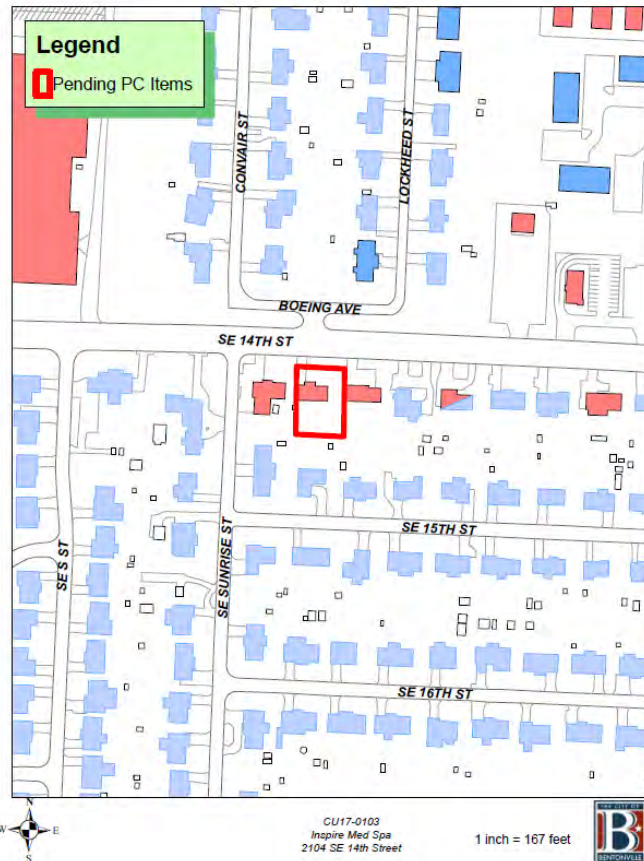
PC Date: 11/21/2017

Reviewer: Tyler Overstreet, Planner

Project Number	CU17-0103
Applicant / Current Owner	Inspire Med Spa 2104 SE 14 th Street Bentonville, Arkansas 72712
Site Area	+/- .37 acres
Current Zoning	R-O, Residential Office
Future Land Use Map Designation	Office (O)
Requested Use	Use as a Day Spa
Protective Covenants	None

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is located at 2104 SE 14th Street near a number of similar low-density office uses.

Proposed Use Description

The applicant is requesting a conditional use for the purpose of running a medical spa. Clients will primarily access the business from the rear drive between the hours of 9:30 AM to 5:00 PM Monday thru Friday. The business anticipates a maximum of 2 patrons and four employees during peak operating hours.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

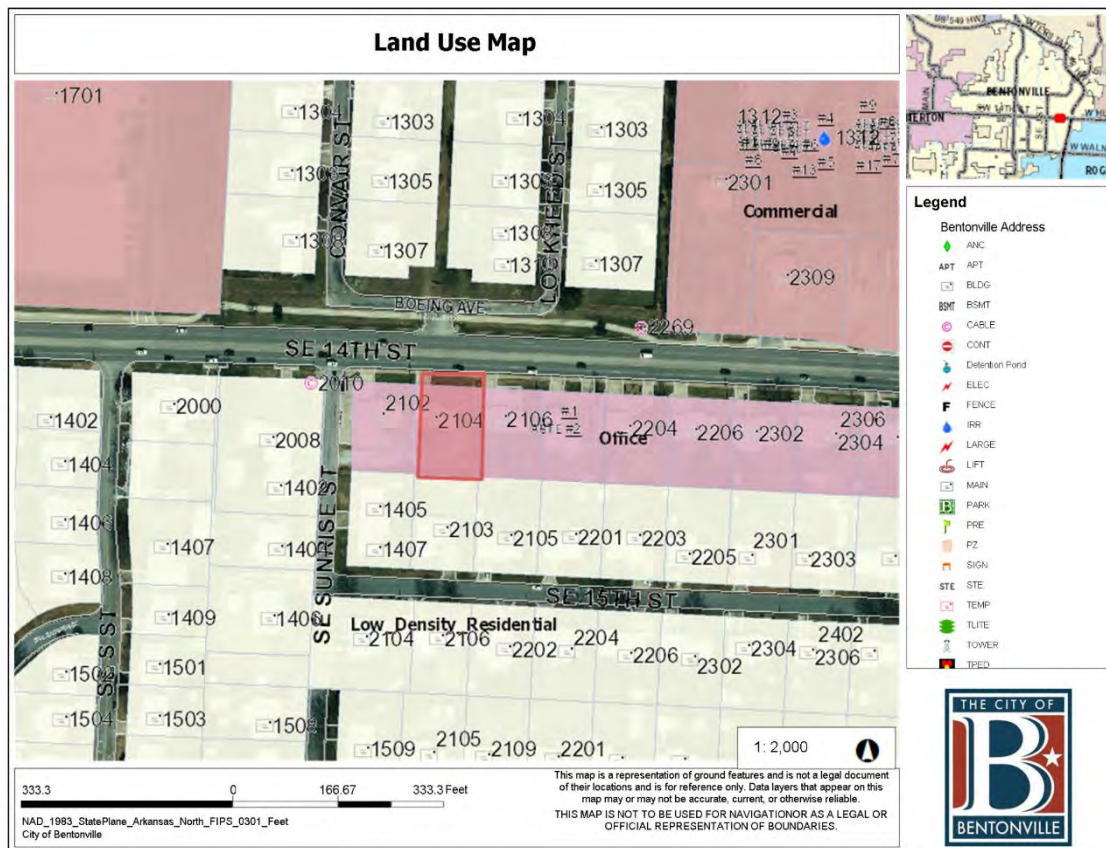
On 11/5/2017, a notice was published in the Arkansas Democrat Gazette, Northwest Arkansas Edition and a public hearing notice sign was posted on the property on 11/7/2017. This meets legal noticing requirements and is adequate for the scope of this project.

Staff has not been contacted regarding this request.

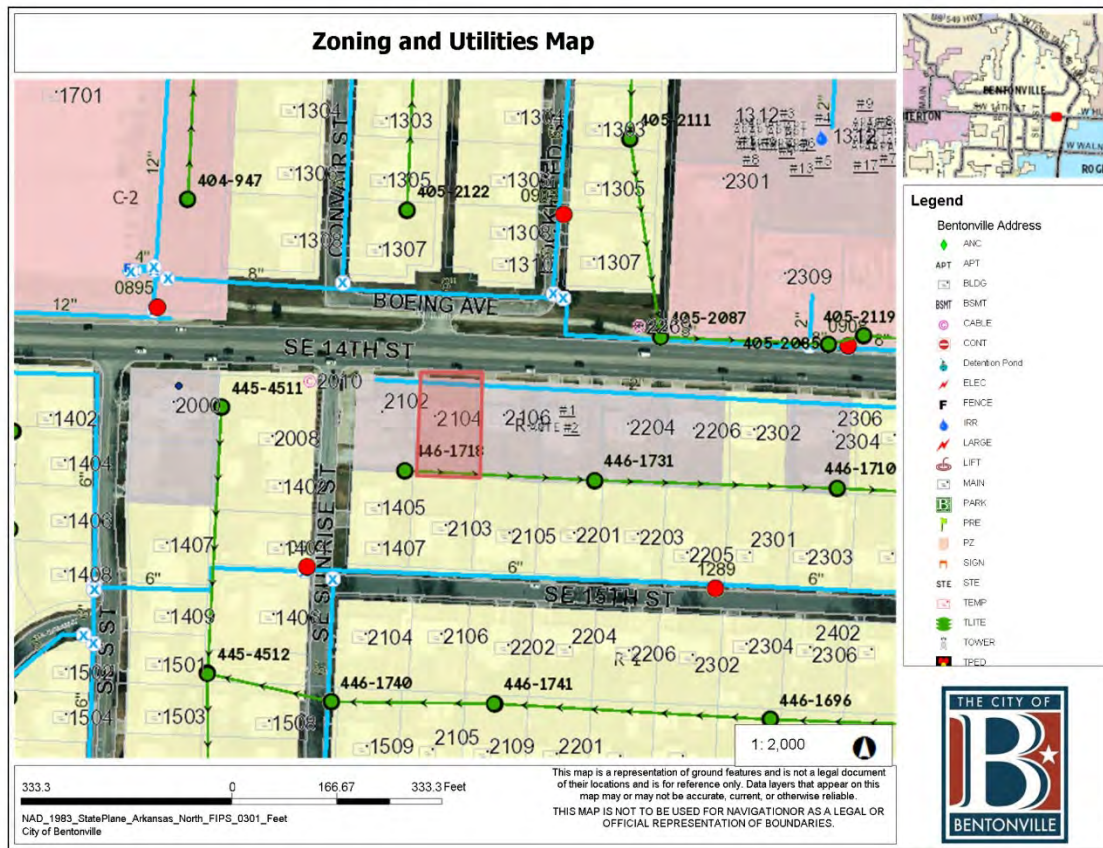
Conditions of Approval

1. All technical review comments must be addressed before a building permit will be issued.

CONDITIONAL USE STAFF REPORT



CONDITIONAL USE STAFF REPORT



INSPIRE

MED SPA

A. Proposed use and reason for the proposed use;

We plan to use the space at 2104 SE 14th Street as a MedSpa that uses Regenerative Medicine in the treatment of anti-aging concerns.

B. Site plan drawn to scale designating the property lines, existing structure(s), proposed structure(s), and indoor and outdoor areas to be utilized;



C. Hours of operation, including days of the week;

Our spa hours will fall between 9:30 am and 5 pm Monday thru Friday, by appointment only.



D. Indoor and outdoor areas to be utilized;

Our facility will utilize the interior space of an approximately 1800 sq feet existing building. Outdoor areas will not be utilized beyond the purpose of parking.

E. Planned indoor and outdoor structural changes;

No structural changes have been planned for the interior or exterior of the building at this time.

F. Parking needs required for the proposed use including existing and proposed - provide a sketch of the traffic flow and parking pattern (if applicable);

With 4 employees and a potential of 2 patrons as our maximum parking needs, we are looking for a total of 6 parking spots. The driveway is 50 foot long and could fit all 4 employees

Proposed asphalt parking pad would accommodate 6 cars on the southeast corner of the lot, with employees and patrons utilizing the gravel access alleyway from Sunrise as their entry and exit. Visitors will be told about parking when booking their appointments to avoid any confusion.

We are requesting a 6 month window for the installation upon receipt of conditional use permit to complete this task, with subsequent inspection, as it was a late addition to our startup budget and operating revenue will allow us to finance the additional project scope.

INSPIRE

MED SPA



G. Planned outdoor lighting changes;

Any outdoor lighting changes will be decorative update of fixtures. Signage will be externally lit, but focused on the sign surface as to not to impede the visibility of drivers or contribute to light pollution on 14th street.

H. Anticipated patrons, clients, deliveries, and / or customers (average per day);

As our business is built upon appointments, we will be able to control the flow of our patrons. As we offer 2 treatment rooms, at capacity we could anticipate two patron vehicles to occupy parking spots at the same time. Patron appointments typically last between 45-90 minutes, and are often spaced to avoid overlap for the privacy of our clients. We anticipate about 5 clients per day, one day per week as our max capacity, with the remainder of the week focused on administrative tasks and consultation.

REZONING STAFF REPORT



Kaiser

302 NE B Street

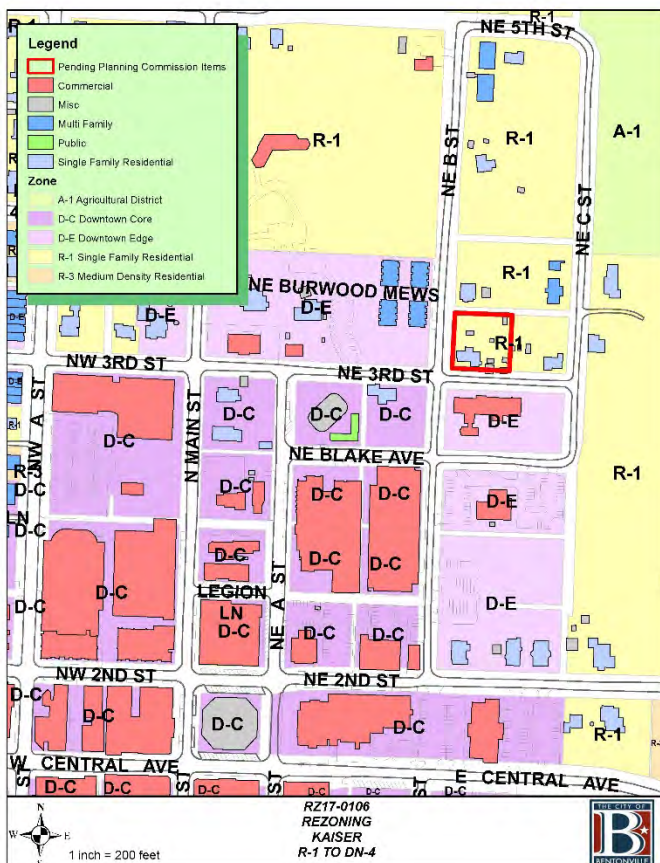
PC Date: 11/21/2017

Reviewer: Tyler Overstreet, Planner

Project Number	RZ17-0106
Applicant / Current Owner	Evert and Juanita Kaiser 302 NE B Street Bentonville, AR 72701
Site Area	+/- 62 acres
Current Zoning	R-1, Single Family Residential
Requested Zoning	DN-4, Downtown Mixed-Use Residential
Future Land Use Map Designation	Downtown High-Density Residential (D-HDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

The property is located at 302 NE B Street in very close proximity to downtown square. The area surrounding the property is all zoned single-family or Downtown Edge.

Projected Traffic Impact

The proposed zoning designation will not adversely impact traffic in the area. The property is located downtown, where the existing street grid network can accommodate mixed-use development.

Utility Infrastructure

Per the GIS website, water and sewer are available.

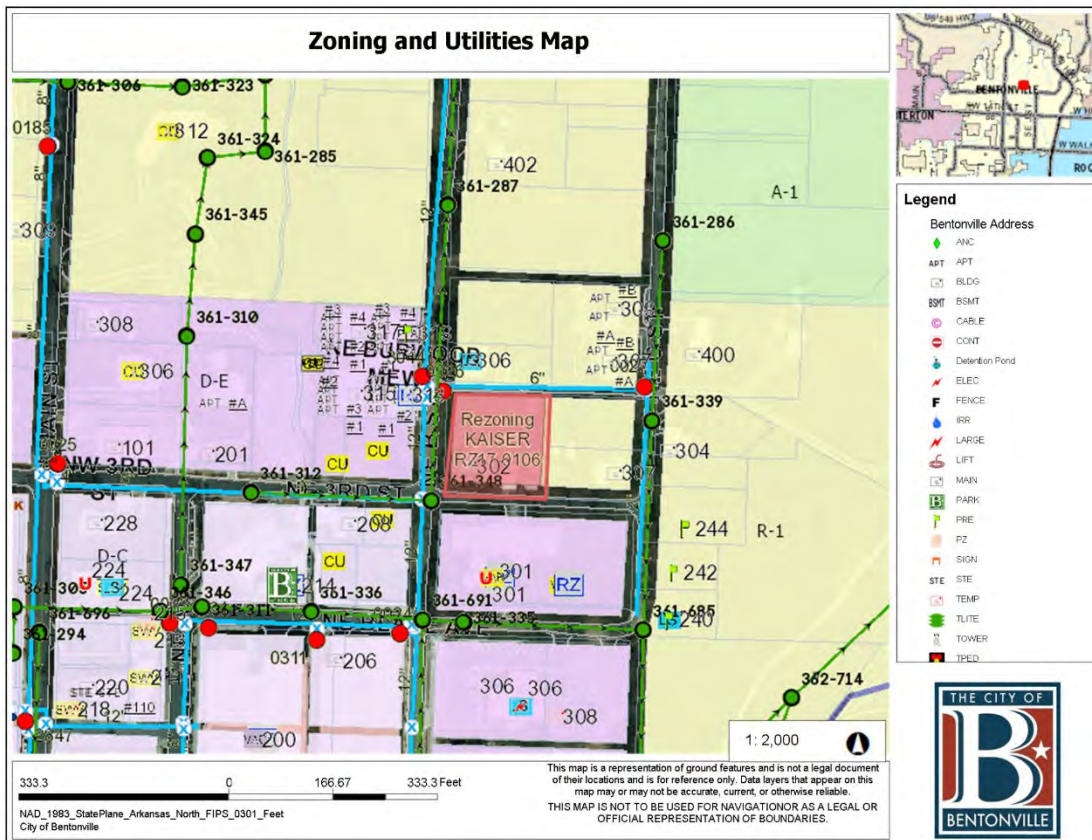
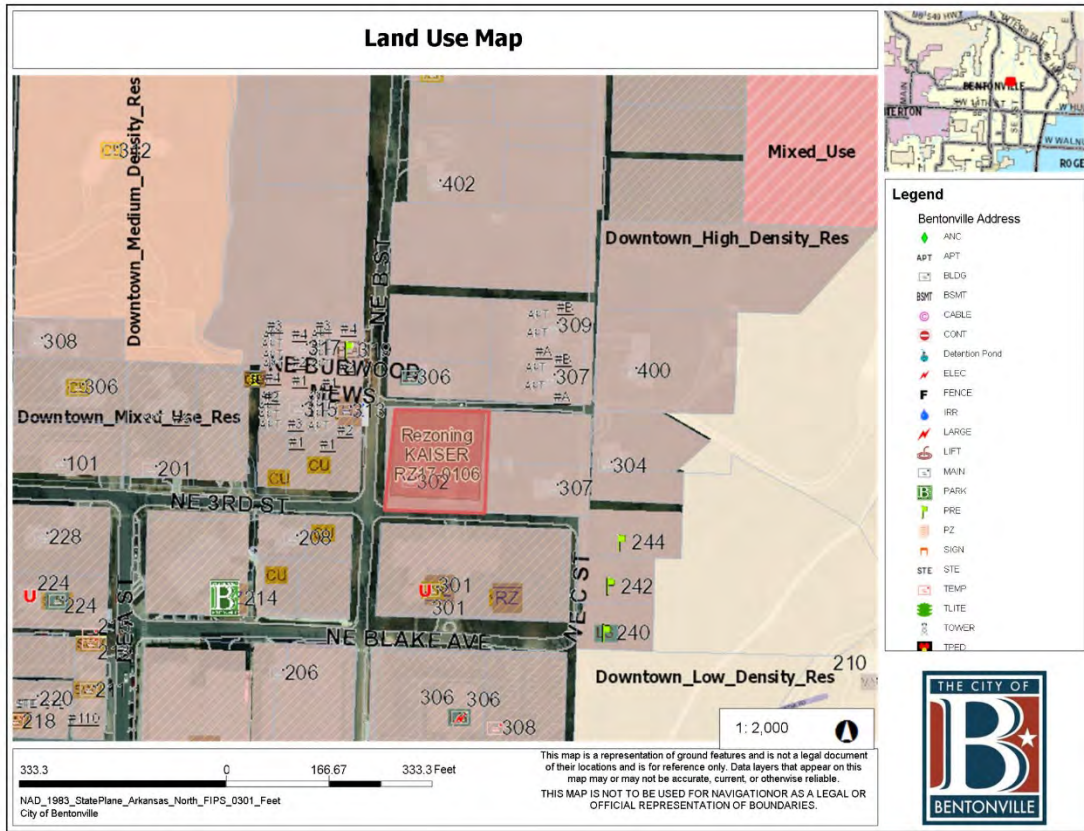
Relationship to the General Plan

The Future Land Use Plan depicts this property as Downtown High-Density Residential (D-HDR). The DN-4, Downtown Mixed-Use Residential zoning is an appropriate zoning district for this designation and is consistent with the Future Land Use Plan.

Conclusion

In conclusion, the DN-4, Downtown Mixed-Use Residential zoning designation is consistent with the Future Land Use Plan that depicts this property as Downtown High-Density Residential and is compatible with the existing and adjacent uses.

REZONING STAFF REPORT



Narrative

Current zoning designation - R-1 Residential
single family

Proposed zoning designation - ~~DMU Downtown Mixed Use~~
~~Residential~~ DN-3 Downtown High Density
Residential

Reason for requesting zoning change - pending sale

How property will relate to zoning change No change

Use - No change

traffic - No change

Signage - No change

Available water & sewer - Have both now

Main Water - 2 lines - west side 12" cast iron and
middle 4" cast iron

Main Sewer - 6" Plastic

REZONING STAFF REPORT



Kuhlman Properties, LLC

Southwest Regional Airport Boulevard

PC Date: 11/21/2017

Reviewer: Tyler Overstreet, Planner

Project Number	RZ17-0108
Applicant / Current Owner	Kuhlman Properties, LLC 11896 Lakenheath Dr Bentonville, AR 72712
Site Area	+/- 1.69 acres
Current Zoning	A-1, Agricultural
Requested Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

The property is located on SW Regional Airport Boulevard near the Glen at Polo Park and the Northwest Arkansas Regional Airport. The surrounding area is mixed-use; with multi-family housing and commercial development in close proximity.

Projected Traffic Impact

The proposed zoning designation will not adversely impact traffic in the area. The property is located on a major road, with compatible surrounding uses.

Utility Infrastructure

Per the GIS website, water and sewer are available.

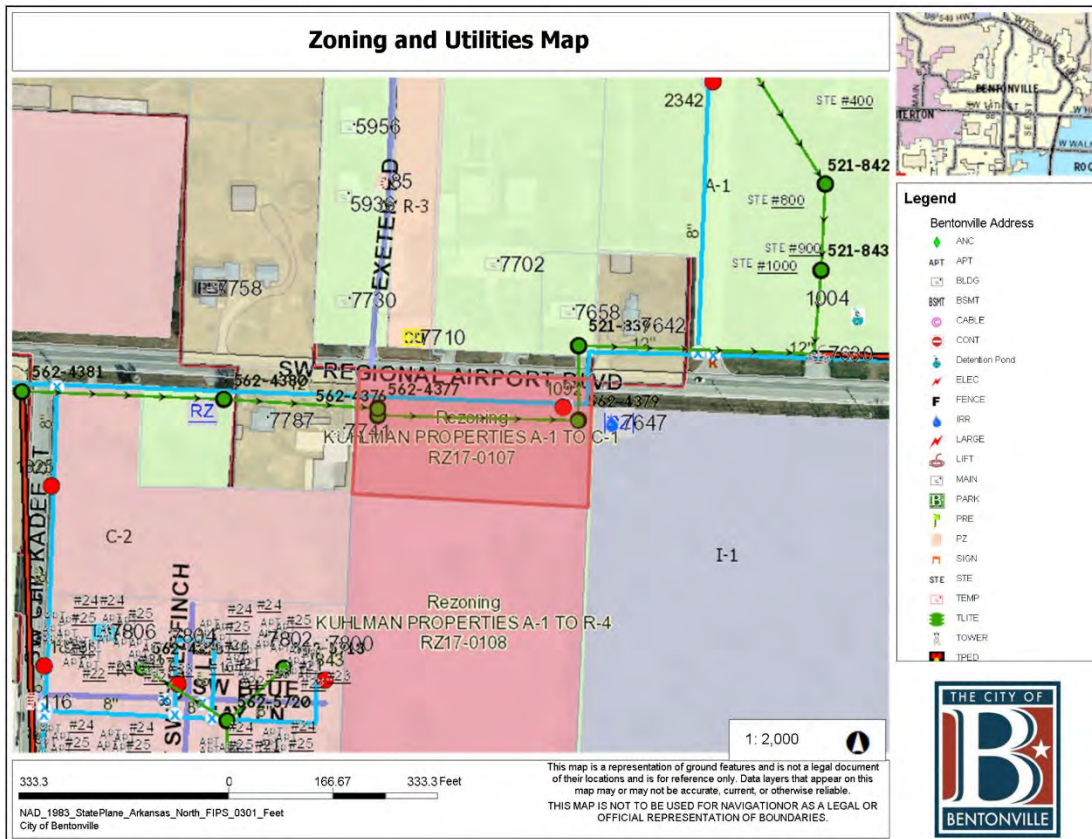
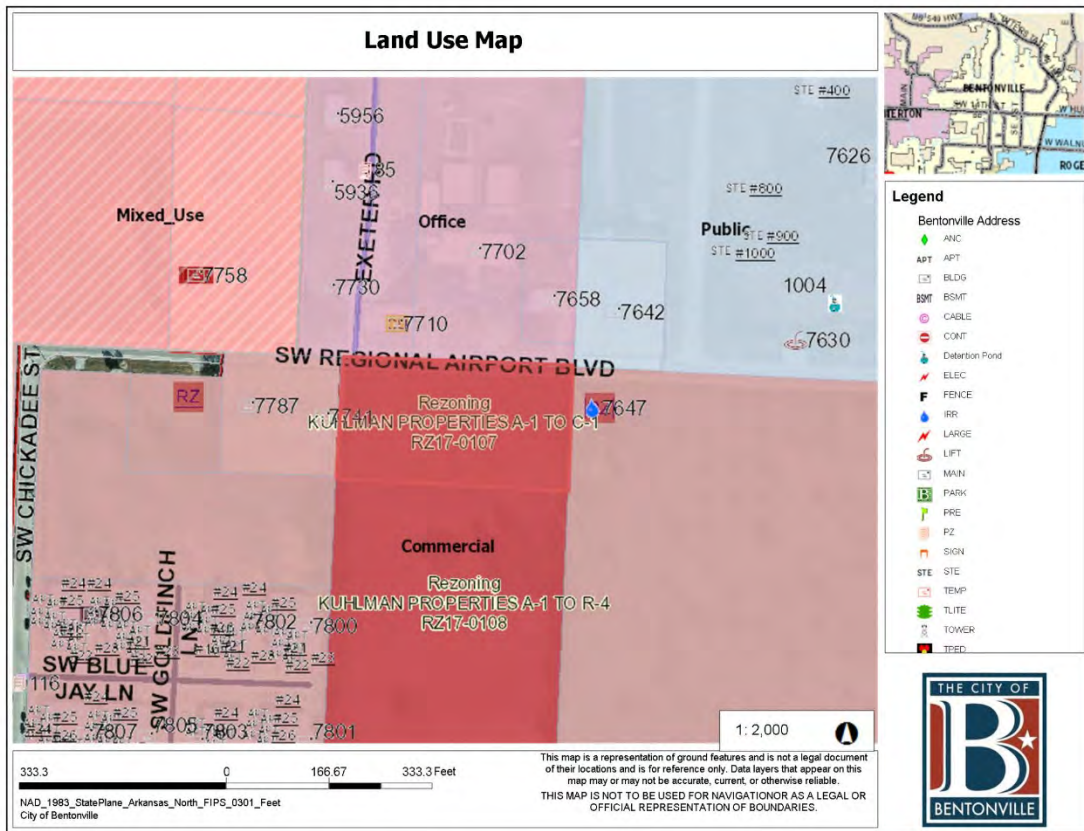
Relationship to the General Plan

The Future Land Use Plan depicts this property as Commercial (C). The C-2, General Commercial zoning is an appropriate zoning district for this designation and is consistent with the Future Land Use Plan.

Conclusion

In Conclusion, the C-2, General Commercial zoning designation is consistent with the Future Land Use Plan that depicts this property as Commercial and is compatible with the existing and adjacent uses.

REZONING STAFF REPORT



Parcel # **01-08206-000** - north 200 feet

Hwy 12 / Lay Farm

- Current zoning is A-1. Proposed zoning is C-2. Rezone to C-2 will allow for this area to be developed into office/retail and/or restaurant space as is consistent with the currently in place land use map. This parcel is currently owned by Kuhlman Properties, LLC and is under contract for sale to the current owner of Skyridge Estates, LLC pending rezoning approval.
- Land use map is currently spec'd for commercial but property is currently zoned A-1. Need rezoning to allow for commercial use.
- Surrounding properties are a mixture of commercial and multi-family. Future land use maps also call for commercial and multi-family uses in the surrounding areas, so this rezone will coincide with this usage.
- Future use will be for office/retail and/or restaurant space.
- Land is off of SW Regional Airport Blvd / Hwy 12 W. Being a major thoroughfare, traffic counts there won't negatively affect surrounding areas.
- Future additional signage will be limited in nature as needed and approved.
- Appearance will coincide and compliment what is already in place in this general area.
- Water and Sewer is available and in place along the front Northern part of this property. Water main is a 10" line, sewer is a 12" line.

REZONING STAFF REPORT



Kuhlman Properties, LLC

Southwest Regional Airport Boulevard

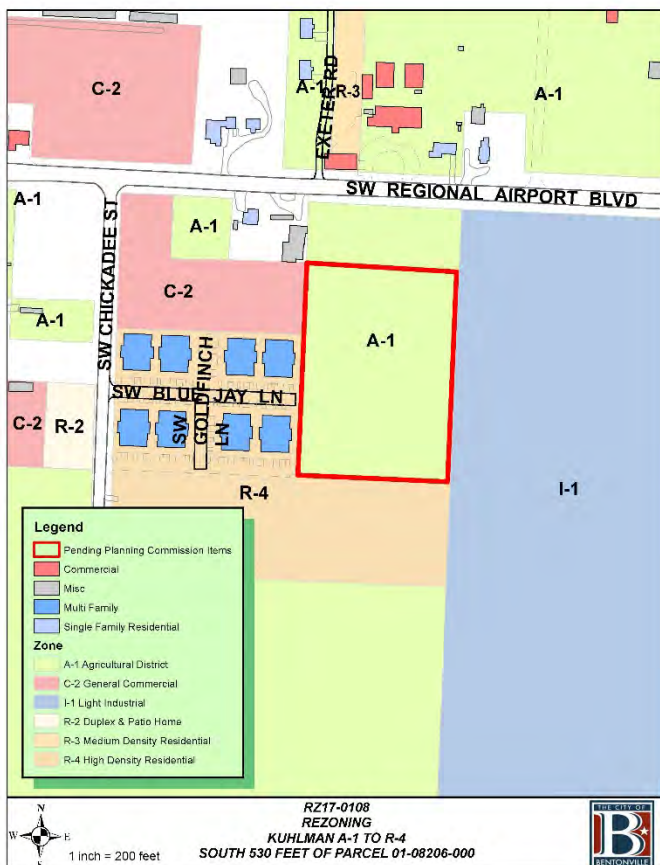
PC Date: 11/21/2017

Reviewer: Tyler Overstreet, Planner

Project Number	RZ17-0108
Applicant / Current Owner	Kuhlman Properties, LLC 11896 Lakenheath Dr Bentonville, AR 72712
Site Area	+/- 4.51 acres
Current Zoning	A-1, Agricultural
Requested Zoning	R-4, High Density Residential
Future Land Use Map Designation	Commercial (C)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

The property is located on SW Regional Airport Boulevard near the Glen at Polo Park and the Northwest Arkansas Regional Airport. The surrounding area is mixed-use; with multi-family housing and commercial development in close proximity.

Projected Traffic Impact

The proposed zoning designation will not adversely impact traffic in the area. The property is located on a major road, with compatible surrounding uses.

Utility Infrastructure

Per the GIS website, water and sewer are available.

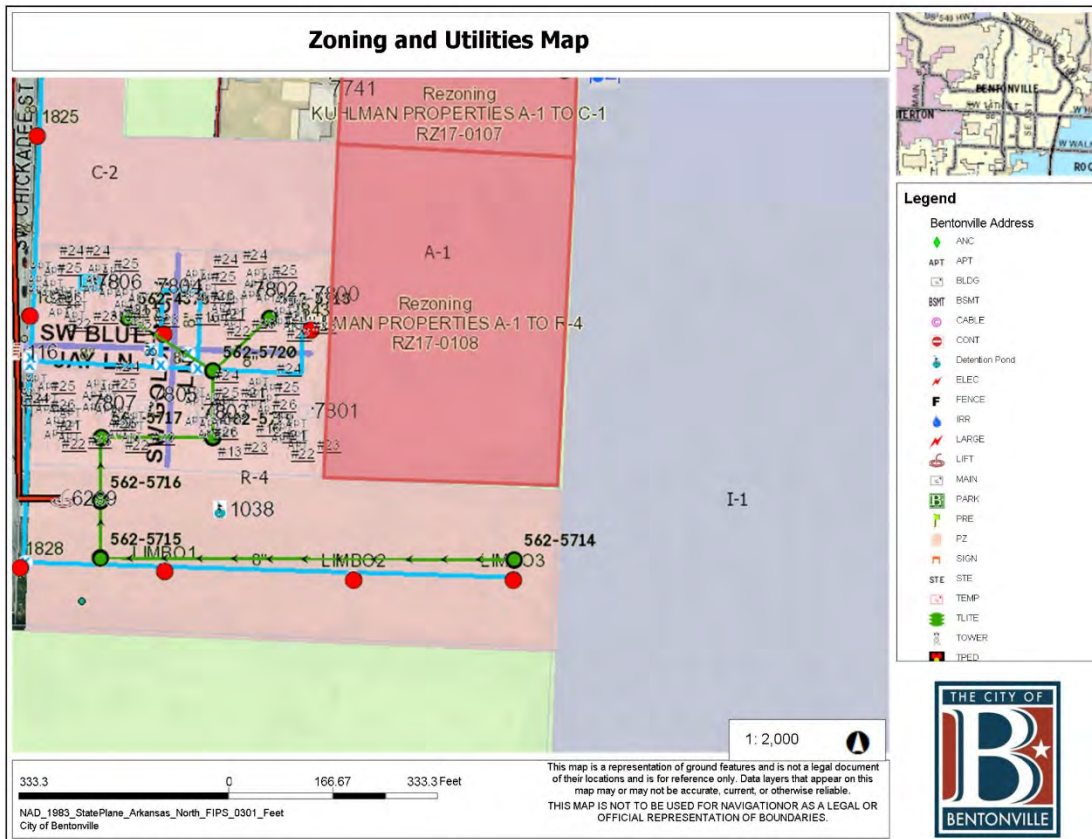
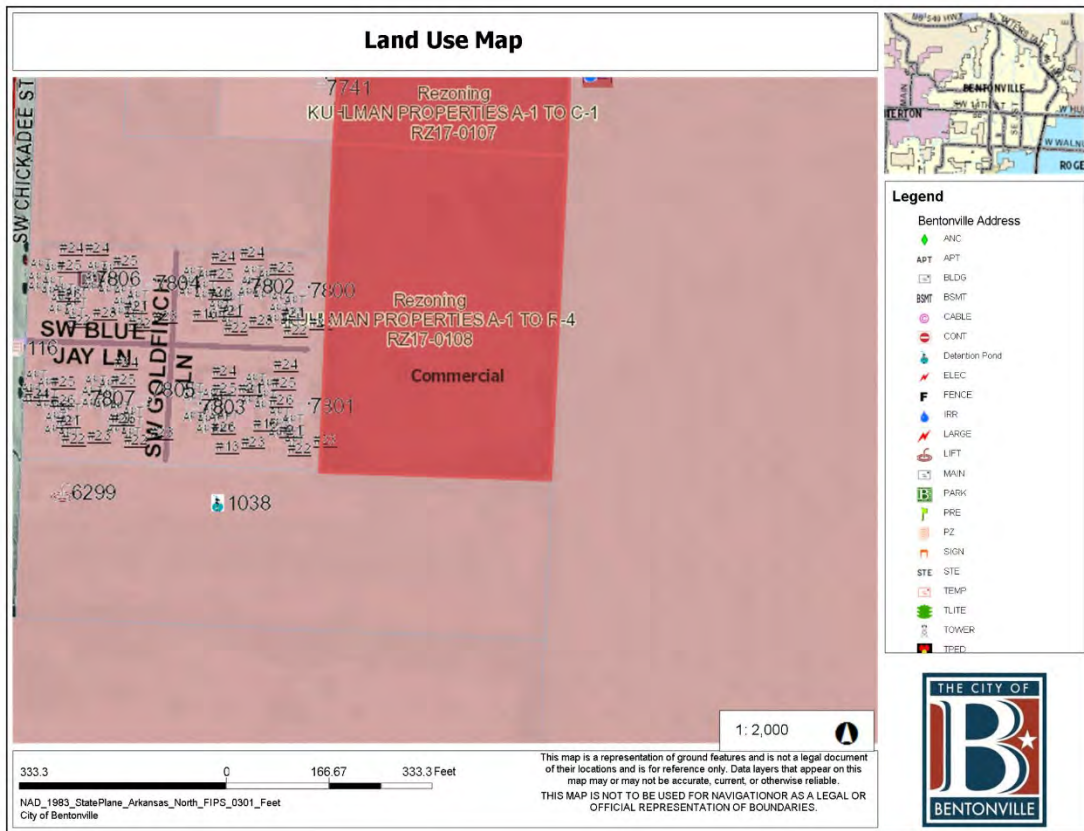
Relationship to the General Plan

The Future Land Use Plan depicts this property as Commercial (C). The R-4, High Density Residential zoning is an appropriate zoning district for this designation and is consistent with the Future Land Use Plan.

Conclusion

In conclusion, the R-4, High Density Residential zoning designation is consistent with the Future Land Use Plan that depicts this property as Commercial and is compatible with the existing and adjacent uses.

REZONING STAFF REPORT



Parcel # **01-08206-000** - **south 530 feet**

Hwy 12 / Lay Farm

- Current zoning is A-1. Proposed zoning is R-4. Rezone to R-4 will allow for the expansion of the currently in place Skyridge Estates which sits on the adjoining parcel to the West. This parcel is currently owned by Kuhlman Properties, LLC and is under contract for sale to the current owner of Skyridge Estates, LLC pending rezoning approval.
- Expansion of Skyridge Estates Apartment Complex located on the adjoining parcel directly West of subject property.
- Surrounding properties are a mixture of commercial and multi-family. Future land use maps also call for commercial and multi-family uses in the surrounding areas, so this rezone will coincide with this usage.
- Future use will be for expansion of Skyridge Estates
- Land is off of SW Regional Airport Blvd / Hwy 12 W. Being a major thoroughfare, traffic counts there wont negatively affect surrounding areas.
- Future additional signage will be limited in nature.
- Appearance will coincide and compliment what is already in place in this general area.
- Water and Sewer is available and in place along the front Northern part of this property. Water main is a 10" line, sewer is a 12" line.

REZONING STAFF REPORT



DEB Farm Adventures

Barron Road and Piercy Road

PC Date: 11/21/2017

Reviewer: Tyler Overstreet, Planner

Project Number	RZ17-0109
Applicant / Current Owner	DEB Farm Adventures, Inc. 11276 Talamore Blvd Bentonville, AR 72712
Site Area	+/- 78.8 acres
Current Zoning	A-1, Agricultural
Requested Zoning	R-1, Single Family Residential
Future Land Use Map Designation	Agricultural (A)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Property Description

The property is located south of SW Regional Airport Boulevard nearby the Northwest Arkansas Regional Airport. The area to the east is a single-family subdivision, with industrial uses to the west and agricultural to the south.

Projected Traffic Impact

The proposed zoning designation will not adversely impact traffic in the area.

Utility Infrastructure

Per the GIS website, water and sewer are available.

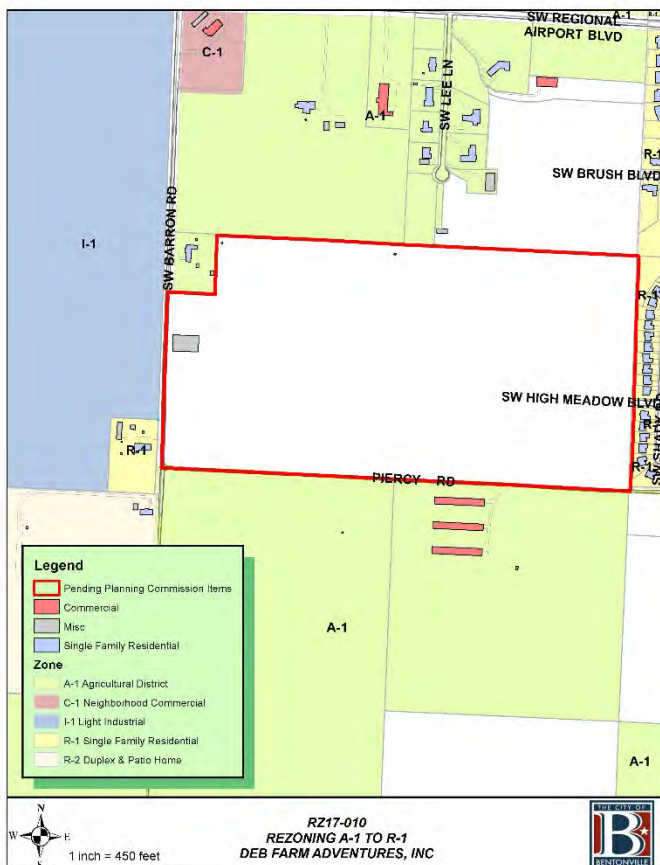
Relationship to the General Plan

The Future Land Use Plan depicts this property as Agricultural (A). The R-1, Single Family Residential zoning is an appropriate zoning district for this designation and is consistent with the Future Land Use Plan.

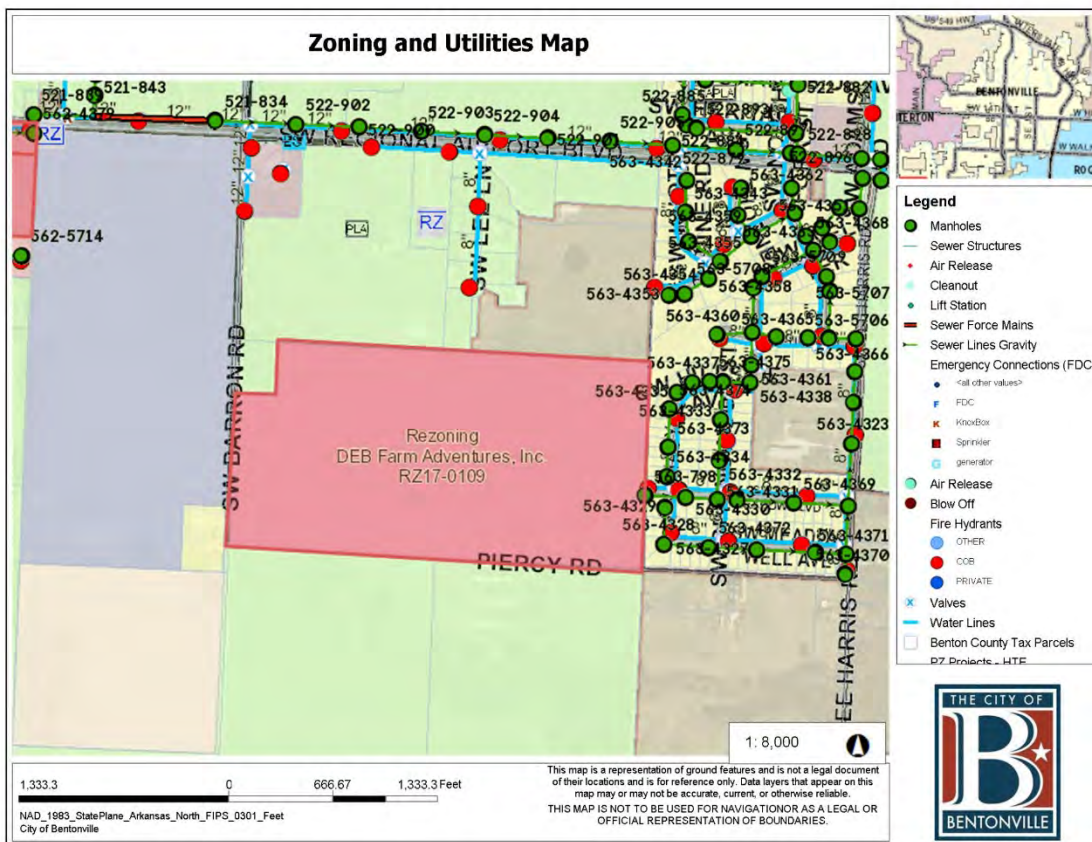
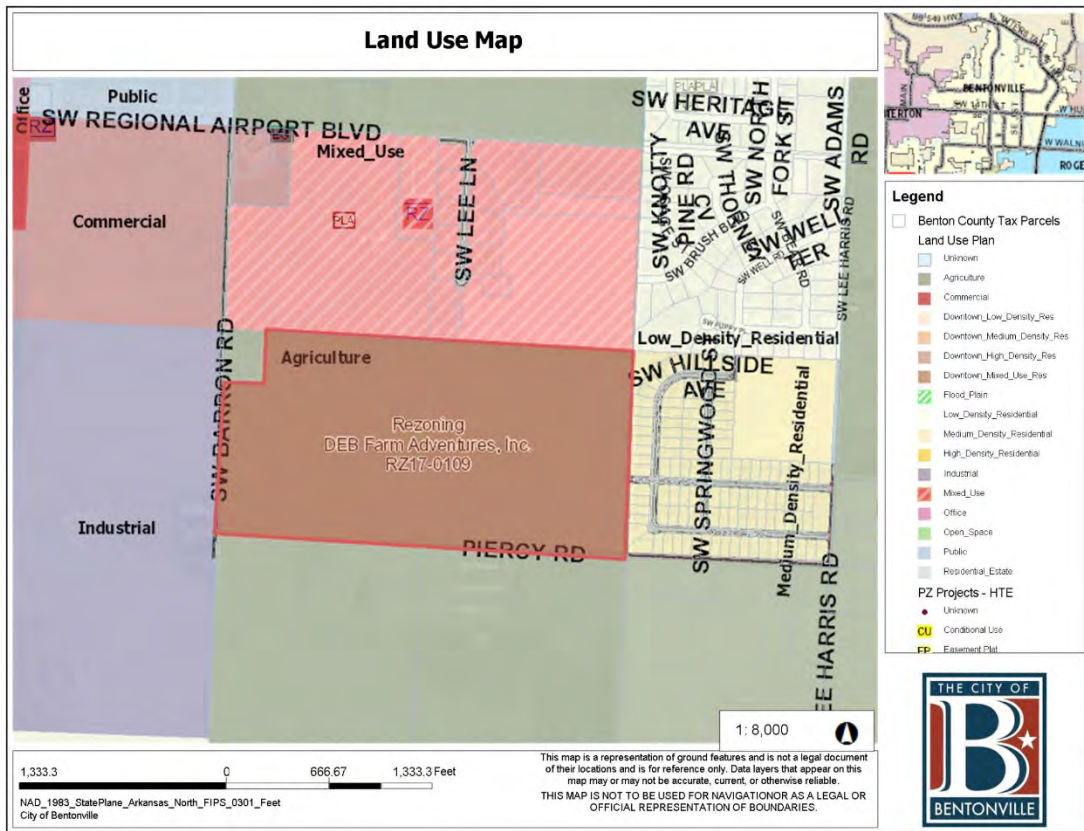
Conclusion

In conclusion, the R-1, Single Family Residential zoning designation is consistent with the Future Land Use Plan that depicts this property as Commercial and is compatible with the existing and adjacent uses.

Location Map



REZONING STAFF REPORT



Narrative

78 acres +/- Barron Rd. and Piercy Rd. Bentonville, AR

- The current zoning designation is Agriculture and the proposed zoning designation is R-1, Single Family Residential. The proposed zoning change is to allow the property to be developed into a single family residential subdivision, similar to the contiguous subdivision to the east, known as High Meadows. The current owner had the property listed for sale, and it is under contract with a pending sale, contingent on the approval of the desired subdivision by the City of Bentonville.
- The reason or need for requesting the zoning change from agriculture is to follow the City of Bentonville requirements for R-1 District low density development.
- The property will relate to the surrounding properties by complimenting the adjoining residential low density subdivisions, and existing residences. High Meadows Subdivision joins the subject property, and at SW High Meadows Blvd., the street is designed to add additional through traffic, if desired by the City of Bentonville. The other surrounding properties are agriculture, Industrial, Commercial, and additional future residential land uses. This subdivision will bring much needed affordable homes to this area of Bentonville.
- The use of this land will be for a single family residential development with homes in the 1500-2000 sq. ft. range, and at or below the median price of homes in Bentonville.
- The AHTD 2016 average daily traffic volume count shows 6800 in the subject area of SW Regional Airport Blvd.; 3200 between the subject property to XNA Airport; 3600 on Highway 279 at Motley Rd. and Anglin Rd.; between the subject property and Walmart Distribution Center is 9900; between the Walmart Distribution Center and Greenhouse is 15,000; and between Greenhouse to Highway 112 (SW I St.) is 23,000. The area where the subject property is located would appear to be a relatively low area of traffic. Say, compared to the residential areas located along Highway 102 being 11,000 at N. Vaughn Rd.; 29,000 at Highway 102 and Greenhouse Rd.; and 35,000 at Highway 102 and Lindy Lane (located just West of Hwy 102 and SW I St. With the relatively lower traffic rate, it is our opinion that the rate of traffic volume will not be adversely affected by the addition of the residences in the subject subdivision. Daily traffic counts will remain low whether traveling to XNA Airport, Centerton, or Bentonville from the subject property.
- Signage will be minimal with the required public street signs, and tasteful entrance signage indicating the name of the subdivision.

- The appearance of the proposed subdivision will be a single family homes, with sidewalks and plans to save as many of the existing trees as possible.
- Water and sewer are both available at the contiguous subdivision known as High Meadows. There are 8" water lines available with connections at the west end of SW High Meadows Blvd. which is contiguous the subject property. There are gravity sewer lines and a sewer manhole located at the west end of SW High Meadows Blvd.



Lots 1, 2, & 3 The Crossings Subdivision

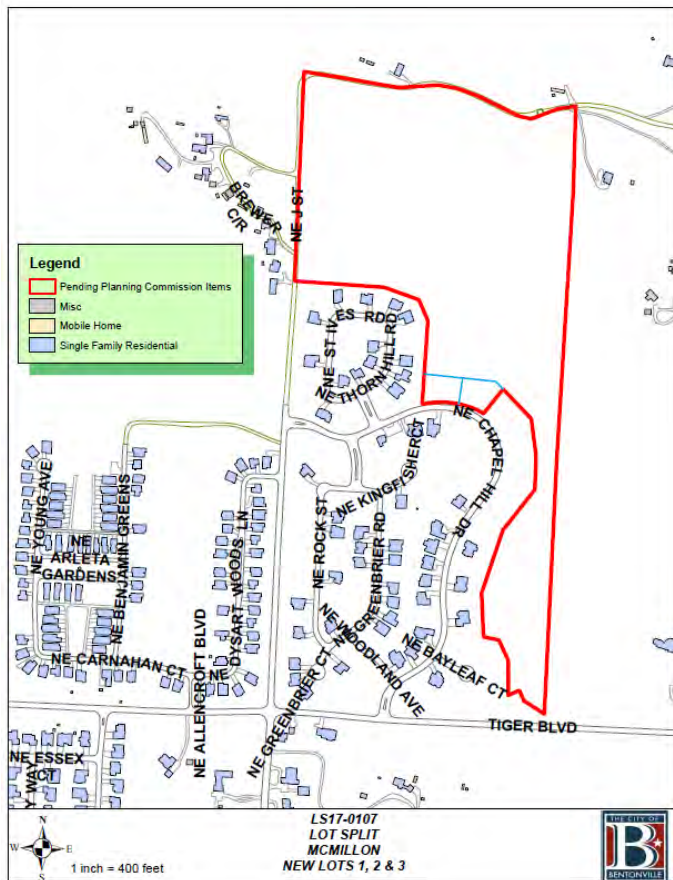
PC Date: 11/21/2016

Reviewer: Tyler Overstreet, Planner

Project Number	LS17-0107
Applicant / Current Owner	Shelly McMillon 1701 NE Tiger Boulevard Bentonville, AR
Site Area	+/- 45.5 acres
Current Zoning	R-1, Single Family Residential
Future Land Use Map Designation	Low Density Residential (LDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is located in the city with frontage on NE J Street and NE Chapel Hill Drive. The site is currently vacant with no structures. Per the city's GIS site, according to current FEMA data, a portion of Shewmaker Creek, including the floodway and associated floodplain, traverses the eastern portion of the property. The total area of the parent tract is approximately 45.5 acres.

Project Details

The applicant has submitted a proposal for a lot split of a 45.5 acre, unplatted parent tract, creating three new lots that will be known as Lots 1 (20.06+/- acres), Lot 2 (28.73+/- acres) & Lot 3 of The Crossings Subdivision. Lots 1 and 2 are fronted on NE Chapel Hill Drive and Lot 3 is fronted on NE J Street. Per the Master Street Plan requirements, right-of-way will be dedicated along NE J Street; 45' from Centerline along the west side of Lot 3 and 26' from Centerline along the northern boundary. No new utility or access easements are being dedicated by this plat. Each new lot will have access to public water and a public street.

Projected Traffic Impact

The proposed lot split should not adversely impact traffic patterns in the area.

Utility Infrastructure

Per the GIS website, water and sewer are currently available to this site.

Drainage Report

A drainage report is not required.

Waivers

The applicant's originally submitted waiver has been withdrawn.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

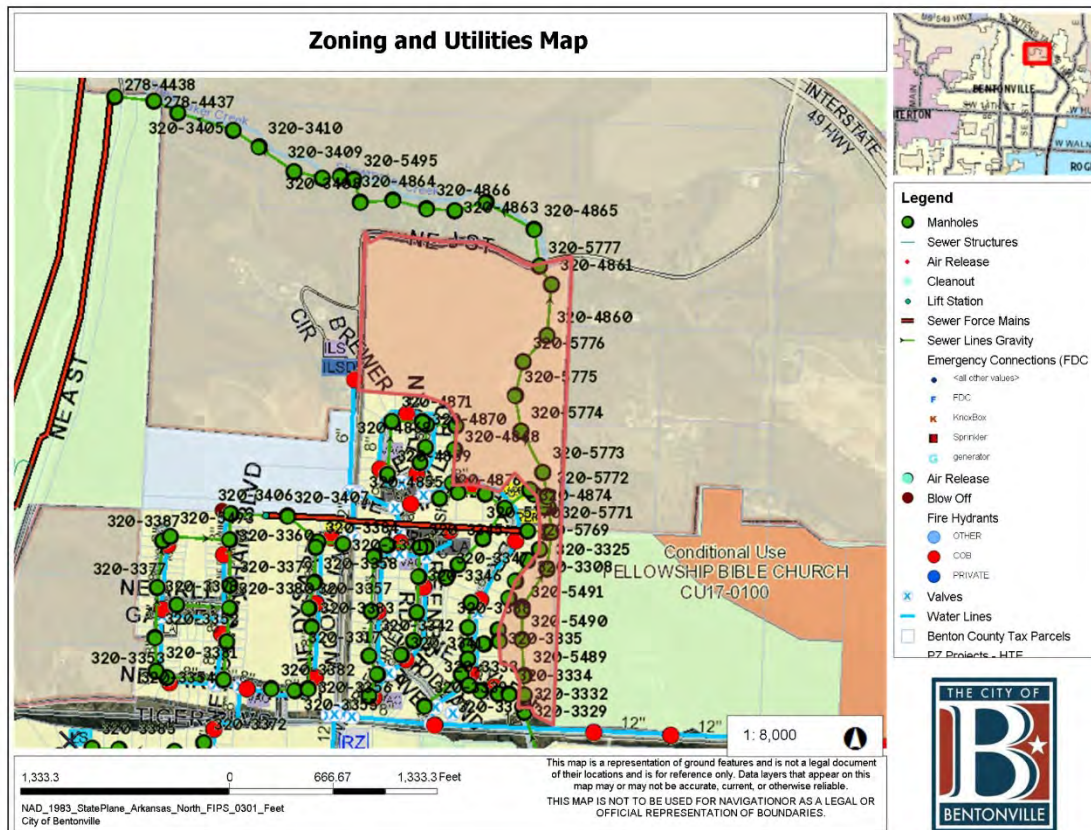
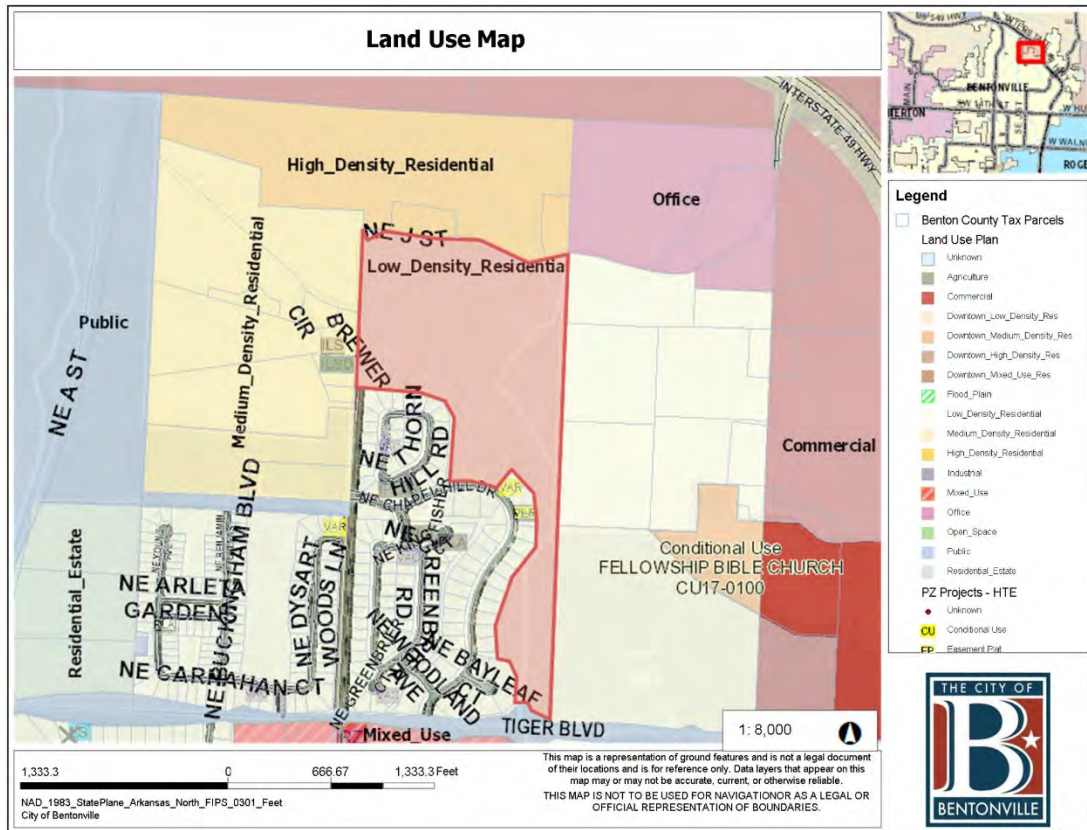
Standard Conditions of Approval

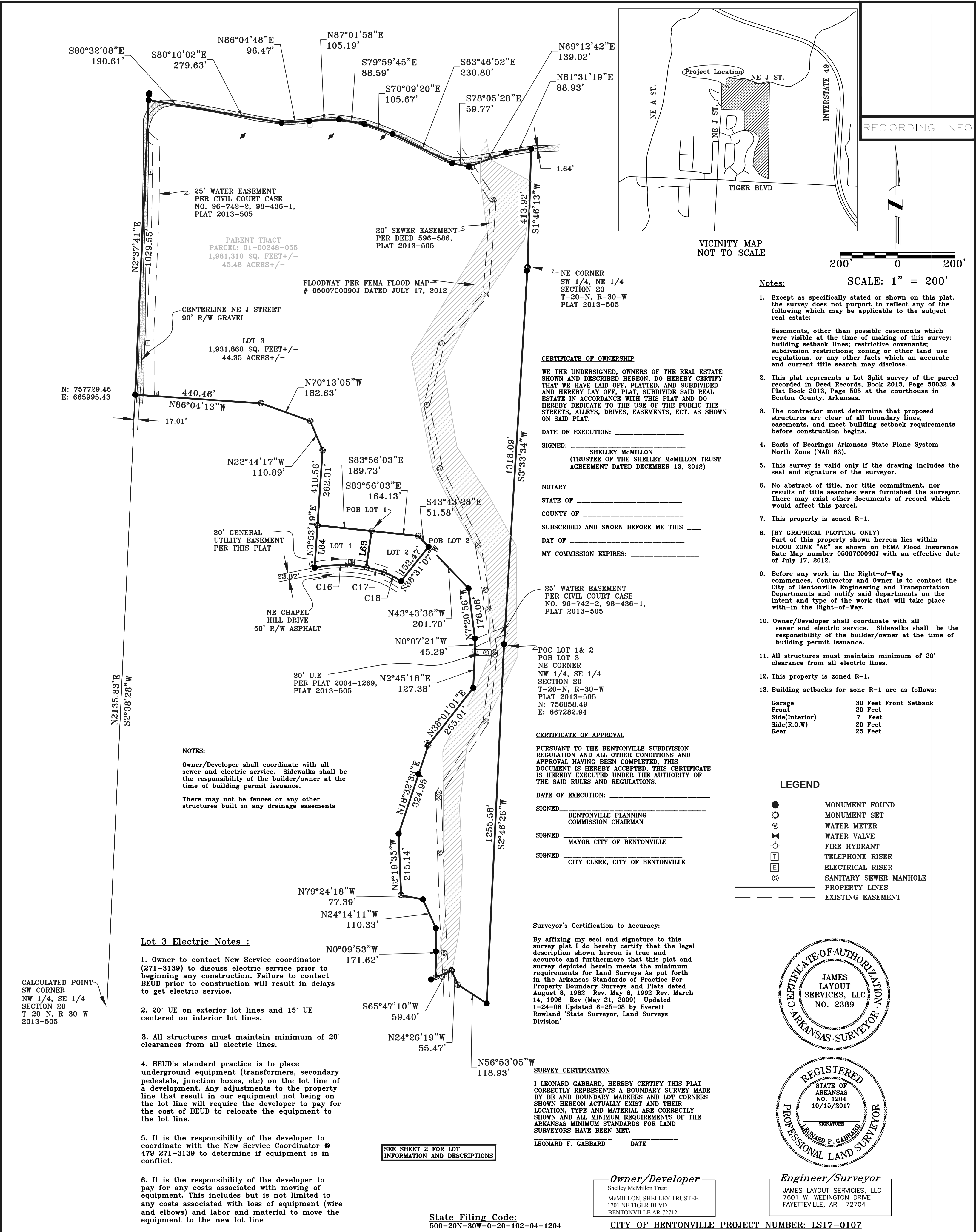
1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT





REVISIONS		DATE:		BY:	REASON:

James Layout Services, LLC P.O. Box 611 Farmington, Arkansas 72730 Telephone: (479) 439-9929 survey@jlsnwa.com		LOT SPLIT CREATING LOTS 1, 2 & 3 OF THE CROSSINGS	
1 OF 2	SHEET NO.	OWNER/DEVELOPER:	LOCATION: PARCEL 01-00248-055
		SHELLEY McMILLON TRUST	FILENAME: 17-208 SPLIT 2
JLS	DATE: 09/08/2017	JOB NO.:	17-208
		SCALE: AS SHOWN	
1 OF 2	SHEET NO.	CHECKED BY: LFC	
		DATE: 09/08/2017	

PARENT TRACT DESCRIPTION (TAKEN FRO DEED 2013-50033):

A PART OF THE W 1/2 OF THE E 1/2 OF SECTION 20, TOWNSHIP 20 NORTH, RANGE 30 WEST, TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SW CORNER OF THE NW 1/4 OF THE SE 1/4 SAID SECTION 20: THENCE N02°37'53"E 2135.62 FEET TO A SET IRON PIN IN THE CENTERLINE OF NE J STREET FOR THE POINT OF BEGINNING; THENCE FOLLOWING SAID NE J STREET N02°37'53"E 10.29.62 FEET TO A FOUND 60D NAIL; THENCE S80°35'22"E 190.89 FEET TO A FOUND IRON PIN; THENCE S80°09'06"E 279.32 FEET TO A SET IRON PIN; THENCE N86°12'12"E 96.72 FEET TO A SET IRON PIN; THENCE N86°51'45"E 105.12 FEET TO A SET IRON PIN; THENCE S79°54'37"E 88.54 FEET TO A FOUND RAILROAD SPIKE; THENCE S70°10'00"E 105.75 FEET TO A FOUND RAILROAD SPIKE; THENCE S63°48'53"E 230.70 FEET TO A FOUND RAILROAD SPIKE; THENCE S78°03'38"E 59.77 FEET TO A FOUND IRON PIN; THENCE N69°12'17"E 139.25 FEET TO A SET IRON PIN; THENCE N81°27'42"E 88.81 FEET TO A FOUND RAILROAD SPIKE; THENCE LEAVING SAID NE J STREET S01°45'26"W 414.19 FEET T A FOUND IRON PIN FOR THE NE CORNER OR THE SW 1/4 OF THE NE 1/4 OF SAID SECTION 20; THENCE S03°32'56"W 1318.16 FEET TO A FOUND IRON PIN FOR THE NE CORNER OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 20; THENCE S02°47'01"W 1255.91 FEET TO A FOUND IRON PIN ON THE NORTH RIGHT-OF-WAY OF TIGER BOULEVARD; THENCE LEAVING SAID RIGHT OF WAY N56°43'31W 119.16 FEET TO A SET IRON PIN; THENCE N24°26'19"W 55.47 FEET TO A SET IRON PIN; THENCE S 65°47'10"W 59.40 FEET TO A SET IRON PIN; THENCE N00°09'47"W 170.73 FEET TO A SET IRON PIN; THENCE N24°13'00"W 109.95 FEET TO A SET IRON PIN; THENCE N78°33'08"W 77.82 FEET TO A SET IRON PIN; THENCE N02°18'31W 215.03 FEET TO A SET IRON PIN; THENCE N18°31'28"E 325.03 FEET TO A SET IRON PIN; THENCE N38°03'53"E 254.39 FEET TO A SET IRON PIN; THENCE N02°50'15"E 128.01 FEET TO A FOUND IRON PIN; THENCE N00°02'20"W 45.16 FEET TO A FOUND IRON PIN; THENCE N07°20'36"W 176.11 FEET TO A FOUND IRON PIN; THENCE N43°43'22"W 201.83 FEET TO A FOUND PIN; THENCE S38°28'57"W 153.49 FEET TO A FOUND IRON PIN ON THE NORTH RIGHT-OF-WAY OF NE CHAPEL HILL DRIVE; THENCE ALONG SAID RIGHT-OF-WAY 66.53 FEET ALONG A 291.31 FOOT RADIUS TO LEFT WITH A CHORD BEARING AND DISTANCE OF N63°04'01"W 66.39 FEET TO A FOUND IRON PIN; THENCE 246.86 FEET ALONG A 433.96 FOOT RADIUS TO THE LEFT WITH A CHORD BEARING AND DISTANCE OF N86°09'26"W 243.55 FEET TO A SET IRON PIN; THENCE LEAVING SAID RIGHT-OF-WAY N03°53'50"E 411.09 FEET TO A SET IRON PIN; THENCE N22°44'17"W 110.89 FEET TO A SET IRON PIN; THENCE N70°13'05"W 182.63 FEET TO A SET IRON PIN; THENCE N86°05'58"W 440.85 FEET TO THE POINT OF BEGINNING, CONTAINING 45.50 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY OTHER RIGHT-OF-WAYS-OR EASEMENTS OF RECORD OR FACT.

LOT 1:

A PART OF THE WEST 1/2 OF THE EAST 1/2 OF SECTION 20, TOWNSHIP 20 NORTH, RANGE 30 WEST, TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NE CORNER OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 20; THENCE S02°46'28"W A DISTANCE OF 1255.58 FEET TO A FOUND REBAR; THENCE N56°53'05"W A DISTANCE OF 118.93 FEET TO A SET 5/8" REBAR; THENCE N24°26'19"W A DISTANCE OF 55.47 FEET TO A SET 5/8" REBAR; THENCE S65°47.10"W A DISTANCE OF 59.40 FEET TO A SET 5/8" REBAR; THENCE N00°09'53"W 171.62 FEET TO A FOUND REBAR; THENCE N24°14'11"W A DISTANCE OF 110.33 FEET TO A FOUND REBAR; THENCE N79°24'18" W A DISTANCE OF 77.39 FEET TO A SET REBAR; THENCE N02°19'35"W 215.14 FEET TO A FOUND REBAR; THENCE N18°32'33"E A DISTANCE OF 324.95 FEET TO A SET REBAR; THENCE N38°01'01"E A DISTANCE OF 255.01 FEET TO A FOUND REBAR; THENCE N02°45'18"E 127.38 FEET TO A SET 5/" REBAR; THENCE N00°07'21"W A DISTANCE OF 45.29 FEET TO A FOUND REBAR; THENCE N07°20'56"W 176.08 FEET TO A FOUND REBAR; THENCE N43°43'36"W A DISTANCE OF 201.70 FEET TO A FOUND REBAR BEING THE POINT OF BEGINNING OF LOT 1; THENCE S38°31'07W A DISTANCE OF 153.47 FEET TO FOUND REBAR; THENCE ALONG THE NORTH RIGHT-OF-WAY OF NE CHAPEL HILL DRIVE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 304.73 FEET, A CHORD BEARING OF N62°59'52"W AND A CHORD LENGTH OF 66.48'; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 514.63 FEET AND A CHORD BEARING OF N74°05'22"W AND A CHORD LENGTH OF 65.05 FEET TO A SET 5/8" REBAR; THENCE LEAVING THE NORTH RIGHT-OF-WAY OF NE CHAPEL HILL DRIVE N08°18'39"E A DISTANCE OF 128.02 FEET TO A SET 5/8" REBAR; THENCE S83°56'03"E A DISTANCE OF 164.13 FEET TO A SET 5/8" REBAR; THENCE S43°43'28"E A DISTANCE OF 51.58 FEET TO THE POINT OF BEGINNING CONTAINING 24,900 SQUARE FEET OR 0.57 ACRES MORE OR LESS. SUBJECT TO EASEMENTS, RIGHTS-OF-WAY, AND PROTECTIVE COVENANTS OF RECORD, IF ANY.

SUBJECT TO ALL PRIOR MINERAL RESERVATIONS AND OIL AND GAS LEASES.

LOT 2:

A PART OF THE WEST 1/2 OF THE EAST 1/2 OF SECTION 20, TOWNSHIP 20 NORTH, RANGE 30 WEST, TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NE CORNER OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 20; THENCE S02°46'28"W A DISTANCE OF 1255.58 FEET TO A FOUND REBAR; THENCE N56°53'05"W A DISTANCE OF 118.93 FEET TO A SET 5/8" REBAR; THENCE N24°26'19"W A DISTANCE OF 55.47 FEET TO A SET 5/8" REBAR; THENCE S65°47.10"W A DISTANCE OF 59.40 FEET TO A SET 5/8" REBAR; THENCE N00°09'53"W 171.62 FEET TO A FOUND REBAR; THENCE N24°14'11"W A DISTANCE OF 110.33 FEET TO A FOUND REBAR; THENCE N79°24'18" W A DISTANCE OF 77.39 FEET TO A SET REBAR; THENCE N02°19'35"W 215.14 FEET TO A FOUND REBAR; THENCE N18°32'33"E A DISTANCE OF 324.95 FEET TO A SET REBAR; THENCE N38°01'01"E A DISTANCE OF 255.01 FEET TO A FOUND REBAR; THENCE N02°45'18"E 127.38 FEET TO A SET 5/" REBAR; THENCE N00°07'21"W A DISTANCE OF 45.29 FEET TO A FOUND REBAR; THENCE N07°20'56"W 176.08 FEET TO A FOUND REBAR; THENCE N43°43'36"W A DISTANCE OF 201.70 FEET TO A FOUND REBAR; THENCE N43°43'28"W A DISTANCE OF 51.58 FEET TO A SET 5/8" REBAR; THENCE N83°56'03" W A DISTANCE OF 164.13 FEET TO A SET 5/8" REBAR BEING THE POINT OF BEGINNING; THENCE S 08°18'39" W A DISTANCE OF 128.02 FEET TO THE NORTH NORTH RIGHT-OF-WAY OF NE CHAPEL HILL DRIVE; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 451.38 FEET, A CHORD BEARING OF S89°37'30"W AND A CHORD LENGTH OF 180.24 FEET TO A FOUND REBAR; THENCE LEAVING THE NORTH RIGHT-OF-WAY OF NE CHAPEL HILL DRIVE N03°53'46"E A DISTANCE OF 148.25 FEET TO A SET 5/8" REBAR; THENCE S83°56'03"E A DISTANCE OF 189.73 FEET TO THE POINT OF BEGINNING CONTAINING 24,365 SQUARE FEET OR 0.56 ACRES MORE OR LESS. SUBJECT TO EASEMENTS, RIGHTS-OF-WAY, AND PROTECTIVE COVENANTS OF RECORD, IF ANY.

SUBJECT TO ALL PRIOR MINERAL RESERVATIONS AND OIL AND GAS LEASES.

LOT 3

A PART OF THE WEST 1/2 OF THE EAST 1/2 OF SECTION 20, TOWNSHIP 20 NORTH, RANGE 30 WEST, TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NE CORNER OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 20; THENCE S02°46'28"W A DISTANCE OF 1255.58 FEET TO A FOUND REBAR; THENCE N56°53'05"W A DISTANCE OF 118.93 FEET TO A SET 5/8" REBAR; THENCE N24°26'19"W A DISTANCE OF 55.47 FEET TO A SET 5/8" REBAR; THENCE S65°47.10"W A DISTANCE OF 59.40 FEET TO A SET 5/8" REBAR; THENCE N00°09'53"W 171.62 FEET TO A FOUND REBAR; THENCE N24°14'11"W A DISTANCE OF 110.33 FEET TO A FOUND REBAR; THENCE N79°24'18" W A DISTANCE OF 77.39 FEET TO A SET REBAR; THENCE N02°19'35"W 215.14 FEET TO A FOUND REBAR; THENCE N18°32'33"E A DISTANCE OF 324.95 FEET TO A SET REBAR; THENCE N38°01'01"E A DISTANCE OF 255.01 FEET TO A FOUND REBAR; THENCE N02°45'18"E 127.38 FEET TO A SET 5/" REBAR; THENCE N00°07'21"W A DISTANCE OF 45.29 FEET TO A FOUND REBAR; THENCE N07°20'56"W 176.08 FEET TO A FOUND REBAR; THENCE N43°43'36"W A DISTANCE OF 201.70 FEET TO A FOUND REBAR; THENCE N43°43'28"W A DISTANCE OF 51.58 FEET TO A SET 5/8" REBAR; THENCE N83°56'03" W A DISTANCE OF 164.13 FEET TO A SET 5/8" REBAR; THENCE N83°56'03"W A DISTANCE OF 189.73 FEET TO A FOUND REBAR; N03°53'19"E A DISTANCE OF 262.31 FEET TO A SET 5/8" REBAR; THENCE N22°44'17"W A DISTANCE OF 110.89 FEET TO A SET 5/8" REBAR; THENCE N70°13'05"W A DISTANCE OF 182.63 FEET TO A SET 5/" REBAR; THENCE N86°04'13"W A DISTANCE OF 440.46 FEET TO A FOUND REBAR; THENCE N02°37'41"E A DISTANCE OF 1029.55 FEET TO A FOUND REBAR; THENCE S80°32'08"E A DISTANCE OF 190.61 FEET TO A FOUND REBAR; THENCE S80°10'02"E A DISTANCE OF 279.63 FEET TO A FOUND REBAR; THENCE N86°04'48"E A DISTANCE OF 96.47 FEET TO A FOUND REBAR; THENCE N87°01'58"E A DISTANCE OF 105.19 FEET TO A FOUND REBAR; THENCE S79°59'45"E A DISTANCE OF 88.59 FEET TO A FOUND REBAR; THENCE S70°09'20"E A DISTANCE OF 105.67 FEET TO A FOUND REBAR; S63°46'52"E A DISTANCE OF 230.80 FEET TO A FOUND REBAR; THENCE S78°05'28"E A DISTANCE OF 59.77 FEET TO A FOUND REBAR; THENCE N69°12'42"E A DISTANCE OF 139.02 FEET TO A FOUND REBAR; N81°31'19"E A DISTANCE OF 88.93 FEET TO A FOUND REBAR; THENCE S01°46'13"E A DISTANCE OF 413.92 FEET TO A SET 5/8" REBAR; THENCE S03°33'34"W A DISTANCE OF 1318.09 FEET THE POINT OF BEGINNING CONTAINING 1,931,868 SQUARE FEET OR 44.35 ACRES MORE OR LESS. SUBJECT TO EASEMENTS, RIGHTS-OF-WAY, AND PROTECTIVE COVENANTS OF RECORD, IF ANY.

SUBJECT TO ALL PRIOR MINERAL RESERVATIONS AND OIL AND GAS LEASES.

LOT 1 24,365 SQ. FEET+/- 0.56 ACRES+/-					
Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C16	181.46	451.38	23.03	S89° 37' 30"W	180.24
Parcel Line Table					
Line #	Length	Direction			
L63	128.02'	S8° 18' 39.11"W			
L64	148.25'	N3° 53' 46.47"E			

LOT 2 24,900 SQ. FEET+/- 0.57 ACRES+/-					
Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C17	65.09	514.63	7.25	N74° 05' 22"W	65.05
C18	66.62	304.73	12.53	N62° 59' 52"W	66.48
Parcel Line Table					
Line #	Length	Direction			
L65	128.02'	N8° 18' 39.11"E			

Notes:

1. Except as specifically stated or shown on this plat, the survey does not purport to reflect any of the following which may be applicable to the subject real estate:
- Easements, other than possible easements which were visible at the time of making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land-use regulations, or any other facts which an accurate and current title search may disclose.
2. This plat represents a Lot Split survey of the parcel recorded in Deed Records, Book 2013, Page 50032 & Plat Book 2013, Page 505 at the courthouse in Benton County, Arkansas.
3. The contractor must determine that proposed structures are clear of all boundary lines, easements, and meet building setback requirements before construction begins.
4. Basis of Bearings: Arkansas State Plane System North Zone (NAD 83).
5. This survey is valid only if the drawing includes the seal and signature of the surveyor.
6. No abstract of title, nor title commitment, nor results of title searches were furnished the surveyor. There may exist other documents of record which would affect this parcel.
7. This property is zoned R-1.
8. (BY GRAPHICAL PLOTTING ONLY)
Part of this property shown hereon lies within FLOOD ZONE "AE" as shown on FEMA Flood Insurance Rate Map number 05007C0090J with an effective date of July 17, 2012.
9. Before any work in the Right-of-Way commences, Contractor and Owner is to contact the City of Bentonville Engineering and Transportation Departments and notify said departments on the intent and type of the work that will take place with-in the Right-of-Way.
10. Owner/Developer shall coordinate with all sewer and electric service. Sidewalks shall be the responsibility of the builder/owner at the time of building permit issuance.
11. All structures must maintain minimum of 20' clearance from all electric lines.
12. This property is zoned R-1.
13. Building setbacks for zone R-1 are as follows:

Garage	30 Feet Front Setback
Front	20 Feet
Side(Interior)	7 Feet
Side(R.O.W)	20 Feet
Rear	25 Feet

CERTIFICATE OF OWNERSHIP

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREON, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ECT. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____

SIGNED: _____
SHELLEY McMILLON
(TRUSTEE OF THE SHELLEY McMILLON TRUST
AGREEMENT DATED DECEMBER 13, 2012)

NOTARY

STATE OF _____

COUNTY OF _____

SUBSCRIBED AND SWORN BEFORE ME THIS ____

DAY OF _____

MY COMMISSION EXPIRES: _____

CERTIFICATE OF APPROVAL

PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATION AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED, THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

SIGNED _____
BENTONVILLE PLANNING
COMMISSION CHAIRMAN

SIGNED _____
MAYOR CITY OF BENTONVILLE

SIGNED _____
CITY CLERK, CITY OF BENTONVILLE



Owner/Developer
Shelley McMillon Trust
McMILLON, SHELLEY TRUSTEE
1701 NE TIGER BLVD
BENTONVILLE AR 72712

Engineer/Surveyor
JAMES LAYOUT SERVICES, LLC
7601 W. WEDINGTON DRIVE
FAYETTEVILLE, AR 72704

State Filing Code:
500-20N-30W-0-20-102-04-1204

CITY OF BENTONVILLE PROJECT NUMBER: LS17-0107

2 OF 2	SHEET NO.		James Layout Services, LLC P.O. Box 611 Farmington, Arkansas 72730 Telephone: (479) 439-9929 survey@jlsnwa.com										LOT SPLIT CREATING LOTS 1, 2 & 3 OF THE CROSSINGS										REVISIONS		
			DRAWN BY:		OWNER/DEVELOPER:				LOCATION:				DATE:	BY:	REASON:										
			SHELLEY McMILLON TRUST		PARCEL 01-00248-055																				
			JOB NO.: 17-208		FILENAME: 17-208 SPLIT 2																				
CHECKED BY:		NR		SCALE:		DATE:		AS SHOWN		LFG															
09/08 2017																									

LOT SPLIT STAFF REPORT



Lots 46, 47, & 48 Fountain Plaza Subdivision

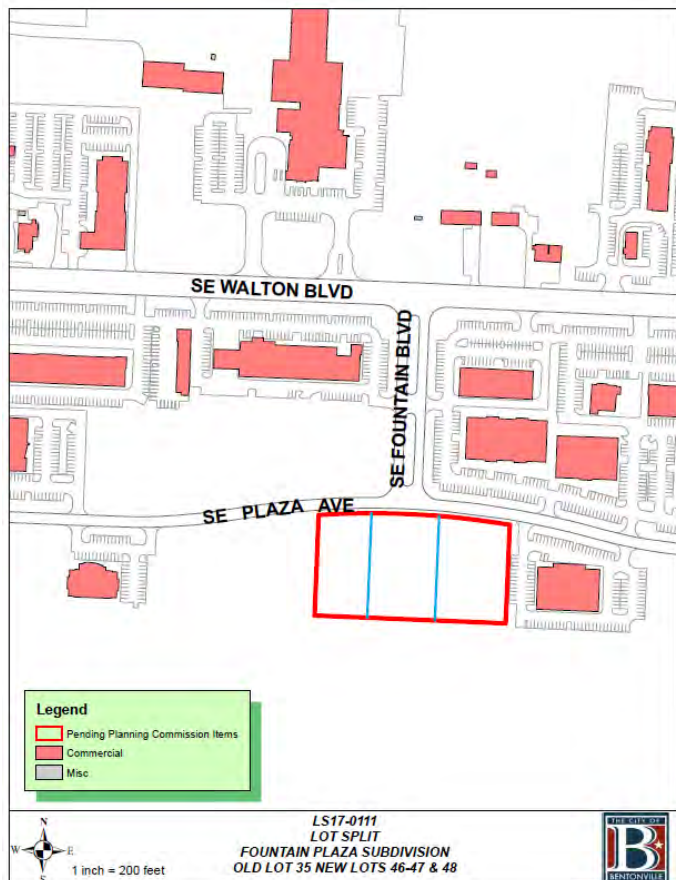
PC Date: 11/21/2016

Reviewer: Tyler Overstreet, Planner

Project Number	LS17-0111
Applicant / Current Owner	Kenneth Mourton PO Box 1948 Fayetteville AR 72701
Site Area	+/- 2.73
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is located on 798 SE Plaza Avenue at the intersection of SE Plaza Avenue and SE Fountain Boulevard.

Project Details

The applicant has submitted a proposal for a lot split of Lot 35 of Fountain Plaza Subdivision, creating three new lots that will be known as Lot 46 (+/- .75 acres), Lot 47 (+/- .98 acres) & Lot 48 (+/- 1.00 acres) of Fountain Plaza Subdivision. Per the Master Street Plan requirements, no new Right-of-Way is needed along SE Plaza Avenue. Two 15 utility easements will be dedicated between Lots 46 and 47 and between Lots 47 and 48. Each new lot will have access to public water and a public street.

Projected Traffic Impact

The proposed lot split should not adversely impact traffic patterns in the area.

Utility Infrastructure

Per the GIS website, water and sewer are currently available to this site.

Drainage Report

A drainage report is not required.

Waivers

No waivers were submitted as part of this application.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

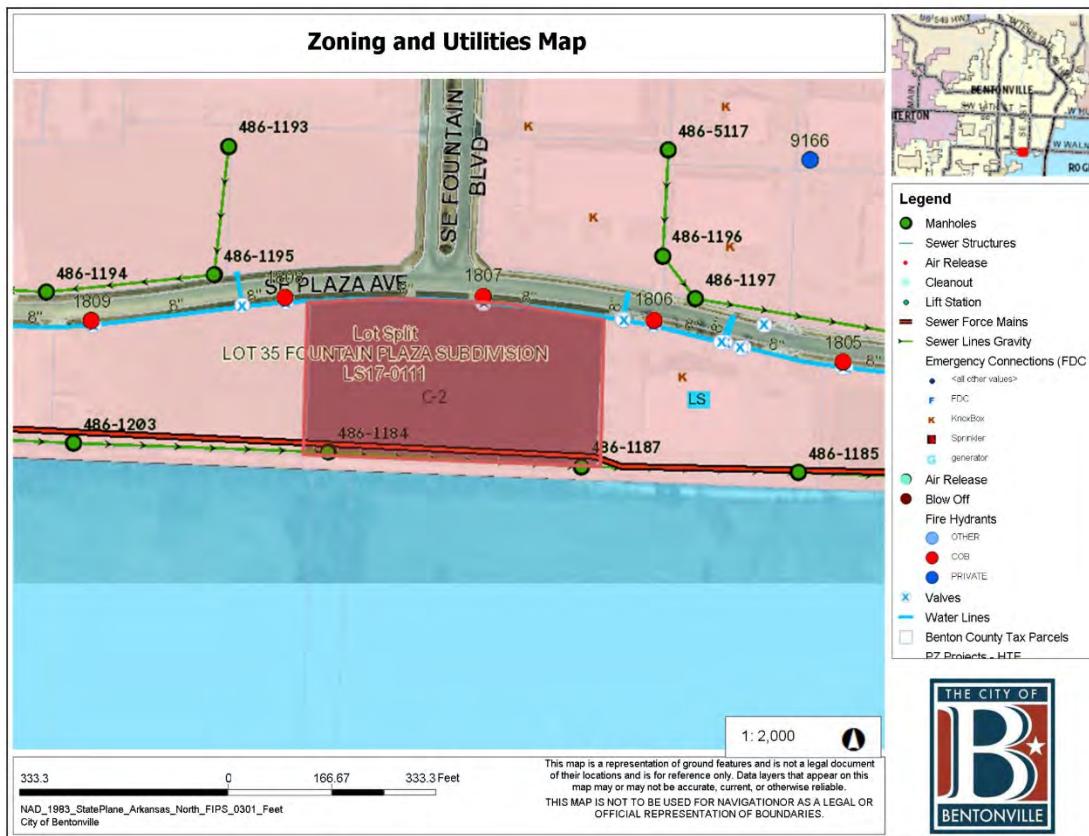
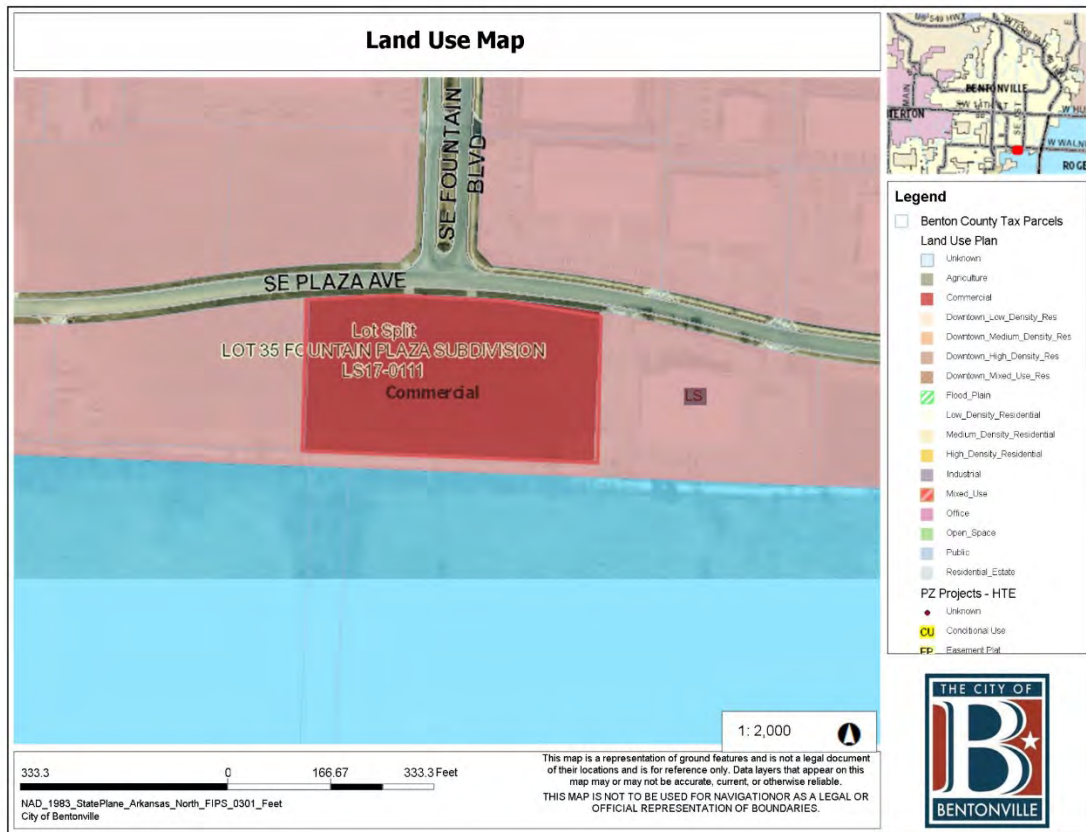
Standard Conditions of Approval

1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT



Zoning & Setback Information

CURRENT ZONING:

C-2

BULK AND AREA REGULATIONS

LOT AREA - 7,000 SQ FT
LOT WIDTH - 70 FT
COVERAGE - 60%
HEIGHT - 60 FT

SETBACKS

FRONT:
WITH PARKING - 50 FT
WITHOUT PARKING - 20 FT
SIDE:
ADJACENT TO NON-RESIDENTIAL - 7 FT
ADJACENT TO RESIDENTIAL - 30 FT
REAR:
ADJACENT TO NON-RESIDENTIAL - 20 FT
ADJACENT TO RESIDENTIAL - 30 FT

Owner/Developer

PARCEL NUMBER: 01-11447-015
BHAKTA, HANSABEN &
MOURTON, KENNETH R
PO BOX 1948
FAYETTEVILLE AR 72701

Miscellaneous Notes

COMPLETED FIELD WORK:

OCTOBER 10, 2017

BASIS OF BEARING:

ARKANSAS STATE PLANE, NORTH ZONE, NAD 83

REFERENCE DOCUMENTS:

SURVEY PLAT FILED IN PLAT BOOK 2015 AT PAGE 528.

SOME FEATURES SHOWN ON THIS PLAT MAY BE
SHOWN OUT OF SCALE FOR CLARITY

DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET
AND DECIMAL PARTS THEREOF UNLESS OTHERWISE
NOTED. MONUMENTS WERE FOUND AT POINTS
WHERE INDICATED.

BY GRAPHIC PLOTTING ONLY, NO PORTION OF THIS
PROPERTY IS IN ZONE "A" OR "AE" OF THE FLOOD
INSURANCE RATE MAP, COMMUNITY PANEL NO.
05007C0255K, WHICH BEARS AN EFFECTIVE DATE OF
06/05/2012 AND IS NOT IN A SPECIAL FLOOD HAZARD
AREA.

CITY OF BENTONVILLE STREET ATLAS PAGE 486

ALL STRUCTURES MUST MAINTAIN MINIMUM OF 20' CLEARANCES FROM ALL
ELECTRIC LINES

ANY ADJUSTMENTS TO THE PROPERTY LINE THAT RESULT IN ELECTRICAL
EQUIPMENT NOT BEING ON THE NEW LOT LINE WILL REQUIRE THE DEVELOPER
TO PAY FOR THE COST TO RELOCATE ELECTRICAL EQUIPMENT.

IT IS THE RESPONSIBILITY OF THE DEVELOPER TO COORDINATE WITH BEUD TO
DETERMINE IF EQUIPMENT IS IN CONFLICT, AND TO PAY FOR ANY COSTS
ASSOCIATED WITH THE RELOCATION OF EQUIPMENT.

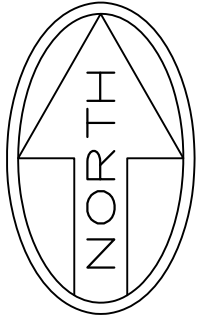
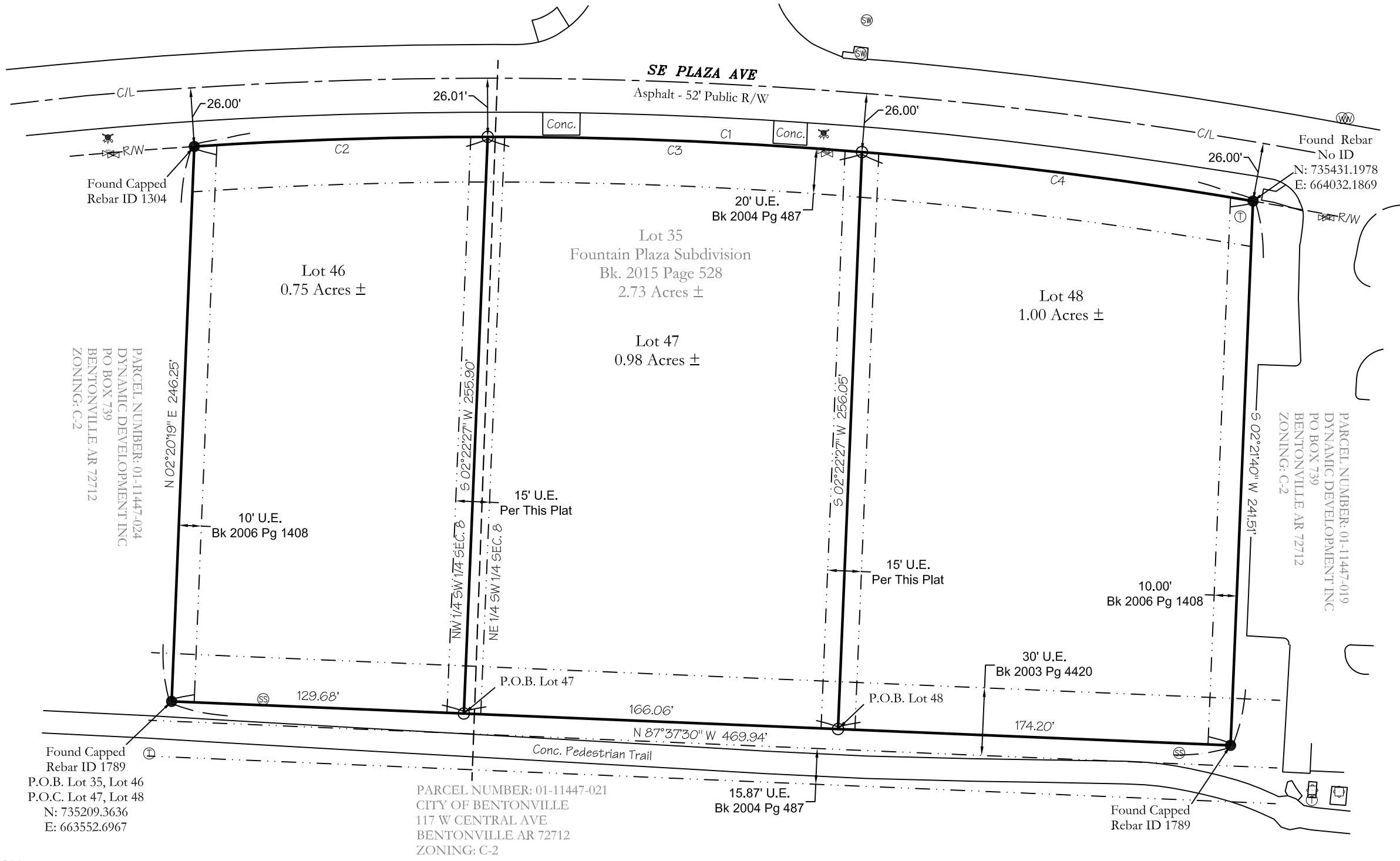
BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR
OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND
TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE
INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITH-IN THE
RIGHT-OF-WAY.

OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO
INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.

SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME
OF BUILDING PERMIT ISSUANCE.

THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY
DRAINAGE EASEMENTS.

LOT SPLIT OF LOT 35, FOUNTAIN PLAZA SUBDIVISION,
CREATING LOTS 46, 47 & 48



Legend of Symbols & Abbreviations

- BOUNDARY LINE
- CENTERLINE OF ROAD (C/L)
- RIGHT-OF-WAY (R/W)
- UTILITY EASEMENT (U.E.)
- FOUND MONUMENT (AS NOTED)
- SET 1/2" CAPPED REBAR ID 1532
- SANITARY SEWER
- WATER VALVE
- TELEPHONE PEDESTAL
- WATER METER
- FIRE HYDRANT
- STORM WATER
- ELECTRICAL BOX
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING

Legal Description

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	2023.78'	471.13'	470.07'	S 87°02'51" E
C2	2023.78'	130.21'	130.19'	N 88°07'36" E
C3	2023.78'	166.10'	166.06'	S 87°40'44" E
C4	2023.78'	174.81'	174.76'	S 82°51'11" E

LOT 35 PREVIOUS DESCRIPTION

LOT 35, FOUNTAIN PLAZA SUBDIVISION TO THE CITY OF BENTONVILLE, BENTON COUNTY ARKANSAS, AS PER PLAT OF SAID SUBDIVISION RECORDED IN BOOK 2015 AT PAGE 528, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 35 AND RUNNING THENCE N02°20'19"E 246.25' TO A FOUND IRON PIN, THENCE ALONG A CURVE TO THE RIGHT, WITH A RADIUS OF 2023.78', AN ARC LENGTH OF 471.13', AND A CHORD BEARING AND DISTANCE OF S87°02'51"E 470.07' TO A FOUND IRON PIN, THENCE S02°21'40"W 241.51' TO A FOUND IRON PIN, THENCE N87°37'30"W 469.94' TO THE POINT OF BEGINNING, CONTAINING 2.73 ACRES MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD, IF ANY.

LOT 46 DESCRIPTION

A PART OF LOT 35, FOUNTAIN PLAZA SUBDIVISION TO THE CITY OF BENTONVILLE, BENTON COUNTY ARKANSAS, AS PER PLAT OF SAID SUBDIVISION RECORDED IN BOOK 2015 AT PAGE 528, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 35 AND RUNNING THENCE N02°20'19"E 246.25' TO A FOUND IRON PIN, THENCE ALONG A CURVE TO THE RIGHT, WITH A RADIUS OF 2023.78', AN ARC LENGTH OF 130.21', AND A CHORD BEARING AND DISTANCE OF N88°07'36"E 130.19' TO A SET IRON PIN, THENCE S02°22'27"W 255.90' TO A FOUND IRON PIN, THENCE N87°37'30"W 129.68' TO THE POINT OF BEGINNING, CONTAINING 0.75 ACRES MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD, IF ANY.

LOT 47 DESCRIPTION

A PART OF LOT 35, FOUNTAIN PLAZA SUBDIVISION TO THE CITY OF BENTONVILLE, BENTON COUNTY ARKANSAS, AS PER PLAT OF SAID SUBDIVISION RECORDED IN BOOK 2015 AT PAGE 528, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS S87°37'30"E 129.68' FROM THE SOUTHWEST CORNER OF SAID LOT 35 AND RUNNING THENCE N02°22'27"E 255.90' TO A SET IRON PIN, THENCE ALONG A CURVE TO THE RIGHT, WITH A RADIUS OF 2023.78', AN ARC LENGTH OF 166.10', AND A CHORD BEARING AND DISTANCE OF S87°40'44"E 166.06' TO A SET IRON PIN, THENCE S02°22'27"W 256.05' TO A SET IRON PIN, THENCE N87°37'30"W 166.06' TO THE POINT OF BEGINNING, CONTAINING 0.98 ACRES MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD, IF ANY.

LOT 48 DESCRIPTION

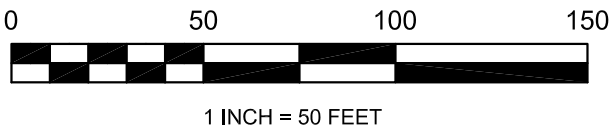
A PART OF LOT 35, FOUNTAIN PLAZA SUBDIVISION TO THE CITY OF BENTONVILLE, BENTON COUNTY ARKANSAS, AS PER PLAT OF SAID SUBDIVISION RECORDED IN BOOK 2015 AT PAGE 528, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS S87°37'29"E 295.74' FROM THE SOUTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE N02°22'27"E 256.05' TO A SET IRON PIN, THENCE ALONG A CURVE TO THE RIGHT, WITH A RADIUS OF 2023.78', AN ARC LENGTH OF 174.81', AND A CHORD BEARING AND DISTANCE OF S82°51'11"E 174.76' TO A SET IRON PIN, THENCE S 02°21'40" W 241.51' TO A FOUND IRON PIN, THENCE N87°37'30"W 174.20' TO THE POINT OF BEGINNING, CONTAINING 1.00 ACRES MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD, IF ANY.

Recording Block

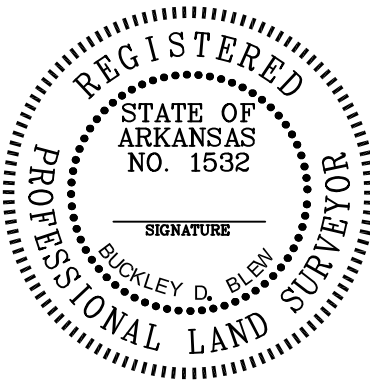
Utility Notes

THE LOCATION OF UTILITIES SHOWN
HEREON ARE FROM OBSERVED EVIDENCE
OF ABOVE GROUND APPURTENANCES
ONLY. THE SURVEYOR WAS NOT
PROVIDED WITH UNDERGROUND PLANS
OR SURFACE GROUND MARKINGS TO
DETERMINE THE LOCATION OF ANY
SUBTERRANEAN USES.

BEFORE DIGGING IN THIS AREA, CALL
"ONE CALL" 811 FOR FIELD LOCATIONS
(REQUEST FOR GROUND MARKINGS) OF
UNDERGROUND UTILITY LINES



I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT
TO THE BEST OF MY KNOWLEDGE AND BELIEF
ON THIS THE 10TH DAY OF OCTOBER, 2017.



IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL AND
NOT BLUE IN COLOR THEN IT SHOULD BE ASSUMED THAT
THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE
CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT
DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

FIRM:

BLEW & ASSOCIATES, PA
CIVIL ENGINEERS & LAND SURVEYORS

524 W. SYCAMORE ST, SUITE 4
FAYETTEVILLE, ARKANSAS 72703
OFFICE: 479.443.4506
FAX: 479.582.1883
www.BLEWINC.com

Certificate of Authorization No 1534

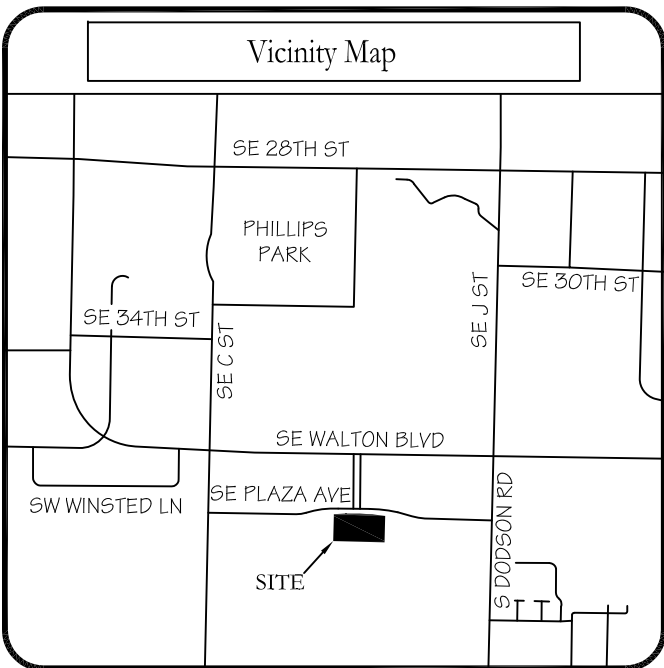
DRAWN BY & DATE:	REVIEWED BY:	SURVEYED BY:
G.A.C. 10/13/2017	G.A.C.	R.S.

COUNTY & STATE:	JOB NUMBER:
BENTON COUNTY, ARKANSAS	17-2030

LOCATION:
LOT 35, FOUNTAIN PLAZA SUBDIVISION

FOR THE USE AND BENEFIT OF:
HANSABEN BHAKTA;
KENNETH MOURTON;
PRIME TITLE;
FIRST AMERICAN TITLE CO.

Project No. LS-17-0111

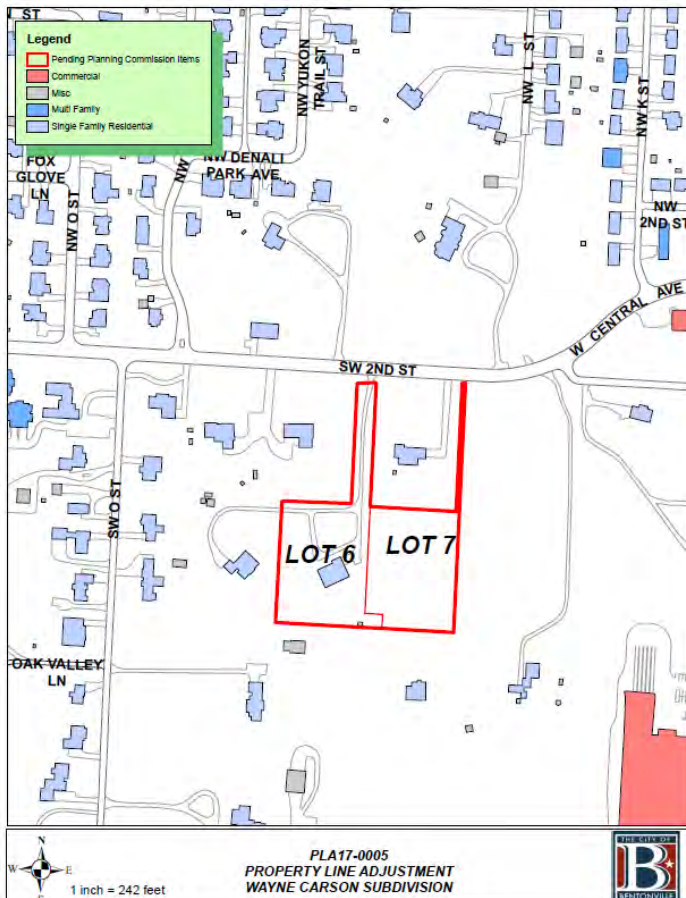


Reviewer: Tyler Overstreet, Planner

Project Number	PLA17-0005
Applicant / Current Owner	James and Sally Durham 1505 SW 2 nd Street Bentonville, AR 72712
Site Area	+/- 4.75 acres
Current Zoning	R-1, Single Family Residential
Future Land Use Map Designation	Low Density Residential (LDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

The property contains two single-family homes, an outbuilding, and a storage shelter. The properties are located at 1503 and 1505 SW 2nd Street.

Project Details

The applicant has submitted a property line adjustment that will adjust the common lot line between lots 5A and 2B of the Wayne Carlson Subdivision, creating two new lots known as Lot 6 (+/- 2.61 acres) and Lot 7 (+/- 2.14 acres), Wayne Carlson Subdivision. No additional R/W is required by the Master Street Plan. A public utility and access easement of varying width will be added per the plat.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site. Lot 7 has a private septic system.

Drainage Report

A drainage report is not required for this property line adjustment.

Waivers

No waivers requested.

Standard Conditions of Approval

1. Provide digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

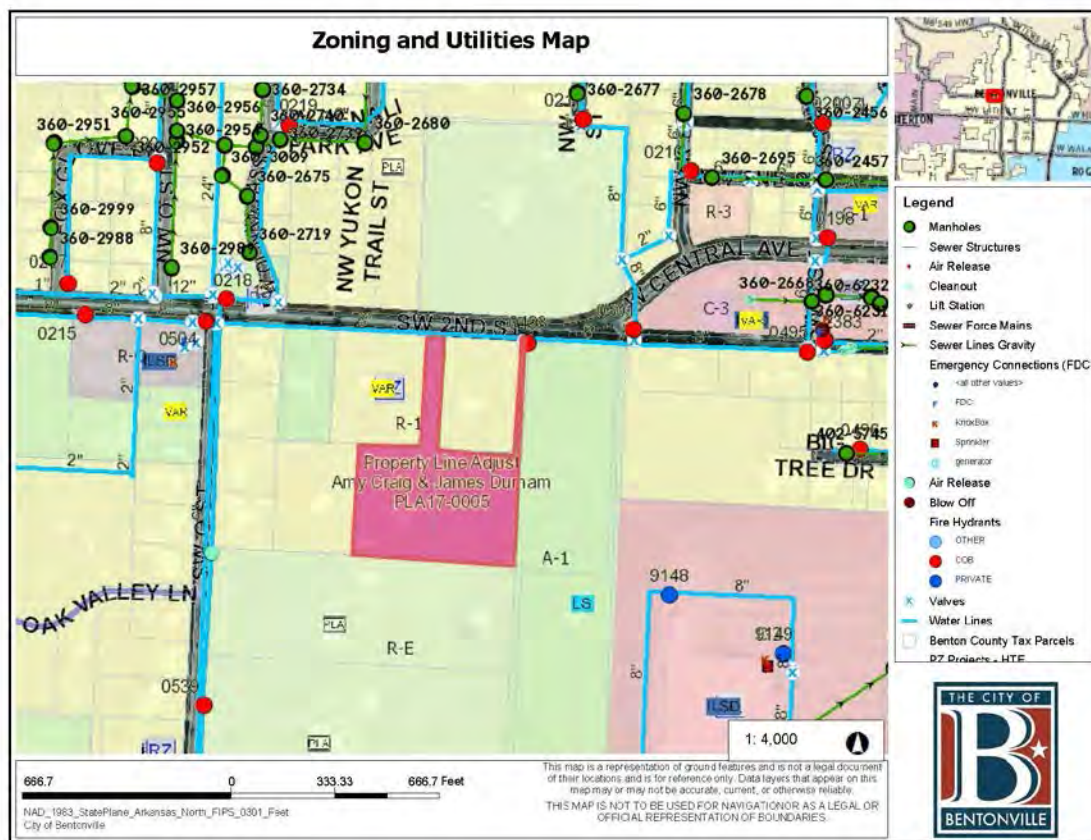
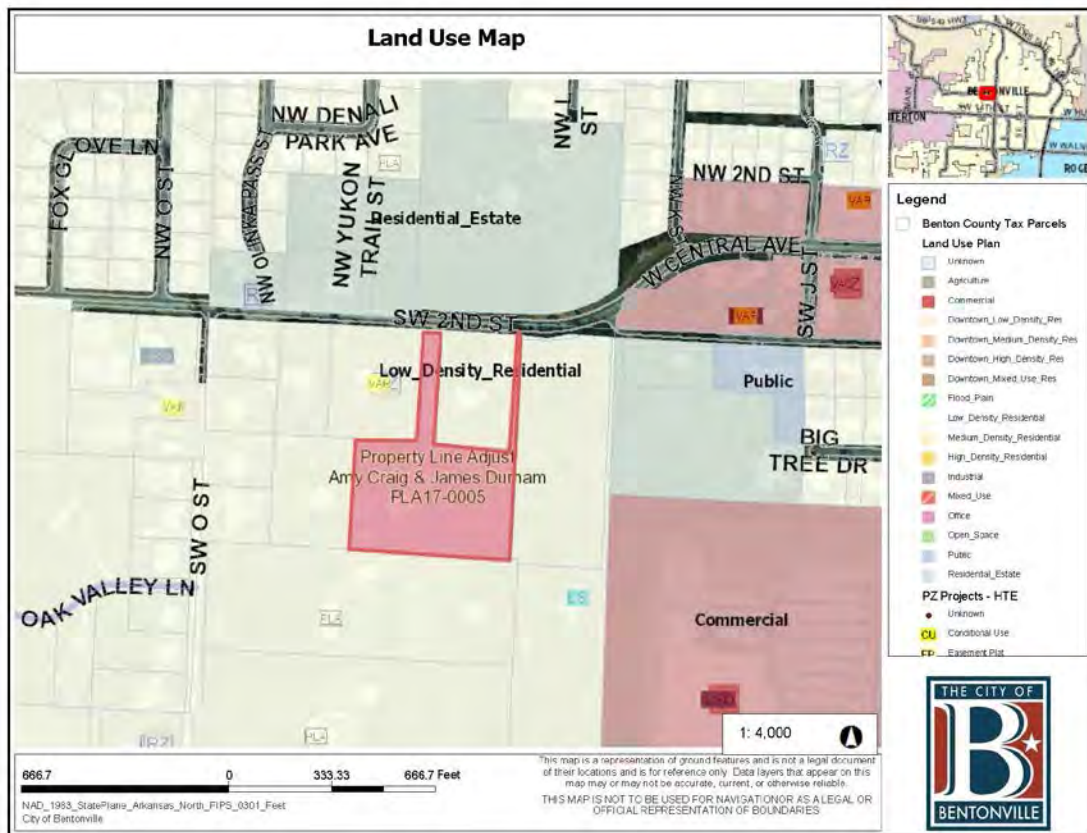
Conclusion

In conclusion, this property line adjustment does meet the minimum requirements of the subdivision regulations.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

PROPERTY LINE ADJUSTMENT STAFF REPORT



R-1 ZONING SETBACKS
01-05755-002
GARAGE (FRONT) 30'
FRONT 20'
SIDE (INTERIOR) 7'
SIDE (EXTERIOR) 20'
REAR 25'

R-E ZONING SETBACKS
01-05757-000
FRONT 30'
SIDE (EXTERIOR) 30'
REAR 30'

OWNER/DEVELOPER
01-05755-002
DURHAM, JAMES D & SALLY S TRUSTEES
1505 SW 2ND ST
BENTONVILLE AR 72712-5064
DEED: BK 2011 PG 55737
ZONING R-1

OWNER/DEVELOPER
01-05757-000
CRAIG, AMY L
1503 SW 2ND ST
BENTONVILLE AR 72712-5064
DEED: BK 2010 PG 49869

Flood Certification:

NO PART OF THE HERE-ON DESCRIBED PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS. (FIRM PANEL #05007C0255K DATED June 05,2012.

ADJACENT PROPERTY OWNERS

#1 01-00911-000
SIMPSON, JEFFREY H & SIMPSON,
DANA L TRUSTEES
1404 SW 2ND ST
BENTONVILLE AR 72712-5040

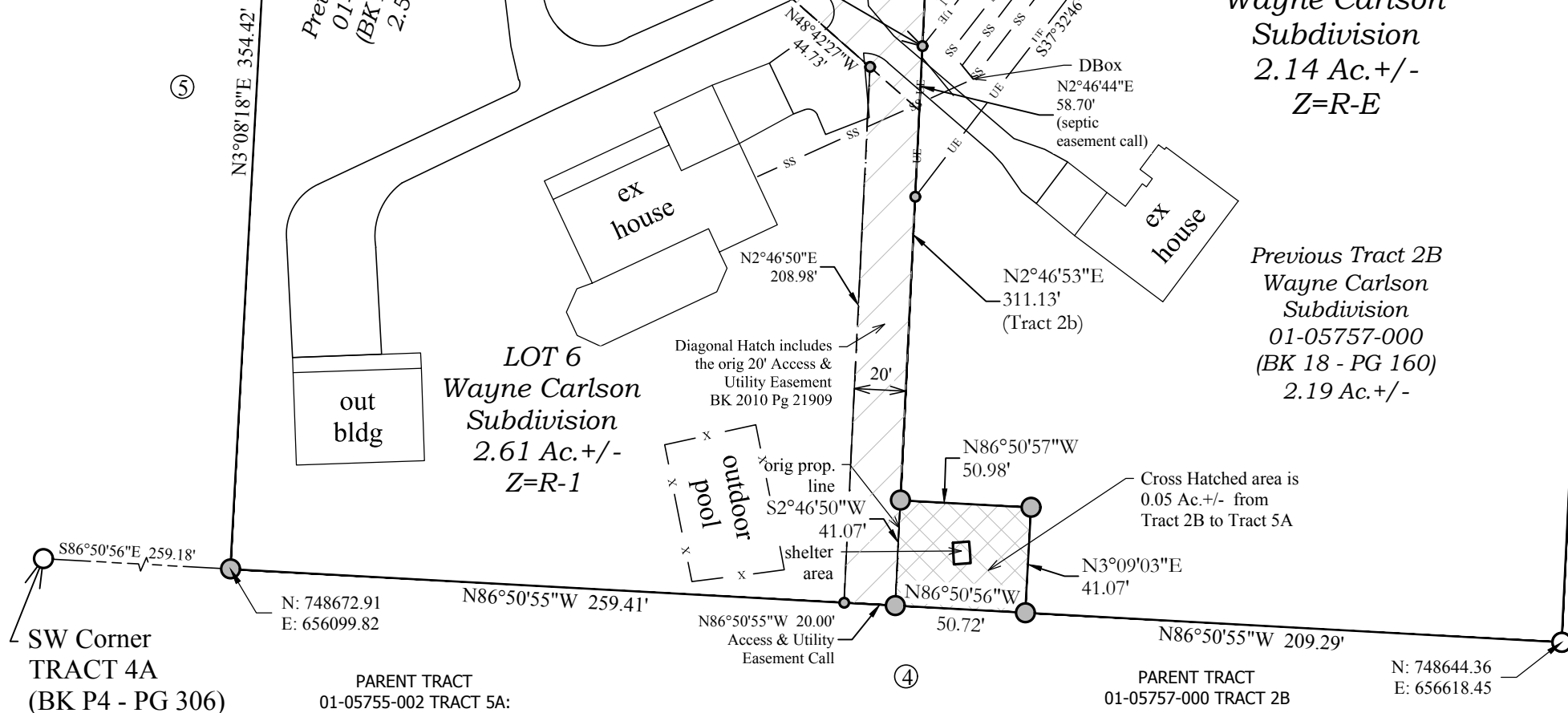
#2 01-05756-000
SCANTLING, TRAVIS D & FANYA R
1501 SW 2ND ST
BENTONVILLE AR 72712-5064

#3 01-16754-000
KIEFER, BENJAMIN R & ERIN C
307 SW O ST
BENTONVILLE AR 72712-3644

#4 01-05060-000
DUDLEY, GREGORY B & HADIS S
301 SW O ST
BENTONVILLE AR 72712-3644

#5 01-05755-001
GARRETT, CARL B & LINDIE
1507 SW 2ND ST
BENTONVILLE AR 72712-5064

#6 01-05755-000
GARCIA, IGNACIO MAXIMINO
NORMA ADRIANA
1601 SW 2ND ST
BENTONVILLE AR 72712-5008



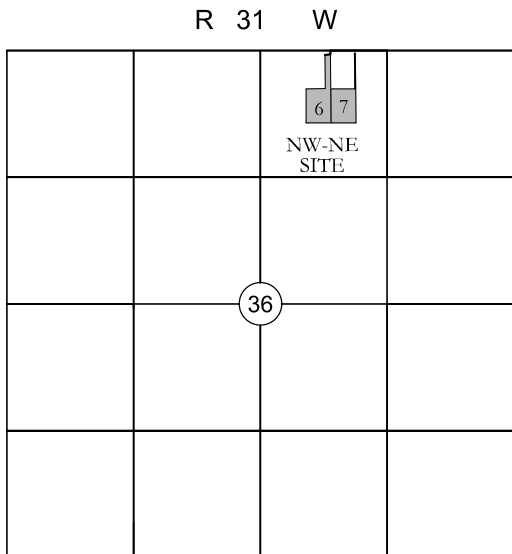
PLAT OF LOTS 6 & 7 WAYNE CARLSON SUBDIVISION

NE CORNER
NW1/4-NE1/4
SECTION 36,
T-20-N, R-31-W

POB LOT 7
& orig TRACT 2B
(BK 18 - PG 160)

Reference Documents:

TRACT SPLIT FOR JIM DURHAM IN BK P4 PG 306
WAYNE CARLSON SUBDIVISION BOOK 17 PAGE 103
WAYNE CARLSON SUBDIVISION BOOK 18 PAGE 160
EASEMENT FOR INGRESS, EGRESS AND UTILITIES
BOOK 2010 PAGE 21909



SURVEY DESCRIPTION
LOT 6
01-05755-002

Part of Tract 5A, Wayne Carlson Subdivision, as shown on Plat record Bk P4, Pg 306, and a part of Tract 2B, Wayne Carlson Subdivision, as shown on Plat record Bk 18, Pg 160, being located in the NW1/4 of the NE1/4 of said Section 36, Township 20 North, Range 31 West of the Fifth Principal Meridian, City of Bentonville, Benton county, Arkansas, being more particularly described as follows:
Commencing at the NE Corner of said NW1/4 of the NE1/4 of said Section 36; thence N86°37'49\"W 590.88' and S02°50'54\"W 39.76' to a 5/8\" iron pin and the TRUE POINT OF BEGINNING; said point being located on the South Right-of-Way line of S.W. 2nd Street (Arkansas St. Hwy No. 72); thence leaving said Right-of-Way and running South 2°46'50\" West 671.31 feet to a 5/8\" iron pin; thence South 86°50'57\" East 50.98 feet to a 5/8\" iron pin; thence South 3°09'03\" West 41.07 feet to a 5/8\" iron pin; thence North 86°50'56\" West 50.72 feet to a 5/8\" iron pin; thence North 86°50'55\" West, 259.41 feet to a 5/8\" iron pin; thence North 3°08'18\" East 354.42 feet to a 5/8\" iron pin; thence South 87°45'30\" East 202.20 feet to a 5/8\" iron pin; thence North 2°46'50\" East 349.87 feet to a 5/8\" iron pin located on the South Right-of-Way line of S.W. 2nd Street (Ar St. Hwy No. 72); thence Easterly along said Right-of-Way both North 87°34'16\" East 50.24 feet and thence South 86°41'53\" East 4.97 feet to the point of beginning containing 2.61 acres, more or less.

Also, a Septic Sewer Easement filed in Bk. 2010 Pg. 16651 being more particularly described as Commencing at the NE Corner of said NW1/4 of the NE1/4 of said Section 36; thence S86°37'49\"E 590.88', S02°50'54\"W 39.76', and S02°46'50\"W 519.19 feet to TRUE POINT OF BEGINNING, said point being located on the East line of Lot 6; thence leaving said East line and running North 37°51'16\" East, 83.10 feet; thence South 52°36'17\" East 33.03 feet; thence South 37°32'46\" West 131.41 feet to a point on the east line of said LOT 6; thence North 2°46'44\" East 58.70 feet to the point of beginning, containing 3,571.84 square feet, more or less.

Subject to both an Access Easement for Ingress & Egress and a Utility Easement described as Commencing at the NE Corner of NW1/4 of the NE1/4 of said Section 36; thence S86°37'49\"E 590.88' and S02°50'54\"W 39.76' to a 5/8\" iron pin and the TRUE POINT OF BEGINNING; said point being located on the South Right-of-Way line of S.W. 2nd Street (Ar. St. Hwy No. 72) and the East line of Lot 6; thence leaving said Right-of-Way and running South 2°46'50\" West 712.38 feet along the East line of Lot 6 and its projection to a point on the South Line of Lot 6; thence North 86°50'55\" West 20.00 feet along said South line; thence leaving said South line and running North 2°46'50\" East 208.98 feet; thence North 48°42'27\" West, 44.73 feet; thence North 2°46'48\" East, 81.03 feet; thence North 87°45'30\" West, 202.45 feet to a point on the West Line of Lot 6; thence Northerly along Lot 6 property line the following: North 3°08'18\" East 40.00 feet, South 87°45'30\" East 202.20 feet, North 2°46'50\" East 349.87 feet, North 87°34'16\" East 50.24 feet and South 86°41'53\" East 4.97 feet to the point of beginning.

And any other easements, covenants, Rights-of-Way's, or restrictions of record or fact.

SURVEY DESCRIPTION
LOT 7
01-05757-000

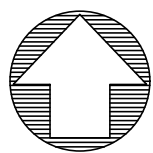
A Part of Tract 5A, Wayne Carlson Subdivision, as shown on Plat record Bk P4, Pg 306, and a part of Tract 2B, Wayne Carlson Subdivision, as shown on Plat record Bk 18, Pg 160, being a part of the NW1/4 of the NE1/4, Section 36, Township 20 North, Range 31 West of the Fifth Principal Meridian, City of Bentonville, Benton county, Arkansas, being more particularly described as follows:

Commencing at the NE Corner of said NW1/4 of the NE1/4 of said Section 36; thence N86°37'49\"W 330.91' and S02°46'48\"W 25.68' to a 5/8\" iron pin and the TRUE POINT OF BEGINNING; said point being located on the South Right-of-Way line of S.W. 2nd Street (Arkansas St. Hwy No. 72); thence leaving said Right-of-Way and running South 2°46'50\" West 725.47 feet to a 5/8\" iron pin; thence North 86°50'55\" West 209.29 feet to a 5/8\" iron pin; thence North 3°09'03\" East 41.07 feet to a 5/8\" iron pin; thence North 86°50'57\" West 50.98 feet to a 5/8\" iron pin; thence North 2°46'53\" East 311.13 feet to a 5/8\" iron pin; thence South 86°41'53\" East 250.01 feet to a 5/8\" iron pin; thence North 2°46'50\" East 373.97 feet to a 5/8\" iron pin located on the South Right-of-Way line of S.W. 2nd Street (Arkansas St. Hwy No. 72); thence Easterly along said Right-of-Way South 86°35'47\" East 10.00 feet to the point of beginning, containing 2.14 acres, more or less.

Also, an Access Easement for Ingress & Egress described as Commencing at the NE Corner of NW1/4 of the NE1/4 of said Section 36; thence S86°37'49\"E 590.88' and S02°50'54\"W 39.76' to a 5/8\" iron pin and the TRUE POINT OF BEGINNING; said point being located on the South Right-of-Way line of S.W. 2nd Street (Ar. St. Hwy No. 72) and the East line of Lot 6; thence leaving said Right-of-Way and running South 2°46'50\" West 712.38 feet along the East line of Lot 6 and its projection to a point on the South Line of Lot 6; thence North 86°50'55\" West 20.00 feet along said South line of Lot 6; thence leaving said South line and running North 2°46'50\" East 208.98 feet; thence North 48°42'27\" West, 44.73 feet; thence North 2°46'48\" East, 81.03 feet; thence North 87°45'30\" West, 202.45 feet to a point on the West Line of Lot 6; thence Northerly along Lot 6 property line the following: North 3°08'18\" East 40.00 feet, South 87°45'30\" East 202.20 feet, North 2°46'50\" East 349.87 feet, North 87°34'16\" East 50.24 feet and South 86°41'53\" East 4.97 feet to the point of beginning.

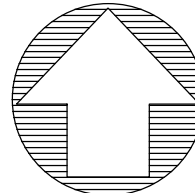
Subject to a Septic Sewer Easement filed in Bk. 2010 Pg. 16651 being more particularly described as Commencing at the NE Corner of said NW1/4 of the NE1/4 of said Section 36; thence S86°37'49\"E 590.88', S02°50'54\"W 39.76', and S02°46'50\"W 519.19 feet to TRUE POINT OF BEGINNING, said point being located on the East line of Lot 6; thence leaving said East line and running North 37°51'16\" East, 83.10 feet; thence South 52°36'17\" East 33.03 feet; thence South 37°32'46\" West 131.41 feet to a point on the east line of Lot 6; thence North 2°46'44\" East 58.70 feet to the point of beginning, containing 3,571.84 square feet, more or less.

And any other easements, covenants, Rights-of-Way's, or restrictions of record or fact.



GRAPHIC SCALE

0 60' 120'
1 inch = 60 feet



Legend

Feature	Description
○	FOUND IRON PIN
●	SET 1/2\" REBAR W/CAP, LS 1519
•	BEARING CHANGE
⊙	WATER METER
⊙	GAS METER
⊙	POWER POLE
—	Property Line
—	Center Line
—	Right-Of-Way Line
—	8\" Public Water Line
—	Water Service Line
—	Utility Easement Line
—	Ex Fence Line
—	Access & Utility Easement

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR PRESENT.

THIS SURVEY MEETS CURRENT \"MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS\" IN THE STATE OF ARKANSAS.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY.

ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.



CERTIFICATE OF SURVEY AND ACCURACY:

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY AND THAT THE MONUMENTS HAVE BEEN PLACED AS STATED HEREON AS REQUIRED BY THE SUBDIVISION REGULATIONS OF THE CITY OF BENTONVILLE, ARKANSAS.

DATE PROFESSIONAL LAND SURVEYOR

MICHAEL D. MILLION
LAND SURVEYOR

12 NEFFWOOD LANE
BELLA VISTA, AR 72715
PHONE: (479) 571-0654

PROPERTY LINE ADJUSTMENT
WAYNE CARLSON SUBDIVISION
CREATING LOTS 6 & 7

FOR: DURHAM, JAMES D &
SALLY S TRUSTEES

DATE: 11/5/2017
SCALE: 1\"=60'
DRAWN BY:ETH
JOB: 17-1048
FCS:JW
REVIEW BY:
MDM
SHEET: 1 OF 1

Basis of Bearing:

ARKANSAS STATE PLANE
COORDINATE SYSTEM,
(NAD-83) NORTH ZONE.

LARGE SCALE DEVELOPMENT STAFF REPORT



Hogwild Warehouse Phase

II

2908 SE 'I' Street

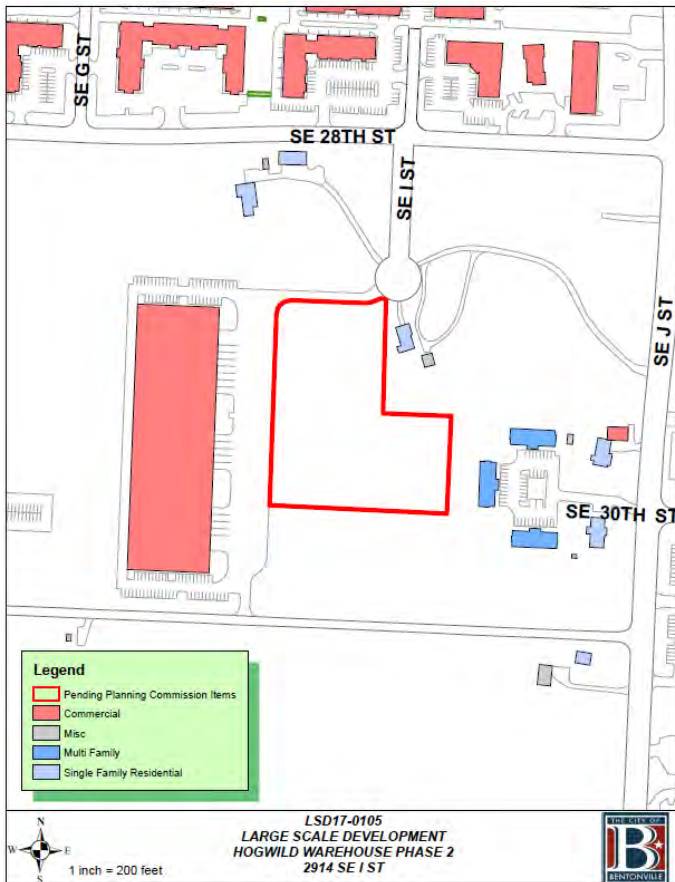
PC Date: 11/21/2017

Reviewer: Tyler Overstreet, Planner

Project Number	LSD17-0105
Applicant / Current Owner	Rogers Warehouse Development IV 3801 West Walnut Rogers, AR 72756
Site Area	+/- 4.1 acres
Current Zoning	I-1, Light Industrial
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Warehouse and Office Space

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is located approximately 493 feet west of SE 'J' Street with frontage to a cul-de-sac on SE 'I' Street.

Project Details

The applicant is proposing a large scale development consisting of a +/- 88,265 square foot warehouse/office structure. The Total project area, including Phase I, consists of 208,886 square feet of building area.

Adequate parking is being provided with a total of 164 parking spaces. The primary ingress/egress will be from SE 'I' Street. The applicant is constructing a 5' sidewalk and site amenities to provide a pedestrian connection on SE 'I' Street. The primary materials depicted for the exterior the proposed building include textured, precast concrete panels and aluminum for trim and storefronts.

Projected Traffic Impact

The proposed development does have the potential to cause adverse traffic conditions.

Utility Infrastructure

Per the city GIS website, public water and sewer are available at this location.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

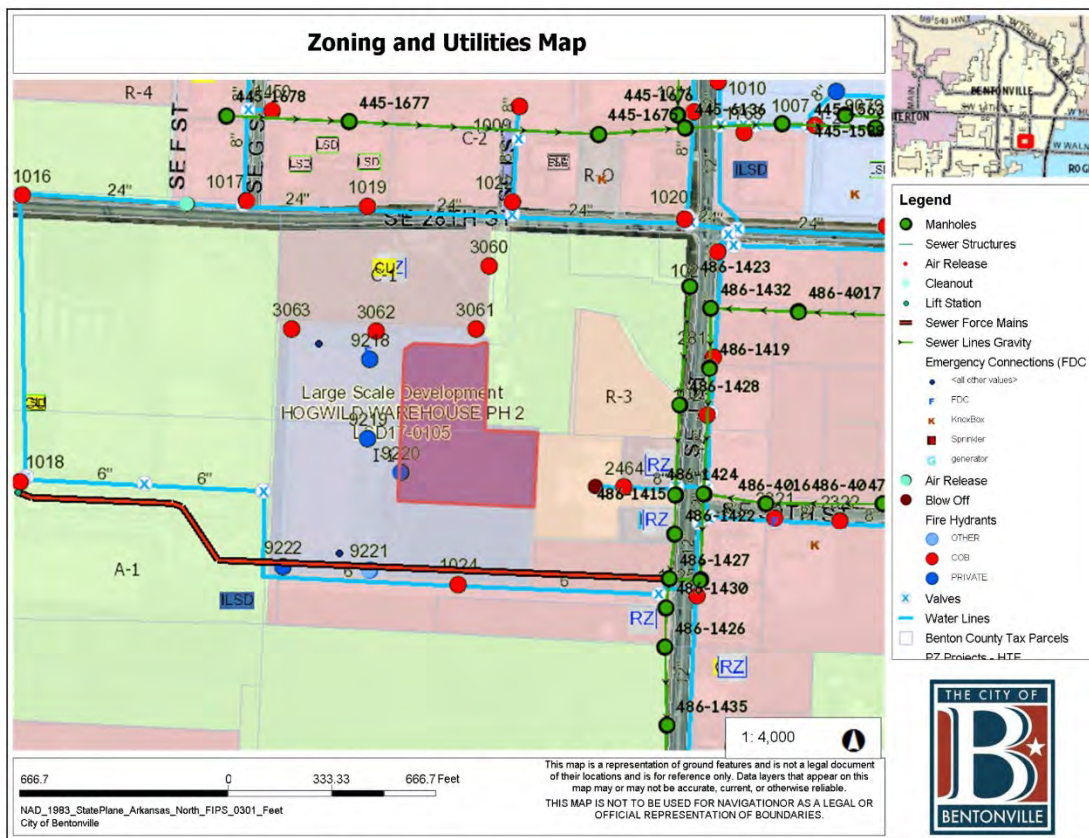
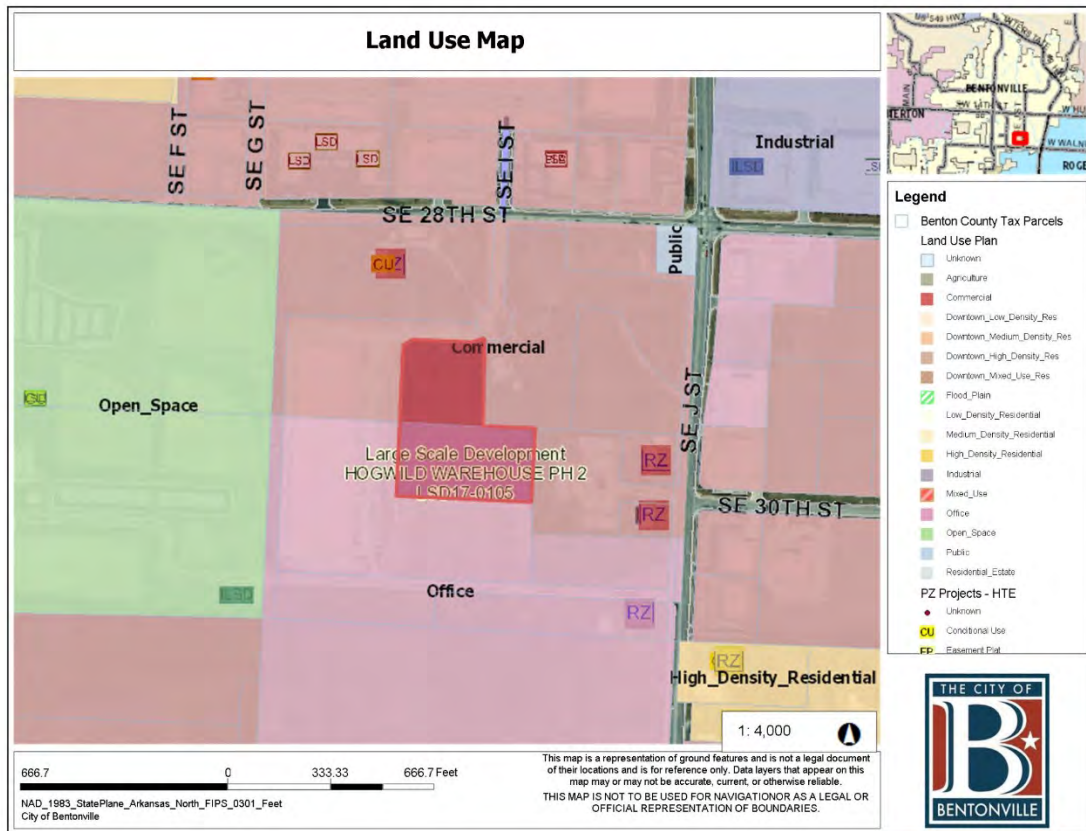
Waivers

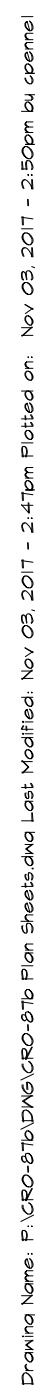
No waivers were requested as part of this application.

Conclusion

In conclusion, this large scale development does meet the minimum requirements of the subdivision regulations.

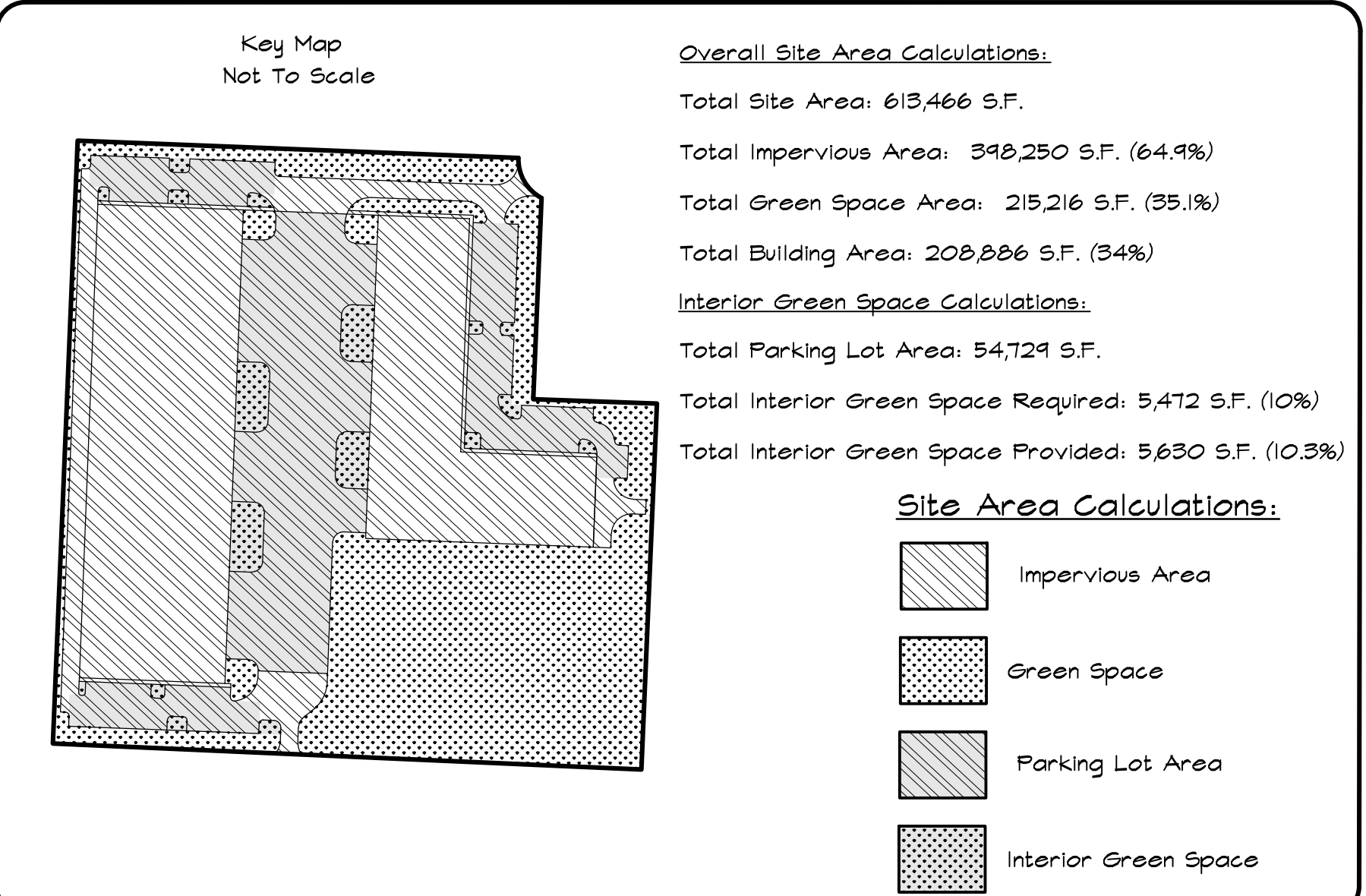
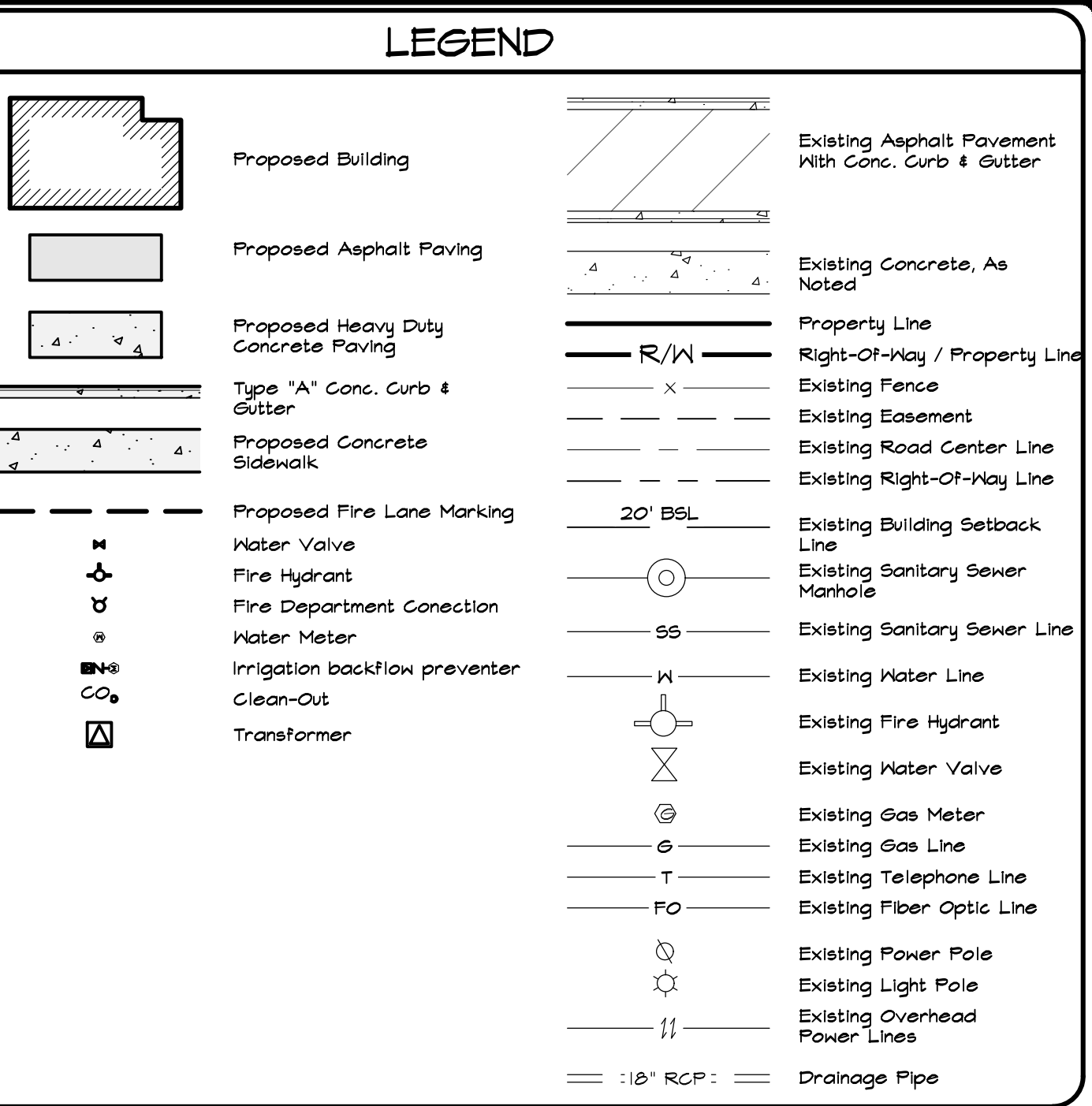
LARGE SCALE DEVELOPMENT STAFF REPORT





PARKING SUMMARY			
Description	Parking Requirement	Reduction Percentage	Number Of Spaces
Office (10,000 S.F.)	1 per 300 S.F.	N.A.	34
Office (12,000 S.F.)	1 per 300 S.F.	95%	40
Warehouse (218,265 S.F.)	$5 \times (50000/2000) + (168,265/10000)$		47
Parking Spaces	Total Required		121
Parking Spaces	Total Provided		164
Accessible Spaces	Total Required		6
Accessible (AC) Spaces	Total Provided		6

1. The Contractor Shall Be Solely And Completely Responsible For Conditions Of The Job Site, Including Safety Of All Persons And Property During All Phases Of Construction Of This Site. This Requirement Shall Apply Continuously And Shall Not Be Limited To Construction Working Hours.
2. It Is The Contractor's Responsibility To Take All Precautions Necessary To Avoid Property Damage To Adjacent Properties During The Construction Phases Of This Project.
3. All Dimensions, Unless Otherwise Noted, Are To The Back Of Curb, Face Of Building, Edge Of Pavement, Or Centerline Of Stripe. All Radii are 5' Unless Otherwise Noted.
4. Contractor Shall Coordinate And Comply With All Utility Companies Involved In Project And Pay All Required Fees And Costs.
5. Unless Otherwise Noted, All Curb Shall Be 6" Type "A" Concrete Curb And Gutter. Refer To Detail Sheets.
6. See Architectural Plans For Exact Building Dimensions and Layout.
7. Proposed Sidewalks Shall Be A Minimum Of 5' Wide Unless Otherwise Noted.
8. Contractor Must Obtain A Permit Prior To Performing A Street Cut Within City Of Bentonville Right-Of-Way. All Construction In Said Right-of-Way Shall Be In Accordance With City Of Bentonville Details And Specifications.
9. The Proposed Community Design Features For This Project Are A Dero Swerve Bike Rack And A Patio Bench (Victor Stanley, Inc. Classic Series CR-13B 6' Bench (Color-Black) Or Approved Equal.
10. In The Sight Triangle There Cannot Be Anything Between 30" And 60" In Height Within The Shaded Area.
11. The Dumpster Enclosure Shall Be Constructed With Similar Material As The Building.
12. All Mechanical Equipment (Roof And Ground Mounted) Will Be Screened On All Sides By Similar Materials As The Building.
13. All Outdoor Lighting Shall Have "Cut Off" Fixtures In Accordance With The City Of Bentonville Requirements.
14. There Are Currently No Parking Lot Light Poles Proposed For The Site.
15. All Signs Will Require A Separate Permit.
16. Contact BEUD At 474-271-3135 Before Performing Any Grading Within 5' Of Existing Or Proposed Power Poles.
17. BEUD Design Layout Drawing Takes Precedence Over Any Electrical Information Shown On This Utility Plan.
18. Electrical Facilities Shall Be Installed In Accordance With The Latest Revisions Of The Electrical Specifications Found On The Website. Contractor Is Responsible For Compliance With This Document.



Revision	By	Date
Revised per City Comments	CLP	11.01.17
Dated 10.25.17		

MORRISON  **SHIPLEY**
ENGINEERS • SURVEYORS

2407 SE Cottonwood Street • Bentonville, AR 72712 • 479.273.2209 • morrisonshipley.com

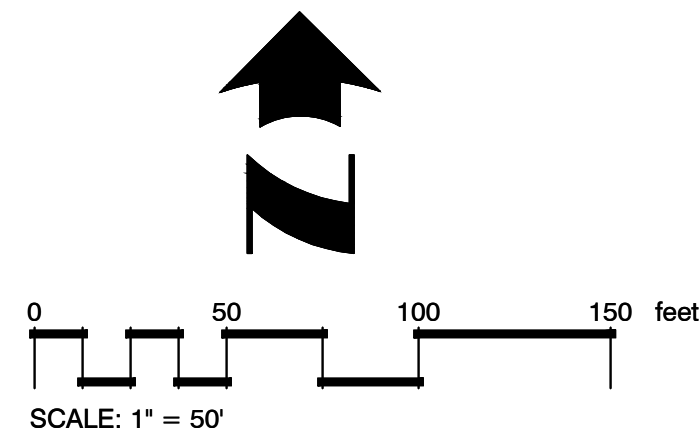
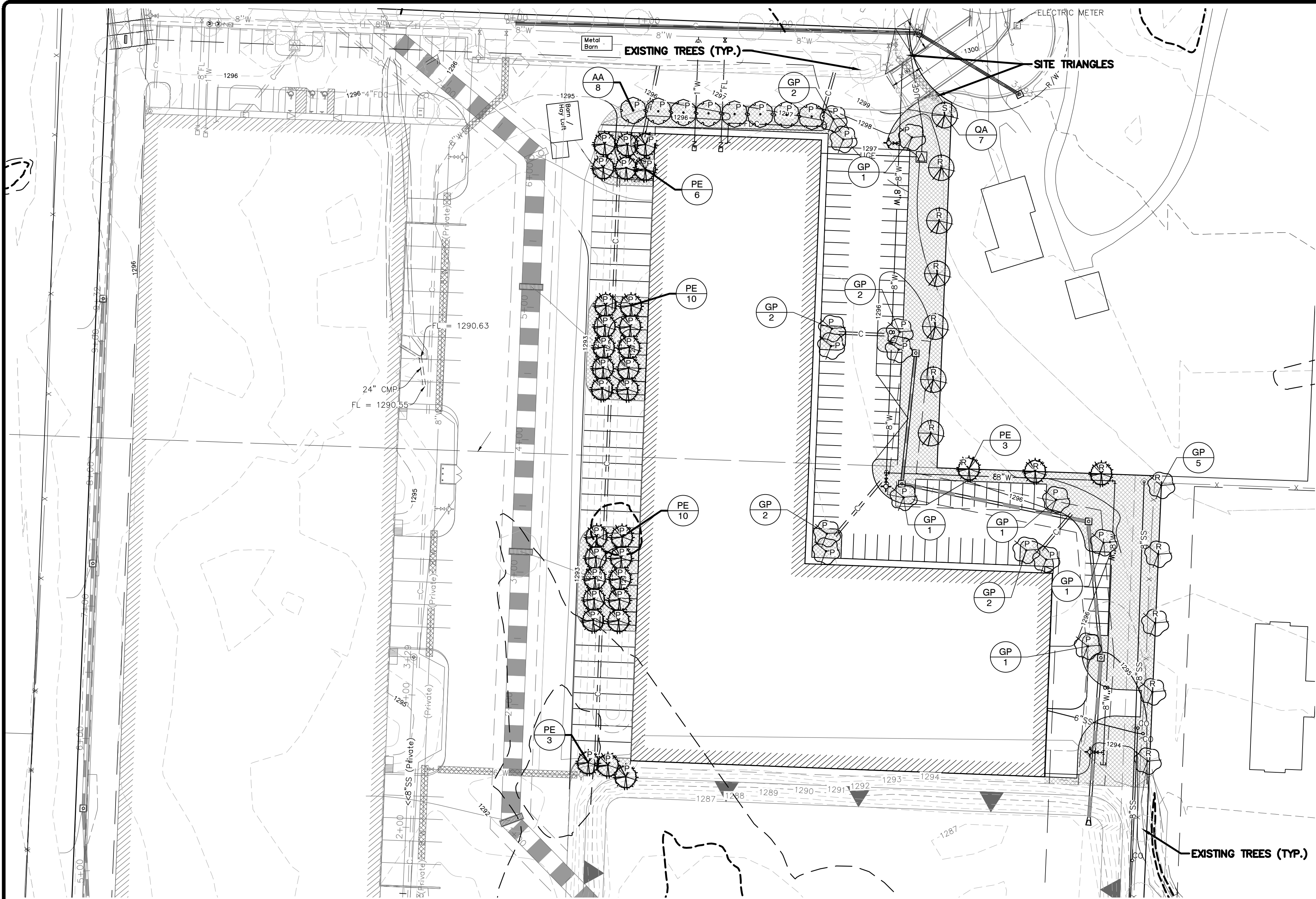
FOR
REVIEW

Drawn By:	Vertical Scale:
DCL	—
Approved By:	Horizontal Scale:
PRF	1" = 50'
Date:	Plotting Scale:
10.16.2017	1
Project No.:	Drawing Name:
CRO—87b	Plan Sheets

<i>Hogwild Warehouse Ph. 2</i> <i>2914 SE I Street</i>
<i>Bentonville, Benton County, Arkansas</i>

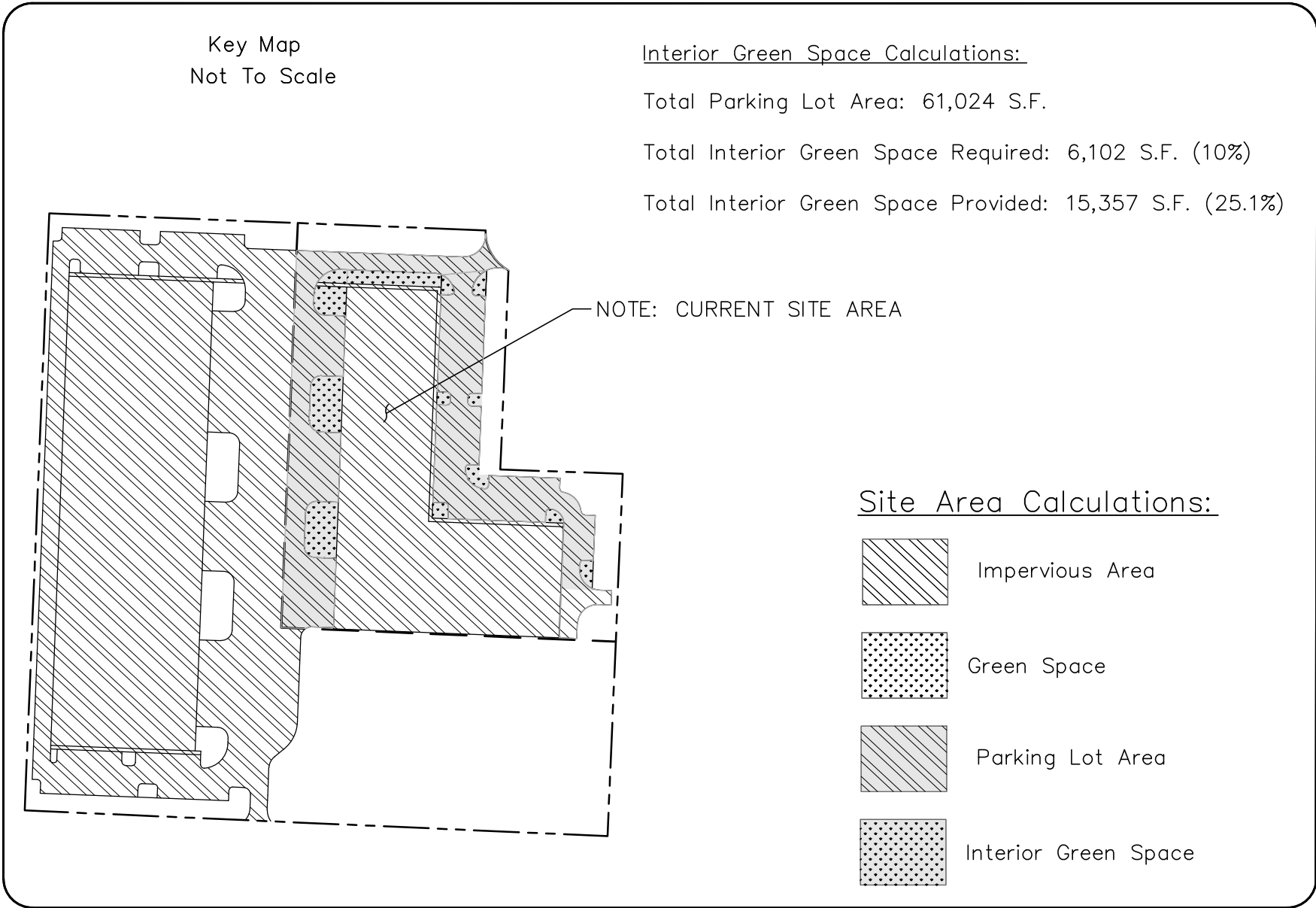
SITE DIMENSION PLAN LSD17-0105	
<i>Issued For Review - 10.16.2017</i>	

Sheet No.: 2 / 7



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	QTY
	AA	Acer freemanii 'Armstrong' / Freeman Maple	B & B	2.5"Cal		8
	GP	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2.5"Cal		21
	PE	Pinus echinata / Short Leaf Pine	B & B	2.5"Cal	6' min.	32
	QA	Quercus acutissima / Sawtooth Oak	B & B	2.5"Cal		7
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING QTY		
	BS	Cynodon dactylon Common / Bermuda Grass	hydromulch	36,294 sf		



Landscape Plan General Notes:

- ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH MOIST SOIL.
- CONTRACTORS SHALL HAVE UNDERGROUND UTILITIES LOCATED, LEGIBLY MARKED, AND SHALL REPAIR ANY AND ALL DAMAGE WHICH MAY OCCUR AS A RESULT OF LANDSCAPE INSTALLATION. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATED, AND SHOULD BE VERIFIED ON THE CIVIL UTILITY PLAN AND IN THE FIELD.
- UNDER NO CIRCUMSTANCES WILL LANDSCAPE WORK BE APPROVED FOR PAYMENT IF PLANT SIZE AND GENERAL HEALTH ARE NOT AS REQUIRED ON PLAN.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED ON PLANT LIST.
- ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS AS SPECIFIED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE OWNER BEFORE, DURING AND AFTER INSTALLATION.
- THE LANDSCAPE ARCHITECT MUST APPROVE ANY ALTERATIONS OR REVISIONS TO THE LANDSCAPE PLAN.
- THE CONTRACTOR SHALL PROTECT EXISTING FEATURES ON SITE.
- ALL DISTURBED LANDSCAPED AREAS NOT DESIGNATED TO BE SODDED SHALL BE SEEDED WITH A GRASS SEED MIX OF 75% PERENNIAL RYE AND 25% BERMUDA GRASS SEED AT A RATE OF 4# PER 1000 SF.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.
- THE LANDSCAPE CONTRACTOR SHALL FULLY MAINTAIN ALL PLANTING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.
- ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED.
- HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING ALL LANDSCAPE PARKING ISLANDS. FINISHED GRADE IN ISLANDS IS TO BE CROWNED APPROXIMATELY 12"-18" ABOVE THE TOP OF CURB. SOIL IN ISLANDS IS TO BE FREE OF UNSUITABLE MATERIAL AND DEBRIS I.E. GRAVEL OR ASPHALT.
- IF CONTRACTOR IS UNABLE TO DIG PLANT PITS TO A DEPTH THAT WILL PROVIDE THE AREA OF SOIL AROUND THE ROOT BALL DUE TO ROCK, CONTACT ARCHITECT, CIVIL ENGINEER, AND CITY HORTICULTURIST IMMEDIATELY.
- THE PROPOSED IRRIGATION METHOD FOR THIS SITE IS FROST PROOF WATER HYDRANTS.
- ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES.
- TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI
- A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- IN THE SIGHT TRIANGLE AT THE FRONT DRIVE THERE CANNOT BE ANYTHING BETWEEN 30" AND 60" IN HEIGHT WITHIN THE SHADED AREA
- LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED

Revision	By	Date
Revised per City Comments	CLP	11.01.17
Dated 10.25.17		

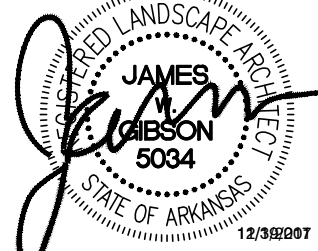
MORRISON



SHIPLEY

ENGINEERS ■ SURVEYORS

2407 SE Cottonwood Street ■ Bentonville, AR 72712 ■ 479.273.2208 ■ morrisonshipley.com



LANDTEK STUDIOS
2503 SWEETBRIAR DR.
FAYETTEVILLE, AR 72703
PH# 479.283.9721

Drawn By:	DCL
Approved By:	PRF
Date:	10.16.2017
Project No:	CRO-87b
Vertical Scale:	-
Horizontal Scale:	1" = 50'
Plotting Scale:	1
Drawing Name:	Plan Sheets

Hogwild Warehouse Ph. 2

2914 SE I Street

Bentonville, Benton County, Arkansas

LANDSCAPE PLAN

LSD17-0105

Issued For Review - 10.16.2017

Sheet No:

LP1

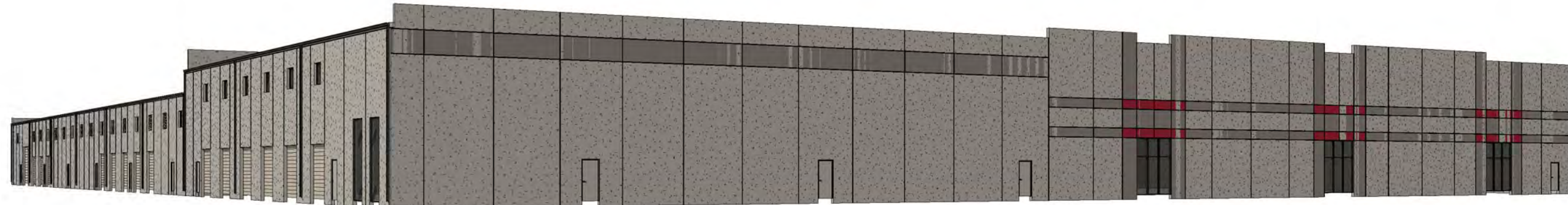
LP2

of

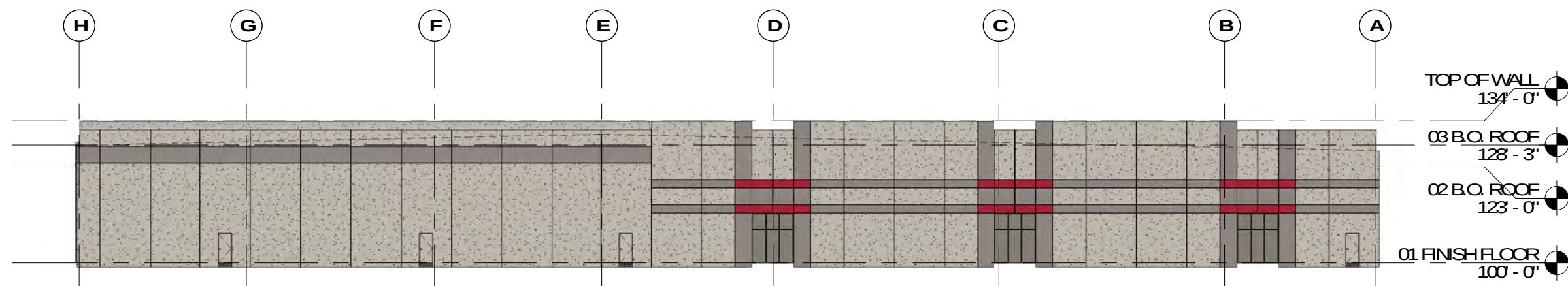
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NOTE: SHOW FOR REPRESENTATIONAL PURPOSES ONLY



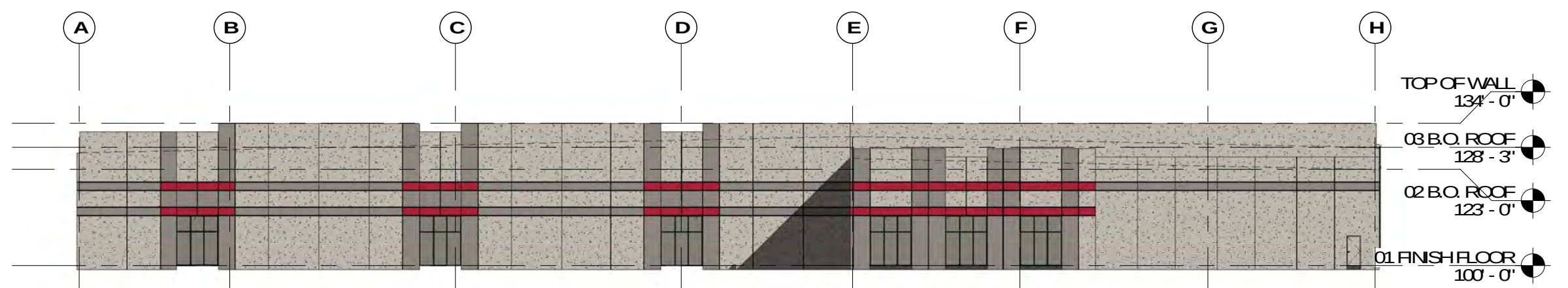
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NOTE: SHOW FOR REPRESENTATIONAL PURPOSES ONLY



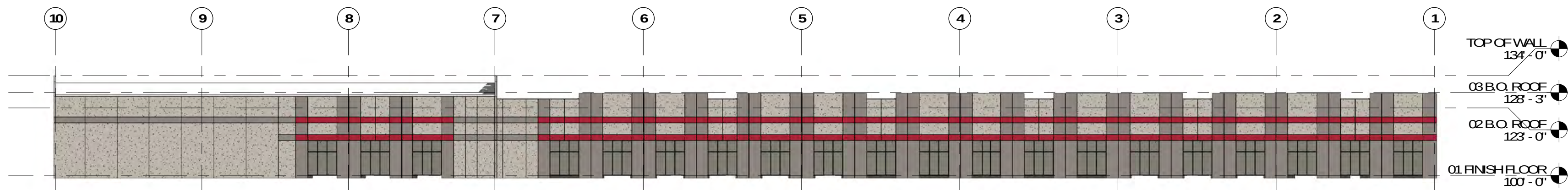
3 LSD - SOUTH ELEVATION
1" = 30'-0"



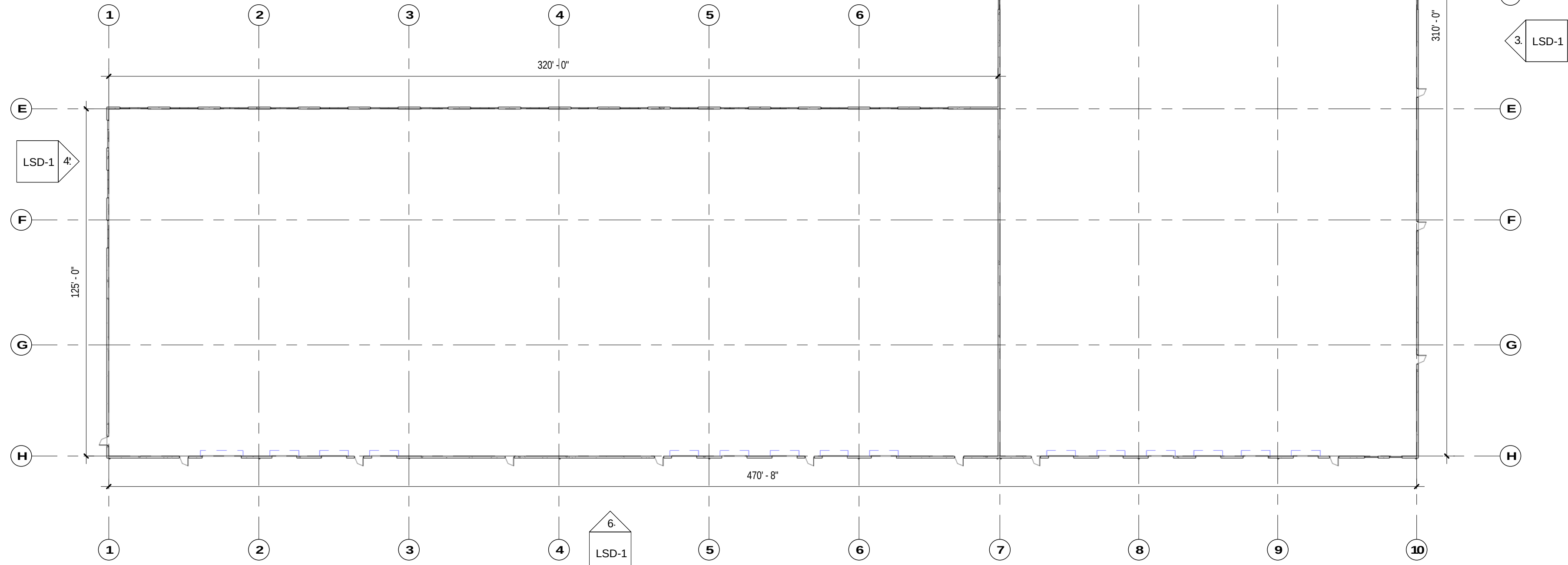
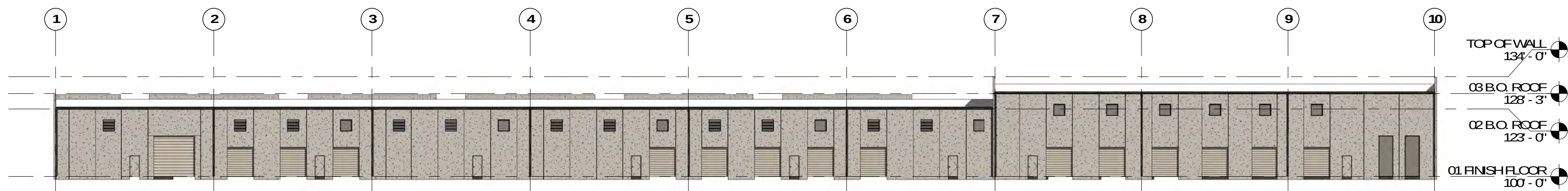
4 LSD - NORTH ELEVATION
1" = 30'-0"



5 LSD - EAST ELEVATION
1" = 30'-0"



6 LSD - WEST ELEVATION
1" = 30'-0"



7 LSD - FLOOR PLAN
1" = 30'-0"

EXTERIOR FINISH%S	
EAST ELEVATION	
95.8%	- PRECAST CONCRETE PANEL(S)
3.5%	- ALUMINUM STORE FRONT
0.9%	- HM DOOR(S)
NORTH ELEVATION	
61.7%	- PRECAST CONCRETE PANEL(S)
18.3%	- ALUMINUM STORE FRONT
WEST ELEVATION	
92.4%	- PRECAST CONCRETE PANEL(S)
7.4%	- ALUMINUM STORE FRONT
0.2%	- HM DOOR
SOUTH ELEVATION	
82.0%	- PRECAST CONCRETE PANEL(S)
2.8%	- ALUMINUM STORE FRONT
15.4%	- SERVICE DOORS, HM DOORS & VENTILATION LOWERS

EXTERIOR FINISH SPECS	
TILT UP PANEL:	
PRIMER / PAINT:	ZINSSER WATER TITE FLEXIBLE PRIMER & FINISH
	APPLY PER MNFRS REQUIREMENTS
MAIN:	PPG PAINT COLOR# 1007-6
SECONDARY:	PPG PAINT COLOR# 1007-4
ACCENT:	PPG PAINT COLOR# RAZORBACK RED
ALUMINUM STORE FRONT:	
DARK BRONZE (THERMALLY BROKEN)	
SERVICE DOORS AND HM DOORS / FRAMES:	
COLOR TO MATCH WALL COLOR	
AWNING:	
DARK BRONZE, MATCH STORE FRONT	
ROOF MATERIALS:	
ROOFING:	TPO (WHITE)
DOWNSPOUTS:	PREFINISHED METAL - DARK BRONZE
GUTTERS:	PREFINISHED METAL - DARK BRONZE
FLASHING:	
CAP FLASHING:	PREFINISHED METAL - DARK BRONZE
HEAD FLASHING:	PREFINISHED METAL - DARK BRONZE
SILL FLASHING:	PREFINISHED METAL - DARK BRONZE

LARGE SCALE DEVELOPMENT EXTENSION STAFF REPORT



J3 Apartments

SE 3rd St. / SE 'J' St. & E. Central Ave.

PC Date: 11/21/2017

Reviewer: Jon Stanley, Planner

Property Description

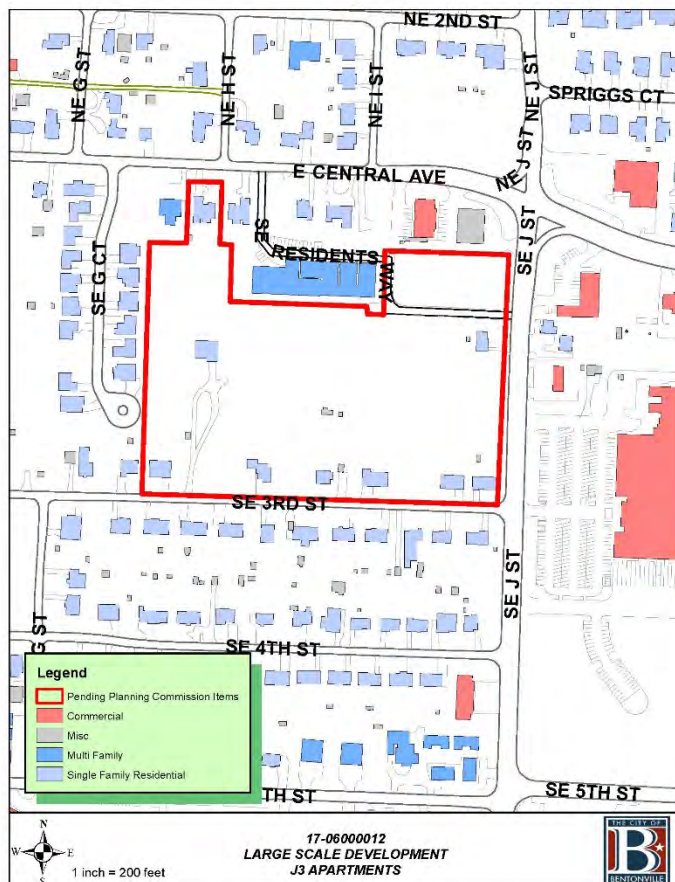
The property is vacant and located in a rapidly redeveloping mixed-use area east of the downtown square.

Project Details

The applicant is requesting the extension of a large scale development approval from May 2, 2017. The large scale development consists of eight multi-family residential buildings, totaling 252 residential units and a 4,335 sq. ft. club house facility, which will all be constructed as a single phase. Two-hundred fifty-six (256) parking spaces are being provided including the proposed on-street parking along SW 3rd Street. No proposed building will exceed 50' in height. Open space and greenspace requirements are being met and per the conditions of the approved PUD document a 15' wide green space buffer is being provided along the western lot line. Ingress/egress will be provided by two proposed curb cuts onto SE 3rd Street and one onto SE 'J' Street as well as the existing curb cut onto E. Central Avenue. A secondary fire department access is also being provided along SW 3rd Street. Storm water detention is being provided with the development. The exterior building elevations depict brick, fiber cement panel and vertical & horizontal wood.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Projected Traffic Impact

The proposed development will not adversely impact traffic in the area. The property is located within the downtown area where the existing street grid network will provide adequate options for ingress and egress. Multiple drives at various locations will help to reduce congestion in the area.

Utility Infrastructure

Per the City's GIS website, public water and sewer are available at this location.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

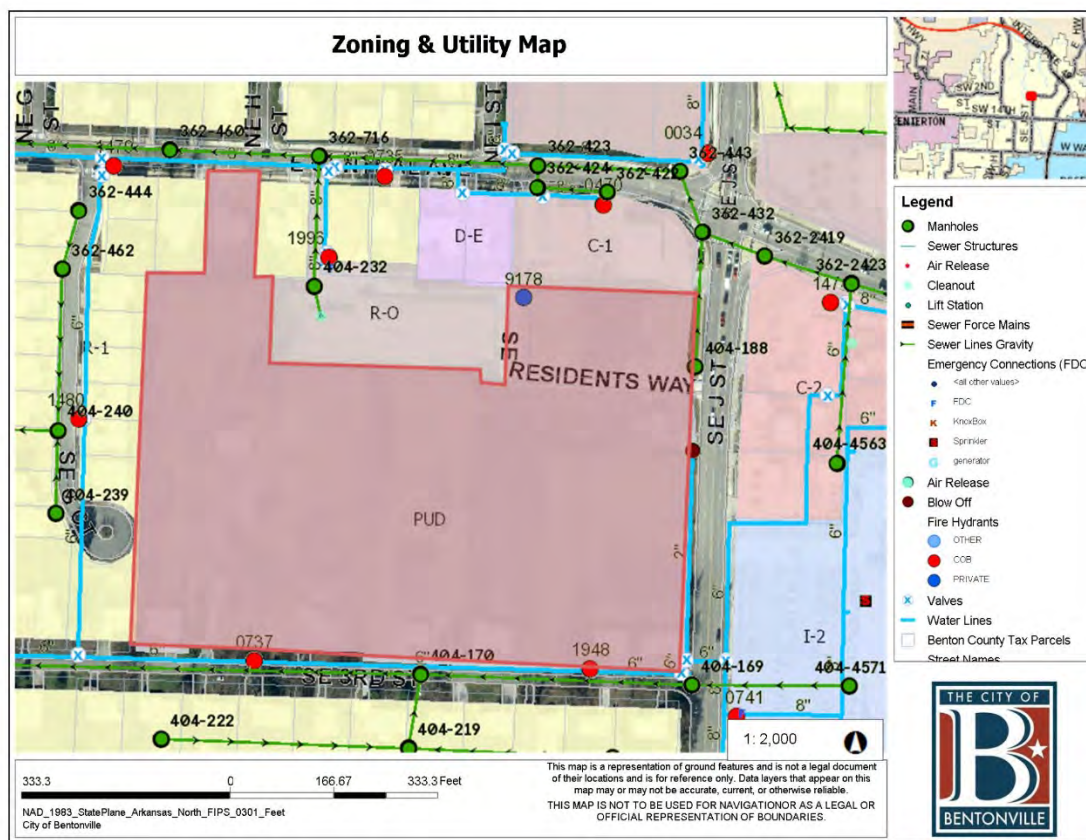
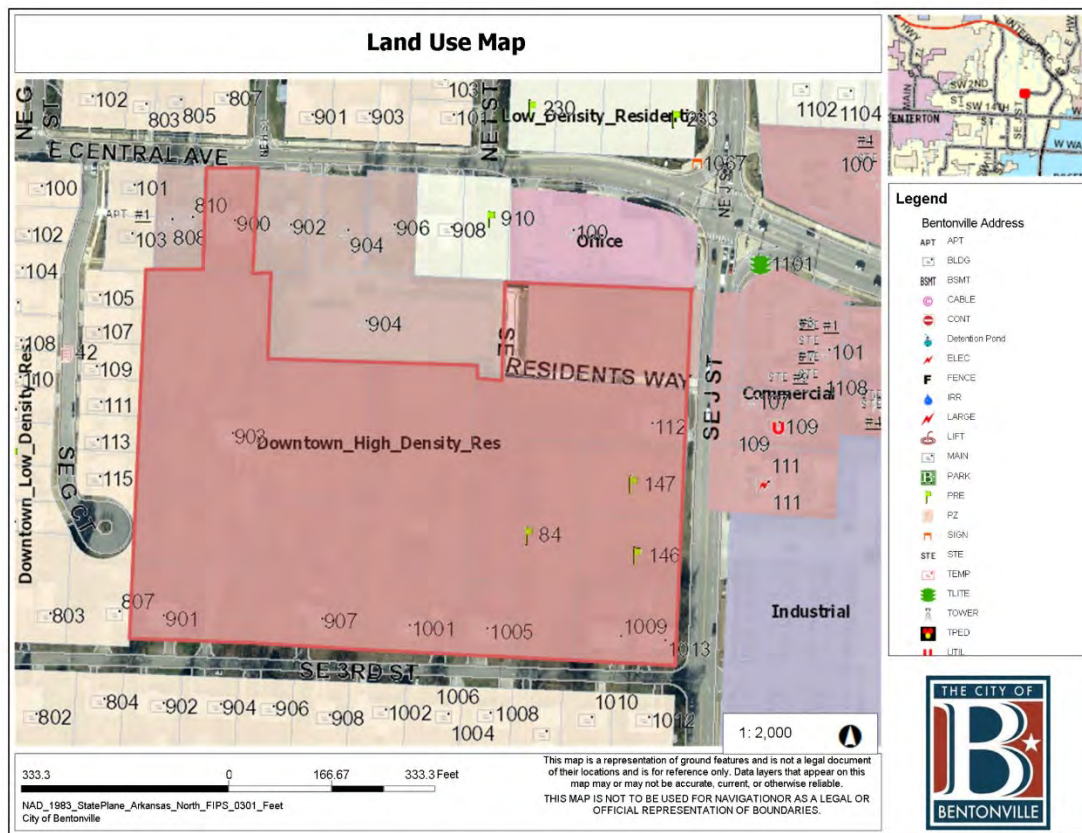
Waivers

No waivers requested.

Conclusion

This large scale development does meet the minimum requirements of the subdivision regulations.

LARGE SCALE DEVELOPMENT EXTENSION STAFF REPORT





MORRISON SHIPLEY

ENGINEERS • SURVEYORS

Mr. Jon Stanley
Planning Department
City of Bentonville
305 S.W. "A" Street
Bentonville, AR 72712

November 1, 2017

Re: LSD Approval Extension Request
J3 Apartments

Beau,

On behalf of Specialized Realty Group, MSE respectfully requests an extension of the Large Scale Development approval issued on May 2, 2017. The developer has been working through construction costs with contractors and will be ready to move forward with construction at the beginning of the new-year.

If you have questions or need additional information, you may reach me at (479) 273-2209.

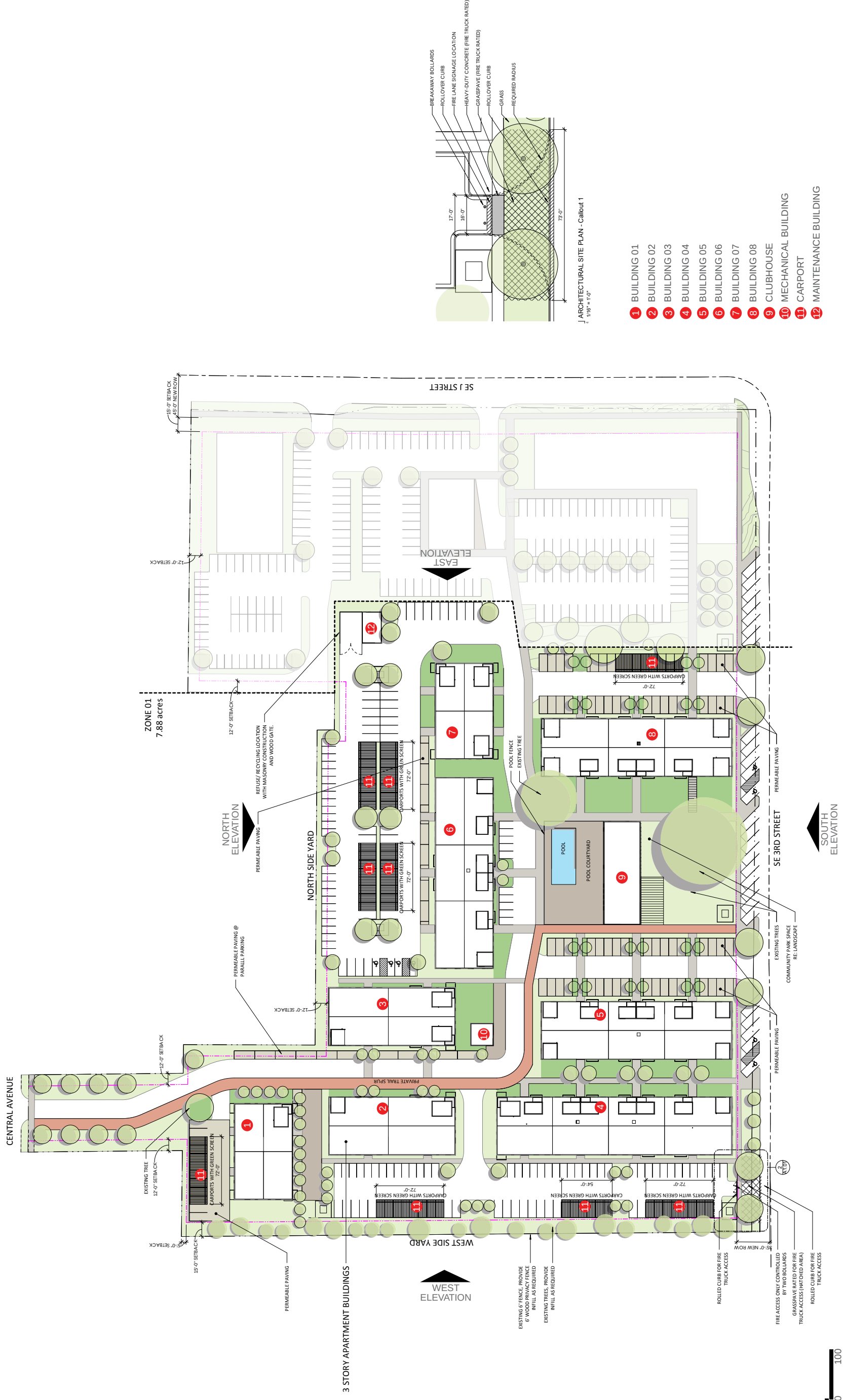
Sincerely,

Morrison-Shipley Engineers, Inc.

Patrick Foy, E.I.
Project Manager

2407 S.E. Cottonwood Street
Bentonville, AR 72712
479.273.2209 ■ Fax 479.273.2553
Morrisonshipley.com

SITE PLAN



LSD SITE ELEVATIONS

LSD SITE PERIMETER		PUD SITE PERIMETER	
83% MASONRY 17 % WOOD	TOTAL PERIMETER SQFT	60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	
	< BRICK - 29666 SQFT		
	— FIBER CEMENT - 7376 SQFT		
83% MASONRY 17 % WOOD	TOTAL PERIMETER PERCENTAGES		
	< BRICK - 67%		
	— FIBER CEMENT - 16%		
83% MASONRY 17 % WOOD	PUD ELEVATIONS (SOUTH + WEST ELEVATIONS)		
	< BRICK - 13900 SQFT		
	— FIBER CEMENT - 4670 SQFT		
83% MASONRY 17 % WOOD	PERCENTAGES		
	< BRICK - 59%		
	— FIBER CEMENT - 21%		
83% MASONRY 17 % WOOD	WOOD - 2843 SQFT		
	< BRICK - 62%		
	— FIBER CEMENT - 21%		
83% MASONRY 17 % WOOD	WOOD - 3648 SQFT		
	< BRICK - 62%		
	— FIBER CEMENT - 21%		
83% MASONRY 17 % WOOD	WOOD - 7425 SQFT		
	< BRICK - 67%		
	— FIBER CEMENT - 16%		
83% MASONRY 17 % WOOD	WOOD - 7425 SQFT		
	< BRICK - 67%		
	— FIBER CEMENT - 16%		

WEST ELEVATION		PERCENTAGES	
TOTAL SQFT		59% - BRICK	
< BRICK - 8296 SQFT		21% - FIBER CEMENT	
80% MASONRY		20% - WOOD	
20% WOOD			

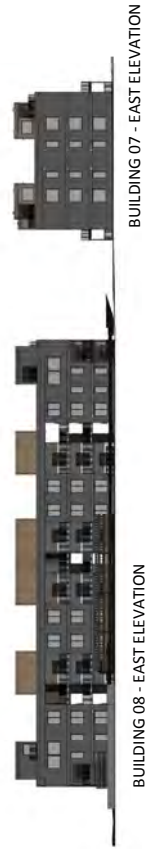
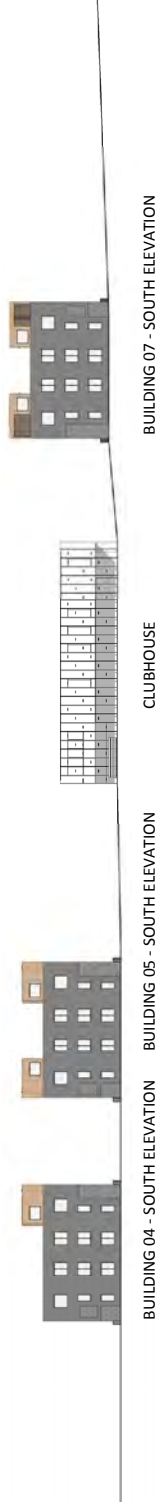
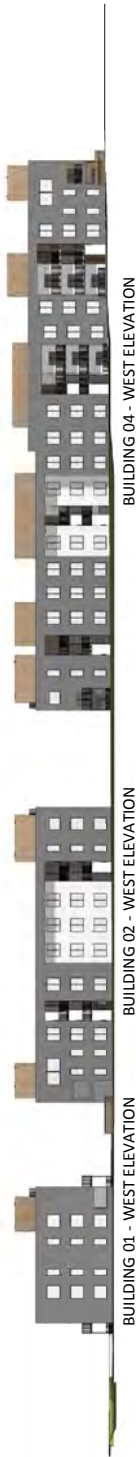
SOUTH ELEVATION		PERCENTAGES	
TOTAL SQFT		69% - BRICK	
< BRICK - 5604 SQFT		21% - FIBER CEMENT	
90% MASONRY		10% - WOOD	
10% WOOD			

EAST ELEVATION		PERCENTAGES	
TOTAL SQFT		67% - BRICK	
< BRICK - 5426 SQFT		12% - FIBER CEMENT	
79% MASONRY		21% - WOOD	
21% WOOD			

NORTH ELEVATION		PERCENTAGES	
TOTAL SQFT		85% - BRICK	
< BRICK - 10340 SQFT		01% - FIBER CEMENT	
86% MASONRY		14% - WOOD	
14% WOOD			

PUD SITE ELEVATIONS (APPROVED 2017.02.10)

PUD SITE PERIMETER		PUD SITE PERIMETER	
60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	TOTAL PERIMETER SQFT	60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	
	< BRICK - 29666 SQFT		
	— FIBER CEMENT - 7376 SQFT		
60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	TOTAL PERIMETER PERCENTAGES	60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	
	< BRICK - 67%		
	— FIBER CEMENT - 16%		
60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	PUD ELEVATIONS (SOUTH + WEST ELEVATIONS)	60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	
	< BRICK - 13900 SQFT		
	— FIBER CEMENT - 4670 SQFT		
60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	PERCENTAGES	60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	
	< BRICK - 59%		
	— FIBER CEMENT - 21%		
60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	WOOD - 2843 SQFT	60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	
	< BRICK - 62%		
	— FIBER CEMENT - 21%		
60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	WOOD - 3648 SQFT	60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	
	< BRICK - 62%		
	— FIBER CEMENT - 21%		
60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	WOOD - 7425 SQFT	60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	
	< BRICK - 67%		
	— FIBER CEMENT - 16%		
60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	WOOD - 7425 SQFT	60% BRICK 20% FIBER CEMENT PANEL 20 % WOOD OR METAL	
	< BRICK - 67%		
	— FIBER CEMENT - 16%		



ORDINANCE STAFF REPORT



Article 1600 Addressing Amendment

PC Date: 11/21/2017

Reviewer: Shelli Kerr, AICP, Planning Services Mngr

Type	Amendment
Code Impacted	Subdivision Code
Section(s)	Art. 1600 Addressing

<http://www.bentonvillear.com/departments/planning-department/codes/code-changes/>

Background

Currently, the regulations regarding addressing are provided in Article 1600 Addressing of the Subdivision Code. There are conflicting regulations in Chapter 11.44 House Numbering of the Bentonville Municipal Code.

Purpose

The proposed amendments are designed to better organize the regulations, provide specific guidance on addressing for a variety of conditions and situations, and remove conflicting regulations within the municipal code.

Proposed Changes

- Improved description of the article's purpose.
- Designates the authority and maintenance of addressing.
- Establishes the naming of alleys.
- Revision to the grid centroid.
- Detailed process and standards for street naming and numbering.
- Specific regulations for residential addressing and commercial addressing.

ORDINANCE NO. _____

**AN ORDINANCE AMENDING ARTICLE 1600 ADDRESSING,
CHAPTER 15 SUBDIVISION CODE OF THE BENTONVILLE
MUNICIPAL CODE.**

WHEREAS, a growing community combined with changing technology warrants a review and update of the city's addressing regulations.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BENTONVILLE, ARKANSAS:

Section 1. That Chapter 11.44 House Numbering of the City Code that codifies Ordinance Number 709 and Ordinance Number 98-56, conflicting with Article 1600 Addressing, Chapter 15 Subdivision Code, shall be and is hereby repealed.

Section 2. That Bentonville Municipal Code, Article 1600 Addressing, Chapter 15 Subdivision Code, shall be and is hereby deleted and replaced with the following Attachment A: Art. 1600 Addressing, an electronic copy and hard copy of which is on file with the City Clerk, and is hereby adopted by reference as though it were copied herein fully.

Section 3. This Ordinance shall be in full force and effect 30 days from the date of its passage and approval.

PASSED and APPROVED this ____ day of _____, 2017.

Approved:

Mayor Bob McCaslin

ATTEST:

City Clerk

ARTICLE 1600 ADDRESSING

SEC. 1600.01 Purpose.

This article establishes standard addressing rules and guidelines for assigning street names and address numbers to provide a common systematic means by which people, places, and events can be located within the community. This will simplify the maintenance, exchange, and interpretation of address information and provide for the protection of public health and safety of all persons living, working or visiting in the City of Bentonville. The rules and guidelines in this section are designed to facilitate the proper assignment of addresses to properties for possible addressing scenario that occurs in Bentonville. Structures must be assigned addresses in logical, easy to understand manner in order to help citizens and emergency personnel quickly locate people, places and events.
(Ord. No. 2012-58, §12, 07-24-2012)

Sec. 1600.02 Authority.

The GIS Coordinator, or his or her designee, shall be responsible for the general administration of street names and addressing. This consists of assigning new street names, maintaining records of all street names, assigning numbered addresses, resolving conflicts in address numbers, reassigning numbers or proposing changes that are necessary for the health, safety, and welfare of the public.

Sec. 1600.03 Address maintenance.

It shall be the duty of the GIS Department, under the general supervision of the GIS Coordinator, to prepare and maintain street address numbering maps and, when a new building is built, or for any reason a number is required, to issue such number. It shall be the duty of the GIS Department to review street number assignments, resolve conflicts in numbers, reassign numbers, or propose any changes which are necessary.

Sec. 1600.04 Alleys.

Naming of alleys and addressing off of alleys shall follow the same regulations for streets provided for in this article. Except, regardless of direction, all alleys shall have a suffix of "Alley."

Sec. 1600.05 Display of address.

Assigned address shall be displayed on the property at all times as required by the currently adopted Arkansas Fire Protection Code. Address shall be posted on the structure near the main entrance of the structure. If the address is not visible from the public street from which it is addressed, an additional posting of the address may be required by the Fire Marshal.

Sec. 1600.06 Street address map.

(a) *Official map.* The official Street Address Map is a part of this ordinance and shall contain the ordinance numbers and certifications which appear upon this document. The map shall identify all named street names and addresses.

ATTACHMENT A: Article 1600 Addressing

(b) *Updating.* The official Street Address Map shall be automatically updated by the GIS Department upon final plat approval of any plat, large scale development, or Planned Unit Development.

(Ord. No. 98-56, § 1, 06-22-1998; Ord. 2003-100, §1; Ord. No. 2012-58, §12, 07-24-2012)

SEC. 1600.07 Grid centroid.

(a) *Directional grid centroid.* The directional grid centroid is the intersection of Main Street and Central Street. The north and south centerline is a line extending east and west from the grid centroid to the city limits and the addressing boundary. The east and west centerline is a line extending north and south from the grid centroid to the city limits and the addressing boundary.

(b) *Address grid centroid.* The address grid centroid is the intersection of Main Street and Central Avenue for the purpose of numbering houses and buildings. Each street running north, south, east, and west shall have its beginning at the centroid with the address numbers increase proceeding north, south, east and west. The numbering to begin at this initial point with the number one hundred (100) and ending with the number one hundred ninety nine (199), at the next street, and increasing in like manner, to the corporate limits of the city as they now exist or may hereafter be extended.

(c) *Quadrants.* The City of Bentonville shall be broken into four quadrants, NE, NW, SW, and SE, based on the grid centroid shown below.

(Ord. No. 98-56, § 1, 06-22-1998; Ord. 2003-100, §1; Ord. No. 2012-58, §12, 07-24-2012)

Sec.1600.08 Street naming process.

(a) *Street names for new development.*

(1) *Preliminary plats.* When preliminary plats are submitted for review, all proposed public & private streets that require naming must be identified. Proposed street names shall be shown on the preliminary plat for review and approval by the GIS Department.

(2) *Final plats.* The street names shown on the final plat shall be consistent with those shown on the preliminary plat. The GIS will review for final acceptance.

(b) *Renaming existing streets.*

(1) *City action.* GIS, City Council, City Planning Commission, or the Mayor may initiate the renaming of any street or alley within the corporate limits of Bentonville.

(2) *Public request.*

a. *Application.* Any one or more interested parties may request to rename a street by submitting an application provided by the GIS Department to the GIS Coordinator.

b. *Signatures.* A complete and valid application must have the signatures of 100% of property owners abutting the street or alley to be renamed and 80% of those property owners must agree to the name change.

ATTACHMENT A: Article 1600 Addressing

- c. *Departmental review.* Upon receiving the completed application and required additional information, the GIS Coordinator shall transmit copies to the affected city departments for review and recommendations.
- d. *Traffic Safety & Signage Committee review.* The GIS Coordinator shall present the original application and the recommendations to the Traffic Safety & Signage Committee for review and approval.

Sec. 1600.09 Street naming standards.

(a) *Maximum length.* Full street names, including the suffix and directional (prefix) should be limited to a maximum of seventeen (17) characters in length.

(b) *Special characters prohibited.* Street names should avoid the use of words or syllables that might be confused with directional or street type designations (*i.e. Northglen Drive or Circle Drive*).

(c) *Duplicates prohibited.* Street names shall not be duplicated.

(1) *Different suffixes.* Two streets that have the same name but two different suffixes shall be considered to be a duplicate street name (*i.e. Oak Lane, Oak Avenue*).

(2) *Similar sounding names.* Street names that sound phonetically similar, despite differences in spelling, shall be considered a duplicate street name (*i.e. Beach Avenue & Beech Avenue; Main Street & Maine Street; Apple Road & Apple Hill Road*).

(d) *Numeric names.* Numeric street names should end with the appropriate numeric format for the particular number (*i.e. 45th, 32nd, 3rd*).

(e) *Proper names.* No street shall be named after a person's first or last name, unless specifically directed to do so by proclamation from the City Council in honor of an individual.

(f) *State and federal highways.* Streets that are also state and federal highways will be identified by their local street name followed by their state or federal designation on the Official Street Address Map (*i.e. E. Central / E. Highway 72*). (g) *Aligned streets.* All proposed streets that are in obvious alignment with other existing and named streets shall bear the assigned name of the existing street.

(h) *Cul-de-sacs.* A cul-de-sac must be named if it serves four or more homes or dwellings, regardless of street length. If a cul-de-sac is a continuation of a street, it shall have the same name with another suffix, such as "cove", "lane", "place" or "terrace" to indicate the dead-end.

(i) *Loop streets.* The street name suffixes on loop streets shall be "loop", "circle", "court" or other name indicating a closed street layout. Loop streets shall not have a suffix of "road" or "avenue." (j)

Prefix (directional) abbreviations. Prefixes shall be assigned to all street names and part of the address according to the table below (*i.e. 305 SW A Street*).

Directional abbreviation standards.

Direction	Prefix / Abbreviation
East	E
North	N
West	W

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South	S
Northeast	NE
Northwest	NW
Southwest	SW
Southeast	SE

(k) *Suffix*. Suffixes shall be assigned to any officially named street and part of the address, according to the table below. (i.e. 305 SW A Street).

Street Suffix Standards

Direction	Suffix
East - West	Avenue or Boulevard
North - South	Road or Street

(Ord. No. 98-56, § 1, 06-22-1998; Ord. 2003-100, §1; Ord. No. 2012-58, §12, 07-24-2012)

Sec. 1600.10 Addressing process.

Address block ranges will be assigned to streets shown on approved preliminary plats. Individual physical addresses must be assigned to lots and/or structures prior to approval of final plat. Suite numbers will be assigned at time of tenant infill.

(Ord. No. 98-56, § 1, 06-22-1998; Ord. 2003-100, §1; Ord. No. 2012-58, §12, 07-24-2012)

Sec. 1600.11 Addressing standards.

When a new street has been approved, it must be assigned an address range. Each individual property, habitable and/or substantial structure shall be assigned numbers in accordance with the standards established in this article. Addresses should not be assigned to structures that are simply accessory to another building or insubstantial in nature.

(a) *Numbers only*. Only numbers shall be used to address streets. Fractions, alphabets and/or decimals shall not be used for main addresses, apartments, or suites.

(b) *Odd and even numbers*. Even numbers shall be placed on the right hand side of the street and odd numbers on the left hand side of the street, using the address grid centroid as the point of beginning.

Labels.

- (1) *Main address*. Main addresses shall be property address identifiers that are used to divide a single numeric address into identifiable subsets for location purposes
- (2) *Suite (STE)*. Suite addresses shall be assigned to tenants within main address structures for commercial properties.
- (3) *Apartments (APTS)*. Apartment addresses shall be assigned to tenants within main address structures for residential properties.

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(4) *Temporary (TEMP)*. Temporary addresses are assigned to non-permanent structures, such as food trucks & work trailers.

(d) *Renumbering*. When the GIS Department determines that renumbering is necessary, renumbering shall be done in accordance to the numbering rules in this article and in anticipation of possible future changes. When an address change has been assigned, the GIS Department shall inform and direct the property owner(s) to use and display the new address. *Corner lots*. Structures on corner lots shall not be given dual addresses. The structure on a corner lot shall be addressed off of the street where the front entrance is located.

(Ord. No. 98-56, § 1, 06-22-1998; Ord. 2003-100, §1; Ord. No. 2012-58, §12, 07-24-2012)

Sec. 1600.12 Multifamily addressing.

When addressing any residential property other than a detached single family unit, one of the following scenarios shall be used.

(a) *Apartments*.

(1) *Building address*. Buildings that contain multiple residential units, such as apartments, condominiums, or mixed-use buildings with residential uses, shall be assigned a main address for each structure and a unit number for each apartment within the structure.

(2) *On private streets*. Apartment buildings not located on public streets will be assigned a private street designator. These apartment buildings shall be assigned individual addresses.

(3) *Unit Address*. Each dwelling unit or apartment within the building shall be assigned an apartment number in sequence, increasing from the centroid.

(4) *Multiple floors*. When units are on multiple floors, they are assigned apartment numbers expressed in 100's corresponding to the floor number (*i.e. first floor is 100-199, second floor is 200-299, etc.*).

(b) *Duplexes*. Duplexes shall be given a main address and unit numbers, with unit numbers increasing from the centroid. (*i.e. for units 1 & 2, unit 1 shall be closest to the centroid and unit 2 furthest from the centroid*).

(c) *Townhouse*. Each unit within a townhome development shall have a separate address number and not a unit number.

(d) *Official address*. The official address for each multifamily structure, except townhouses, shall be the main address followed by the unit/apartment number (*i.e. 329 E. Central Avenue, Apt. 11*).
(Ord. No. 98-56, § 1, 06-22-1998; Ord. 2003-100, §1; Ord. No. 2012-58, §12, 07-24-2012)

Sec.1600.13 Commercial addressing.

(a) *Single level businesses (malls/strip malls)*. Each individual building within a development shall be assigned a separate address with lease spaces assigned a suite number between 1 and 99, in accordance with the suite standards in this section.

(b) *Multi-level businesses (office buildings)*. Each individual building within a development shall be assigned a separate address with lease spaces assigned a suite number expressed in 100's corresponding

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to the floor number (*i.e. first floor is 100-199, second floor is 200-299, etc.*), in accordance with the suite standards in this section. *Address Example: 609 SW 8th Street, Ste. 335 (Third Floor, Room 335).*(c) *Suites.*

- (1) *Odd/even.* Buildings addressed with odd numbers shall initially be address with odd suite numbers and buildings addressed with even numbers shall initially be addressed with even suite numbers. Suite numbers increase according to the layout location from the centroid.
- (2) *Suite split.* In the event of a suite split, the newly created suite shall be assigned the next lowest available number, disregarding the odd/even numbering required at initial addressing (*i.e. for a split between suites 3 and 5 in the odd building addressed 201, the newly created suite would be numbered suite 4*).
- (3) *Suite spacing.* Spacing between addresses should be considered to accommodate a change in tenant and subdividing suites over time.

(Ord. No. 98-56, § 1, 06-22-1998; Ord. 2003-100, §1; Ord. No. 2012-58, §12, 07-24-2012)

Sec. 1600.14 Enforcement procedures.

The enforcement of address numbers ensures public safety and promotes efficient delivery services. For new structures and renovations it shall be the duty of the inspectors to verify the correct address at the time of a final inspection. Neither the certificate of occupancy nor a certificate of compliance shall be issued unless the address meets the terms of this article.

ORDINANCE STAFF REPORT



Sign Ordinance Amendments

PC Date: 11/21/2017

Reviewer: Shelli Kerr, AICP, Planning Services Mngr

Type	Amendment
Code Impacted	Zoning Code
Section(s)	Art. 801 Signs on Private Property

<http://www.bentonvillear.com/departments/planning-department/codes/code-changes/>

Background

The city of Bentonville amended sign regulations with Ordinance No. 2008-8 to encourage the installation of monument signs by allowing an additional 20% of maximum sign area above what was permitted for free standing signs. Some applicants chose the monument style but did not use the incentive. On June 14, 2011, with Ordinance No. 2011-55, the city began to require that all new freestanding signs be of a monument style.

The most recent sign ordinance amendment was August 23, 2016 with Ordinance No. 2016-117.

Issues

Since its adoption, several issues have come to staff's attention.

Issue	Solution
1. The ordinance is not clear whether simply replacing a sign face on an existing sign structure requires a sign permit.	Revise the applicability section to specifically address the need for a permit to change out sign faces on existing sign structures.
2. When the city began prohibiting pole signs in January 2008, the intent was that over time the pole signs would be replaced with conforming monument-style signs as the city redeveloped. However, because the regulations regarding nonconforming signs pertain only to the sign structure, entire properties are being redeveloped while leaving the pole sign in place. The pole signs are inconsistent with the goals of the General Plan.	Add requirements for compliance with sign ordinance when a property is redeveloped or primary structure doubles in size with an addition.
3. Commercial mascots, currently allowed with a temporary sign permit, are distracting to drivers and have potential to create traffic safety hazards. Further, because such mascots move to attract attention, this sign type is in conflict with other movement related signs that are prohibited, such as air-activated graphics, rotating or revolving signs, and fluctuation illumination.	Remove commercial mascots as an allowed temporary sign and add it to the list of prohibited signs.
4. Conflicting regulations and definitions regarding awnings, canopies, roof signs, and walls signs. a. Awnings and canopies are defined similarly causing a challenge in interpreting the regulations. b. Roof mounted signs do not address signs that are attached to a roof that is on a lower floor of the structure than the highest roof of the structure.	Amend definitions for awning and canopy to make the primary difference that awnings are attached to a primary structure and canopies are freestanding overhead structures. Amend the definition of roof-mounted sign to specify application to the highest roof of the structure.

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|---|---|
| c. The definition of “wall signs” had confusing language regarding a “canopy roof” and conflicting language that stated that signs attached to awnings or canopies are considered wall signs, however, such signs are separately defined and regulated. | Amend the definition of wall sign to eliminate references to a canopy roof and remove do not include signs attached to awning or canopy as part of the definition of a wall sign. (However, awning signs still go toward the total sign coverage of 15% of a wall.) Also indicated that a sign on a fence is not included in the definition of a wall sign. |
| d. Regulations regarding the placement of signs on awnings and canopies require that the sign not extend above the edges of the structure. This prohibits some sign types from being attached to an awning structure that would otherwise be considered a wall sign if it weren’t attached to the awning. | Require that the regulation regarding the sign not extending beyond of the edge of the structure only pertain to freestanding canopies. |
| e. The section regarding awning and canopy signs establishes clearance and setback requirements for the awning and canopy structure themselves. These should be located in the zoning regulations, not sign regulations. | Delete the regulations regarding clearance and setbacks for canopies and relocate to the zoning regulations. |

Relationship to the General Plan

Policy CD-18 states “The City should encourage the installation of monument signs over the other types of signs in in design standards and guidelines.” The proposed amendment regarding nonconforming signs is consistent with this policy. The rest of the proposed amendments directly relate to General Plan Policy CD-17 that states “The city shall regularly review its sign ordinances to remain current with changing sign technology and address sign trends.”

ORDINANCE NO. _____

AN ORDINANCE AMENDING THE BENTONVILLE MUNICIPAL CODE, CHAPTER 14 ZONING CODE, ARTICLE 801 SIGN ORDINANCE – PRIVATE PROPERTY CONCERNING NONCONFORMING SIGNS AND ROOF, CANOPY AND AWNING SIGNS.

WHEREAS, Bentonville periodically reviews the Zoning Code; and,

WHEREAS, the periodic reviews uncover errors, need for clarification or updates to meet current conditions;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BENTONVILLE, ARKANSAS:

Section 1. That within this ordinance, except section headings, all underlined text shall be added and strikethrough text shall be deleted.

Section 2. The Bentonville Municipal Code, Chapter 14, Zoning Code, Sec. 801.10 Sign Permits shall be and is hereby amended with the following:

Sign permit required. Signs subject to *Sec. 801.14 Signs Allowed with a Temporary Sign Permit* and *Sec. 801.15 Signs Allowed with a Permanent Sign Permit*, may be installed, mounted, placed on public display, modified, or replaced with a new sign face only pursuant to an approved permit, subject to *Sec. 801.14 Signs Allowed with a Temporary Sign Permit* and *Sec. 801.15 Signs Allowed with a Permanent Sign Permit*.

Section 3. The Bentonville Municipal Code, Chapter 14, Zoning Code, Sec. 801.12.H Nonconforming signs shall be and is hereby amended with the following:

Nonconforming signs. Signs which were lawful at the time of their construction or placement but are not in conformance with current regulations shall be permitted to be maintained as nonconforming signs until such time that the sign is damaged or in a state of disrepair beyond 50% of current repair or replacement cost; the sign is proposed for major alteration or replacement; or when the primary structure on the site on which the sign is located is being demolished, is damaged beyond 50% of current repair or replacement cost or receives an addition that is larger than the gross square footage of the primary structure. At that time, the sign shall be replaced with a sign compliant with this Article.

Section 4. That Bentonville Municipal Code, Chapter 14 Zoning Code, Article 801.14 Signs Allowed with a Temporary Sign Permit, A. Sign Types Allowed shall be and is hereby amended by deleting “commercial mascots.”

Section 5. That Bentonville Municipal Code, Chapter 14 Zoning Code, Article 801.15.A Height and Area Regulations shall be and is hereby amended with the following:

Sign Type	ZONING							Use	No. Allowed	Max. Height	Max. Area (per sign face)	
	A1, RE R1, R2, R3, R4, RC-2, RC-3 PRD	RO	C1	C2	C3	DC & DE	I1 & I2					PUD
Awning			●	●	●	●	●	●	All	1 / awning face	No Max. 1 ft. above highest roof peak	32 sq. ft. * must be included as part of the maximum area allowed for wall signs.
			●	●	●	●	●	●	All	1 / canopy face	No Max.	12 sq. ft. * must be included as part of the maximum area allowed for wall signs.

Section 6. That Bentonville Municipal Code, Chapter 14 Zoning Code, Article 801.15.B Awning and Canopy Signs shall be and is hereby amended with the following:

~~Awning and Canopy Signs.~~

1. Placement. Signs ~~on awnings and~~ on or attached to freestanding canopy structures shall be placed flat against the surface of the structure to which it is attached and shall not extend beyond the edges of structure to which it is attached.
2. Clearance. ~~The awning or canopy upon which the sign is placed shall maintain a clearance of eight (8) feet above a public right of way, sidewalk, or front yard.~~
3. Setback. ~~The awning or canopy upon which the sign is placed may not extend into a required front yard more than six (6) feet and no closer than two (2) feet, measured in horizontal distance, from the curb of any street.~~

Section 7. That Bentonville Municipal Code, Chapter 14 Zoning Code, Article 801.16 Prohibited Signs, A. Generally Prohibited shall be and is hereby amended by adding “commercial mascots.”

Section 8. That Bentonville Municipal Code, Chapter 14 Zoning Code, Article 801.18 Definitions shall be and is hereby amended with the following:

For the purpose of this Article, certain terms and words are to be used and interpreted as defined hereinafter. Where any words are not defined, the standard dictionary definition shall apply.

Awning means an overhead protective structure that is attached to and/or projects from a wall or roof structure of the building that is constructed to allow pedestrians and/or vehicles to pass under or as a decorative embellishment. This definition does not include freestanding canopies.

Awning sign means a sign ~~which is a part of a fabric or other non-structural~~ on or attached to an awning.

Canopy means a permanent freestanding overhead protective structure that is constructed to allow pedestrians and vehicles to pass under, which is supported by columns extending to the ground. This definition does not include an awning.

Canopy sign means a sign on or attached to ~~any~~ canopy.

Roof-mounted sign means a ~~sign that extends above the ridgeline of the roof of a building or a~~ sign attached to any portion of the highest roof or fascia of a building.

Wall sign means any sign, other than a projecting sign, or a temporary banner sign, which is permanently attached to or painted on any wall of any building and projects from the plane of the wall less than twelve (12) inches. This definition shall not include freestanding walls or fences. A sign attached to the lower slope of a mansard ~~or canopy~~ roof, ~~or a canopy~~, shall be considered a wall sign for purposes of this Article, notwithstanding the fact that certain portions of such a sign may project more than twelve (12) inches. A “wall” shall include any permanent architectural extension of a wall, including parapets, even if such extension projects beyond or above the enclosed portions of the building. ~~For signs higher than the roof, see “Roof-mounted sign”.~~

Section 9. That this Ordinance shall be in full force and effect 30 days from the date of its passage and approval.

PASSED and APPROVED this ____ day of _____, 2017.

Approved:

Mayor Bob McCaslin

ATTEST:

City Clerk