



**Planning Commission
Agenda
October 17, 2017**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**

- 1. Lots 16 & 17 Southside Subdivision** **Lot Split**
228 SE 7th Street (D-E)
- 2. Lots 1 & 2 Bailey Subdivision** **Lot Split**
801 & 803 North Walton Blvd. (C-2)
- 3. Lots 1, 2 & 3 Forrest Oaks Subdivision** **Lot Split**
1600 & 1602 NW 3rd Street (R-1 & R-E)
- 4. Lots 42 & 43 Oakwood Heights Addition** **Property Line Adjustment**
1906 Almand Drive (R-1)

IV. New Business

- 1. Kuhlman Properties, LLC** **General Plan Amendment ***
(Commercial to High Density Residential)
SW Regional Airport Blvd. & SW Blue Jay Ln.
- 2. Elzey** **General Plan Amendment ***
(Low Density Residential to Medium Density Residential)
SW Featherston Rd, Glenn Rd. & Been Rd.
- 3. Lots 1 & 2 Fellowship-McMillon Subdivision** **Lot Split**
1701 NE Tiger Boulevard (A-1)
- 4. Harbin Pointe Townhomes** **Large Scale Development**
SW Juniper Ave. & SW Buckeye Street
- 5. Pharm II Townhomes** **Large Scale Development**
SW 'B' Street
- 6. Haxton District East** **Large Scale Development Extension**
224 SE 2nd Street

- V. Other Business**
- VI. Planner's Report**
- VII. Adjournment**

Planning Commission
Minutes
October 3, 2017

Meeting called to order at 5:00 p.m. by Rod Sanders, Chairman

Present: Joe Haynie, Jim Grider, Elaine Kerr, Scott Eccleston, Richard Binns, Rod Sanders, and
Tregg Brown
Staff: Shelli Kerr and Jon Stanley

Motion by Mr. Brown, seconded by Mr. Grider to approve the minutes of September 19, 2017 as written
Approved 7-0

Consent Agenda

1. Willowbrook Farms Subdivision Phase 2
Southwest Shell Road

Final Plat

Approved 7-0

New Business

Item #1

Lots 29 & 30 Deming's 2nd Addition: Lot Split, Northeast 'A' Street & Northeast 7th Street

Motion by Mr. Haynie, seconded by Mr. Grider to move this item to Item #1

Approved 7-0

Jon Stanley reads the staff report.

Motion by Mr. Grider, seconded by Mr. Haynie to approve the Waiver Request for Right-of-Way
Dedication

Approved 7-0

Lot Split

Approved 7-0

Item #2

Bray: Rezoning, R-1, Single Family Residential to DN-2, Downtown Medium-Density Residential, 708
Bella Vista Road

Jon Stanley reads the staff report.

Opened public hearing

Mr. Vinski, of 804 Bella Vista Road, opposes the rezoning stating flooding concerns. Mr. Stanley states
that there are adequate utilities for additional development and the intent is to build a single-family
home. Mr. Vinski states he has contacted Janet Paith in Stormwater, and the issues were not resolved.

Closed public hearing

Approved 7-0

Item #3

Garrett: Rezoning, A-1, Agricultural to R-E, Residential Estate, 1600 Northwest 3rd Street

Jon Stanley reads the staff report.

Opened public hearing

No public comments

Closed public hearing

Approved 7-0

Item #4

Garrett Estate: Rezoning, A-1, Agricultural & R-1, Single Family Residential to R-1, Single Family Residential, 1602 Northwest 3rd Street

Jon Stanley reads the staff report.

Opened public hearing

Marilyn Huffman, of 13947 Spanker Road, asks what exactly A-1, R-1, and R-E mean. Mr. Stanley answers.

Closed public hearing

Approved 7-0

Item #5

Cindy Springs, LLC: Rezoning, Expired PUD, Planned Unit Development to R-3, Medium Density Residential, R-4, High Density Residential, & C-3, Central Commercial, Northeast John DeShields Boulevard & Northeast Legacy Parkway

Jon Stanley reads the staff report.

Mr. Sanders addresses the crowd of citizens.

Bill Watkins, representative for the owners and attorney in Rogers speaks. He states the applicant is the landowner, not the developer. He states that R-3 and R-4 zoning would be more sensible than R-O. He wants to be able to keep citizens from commuting from other cities into Bentonville. He states that the applicant has conformed to the General Plan and Future Land Use Plan. He discusses the height of the C-3 zone and the buffers of the R-3 and R-4.

Opened public hearing

Michelle Moore, of 24 Glenbrook, states that the venue change was confusing. The land use is a suggestion and this is not a good suggestion. Feels like people in favor were planted here. States many individuals are opposed. Doesn't like the roundabout.

Marcie Bayles, 1622 Northeast Greenbrier Road, states that the mixed use, R-3, & R-4 are consistent, but C-3 is inconsistent. Can support everything, but C-3.

Grant Toms, 5900 Stoneybrook in Rogers, speaks in favor.

Jeff Matkins, 1303 Northeast 10th Street, states traffic will be a concern. Also states that R-4 is not a supported zoning district, feels it would be a conditional/special use. Also concerned about the dwelling units per acre.

Cali Turner, 401 Southwest 'A' Street, speaks in favor stating this will provide a competitive housing market.

Craig Soos, 4 Vintage Point in Rogers, speaks in favor. He states he is a business owner/operator in Bentonville and that it's hard to find people who don't have to commute from far away. Also states that the developer is investing in property based on the Future Land Use Plan which is now being met.

Nicki Kunzelman, 704 Northeast Berry Lane, speaks on her concerns with the impact on the Legacy Village residents and the infrastructure.

Toby Coyle, 1 Glenbrook, speaks on his concerns about congestion and traffic.

Janet Hudgins, 803 Kings Drive, states that the land around the area is R-1 and low density; doesn't feel like this is a responsible use of land.

Brad Kingsley, 1205 Northeast 2nd Street, supports the project. He states that it will provide more walkable and bike-able neighborhoods.

Jordan Garner, 505 Northwest 'C' Street, speaks in favor. She states that bikers and renters will benefit and be able to take part in the community.

Dave Rogers, 704 Northeast Greenway, states his concerns about height, density, and traffic.

Ryan Erzik, 3908 Southwest Ridgeway Street, speaks in favor on the benefits of sales tax and housing opportunities.

Neil Grasse, 1204 Northeast 2nd Street, states his concerns with density and congestion. He also states there is no buffer to Legacy Village, the park, and surrounding neighborhoods from R-3 and R-4.

Kevin Gray, 211 Southwest 'D' Street, is against the project.

Roger Kunzelman, 701 Northeast Berry Place, states his concerns with density and traffic. Also states there is no public transportation to serve the needs.

Shane Miller, 1450 Partridge Run, speaks in favor; supports affordable housing.

Michelle Malloch, 403 Southwest 3rd Street, supports project and states that developments will drive improvements to the infrastructure.

Ramsay Ball speaks in favor.

Scott Glassern states he would want to see 7-12 dwelling units per acre.

Sue Elderson, Pea Ridge, states her concerns on density, infrastructure, traffic, and roundabouts.

Rich Grubbs, 1215 Northeast Waverly Place, does not support the project. He states it is the wrong location and would "destroy Circle of Life;" feels it is not compatible.

Aline Patrick, 312 Genesis Drive, states she is mostly in favor and likes the walkability and bike-ability, but worried about density and traffic.

Courtney Barrett, 216 Southwest 'E' Street, speaks in favor.

Theresa Glasgow, 102 Devon Green, is concerned about overcrowding of schools.

Jennifer Kirby, 1102 Northeast Buckingham Boulevard, disapproved and does not like the changing landscape.

Daniel Hintz, 412 Southwest 'D' Street, speaks in favor.

Deborah Layton, Interim President of Bentonville Chamber of Commerce, speaks in favor stating area businesses are unable to grow without affordable housing.

Michelle Maguire, 1 Cameron Trace, is opposed.

Doylene Fuquoi, 606 Greenwood Way, states that it is not the Walton's fault, but is concerned about traffic and safety; would like a roundabout to be built before. Mr. Stanley states that the traffic study done warrants traffic signal or roundabout.

Kelsey Miller, 205 Southwest 'F' Street, speaks in favor. She states that if people are unable to live/work near downtown, they will be adding to the traffic congestion. Supports the pedestrian and bike-friendly project.

John Cowgur, 607 Southwest 4th Street, speaks in favor.

John Douglas, 702 Greenwood Way, states this will make things difficult for Legacy Village.

Elizabeth Freckheim, 1003 Northeast Halifax, is opposed to the highest density and traffic. She states that it will not be walkable or bike-able.

Michael Bering, 1506 Ellis Lane, asks if the infrastructure can support the project.

Josh Kyles, 412 Northwest 3rd Street, speaks in favor stating the project fits the Land Use Plan.

There is a quick break.

Courtney Schaeffer, 35 Glenbrook, gives copy of note to the Commissioners. She states that a PUD would be more successful.

Benton Manning, 502 Jared Street, states that the land owner is asking for exceptions, there is no projection of growth in the traffic study, and it is the wrong location.

Mike Brady, 6200 South 29th Street in Rogers, speaks in favor stating project will give accessibility to downtown.

Aaron Long, 1010 Southwest 'A' Street, states it is the right area-close to downtown and Crystal Bridges.

Michael Moore, 24 Glenbrook, states that they need to consider maintaining the current harmony.

Dorothy Kemp, 602 Greenwood Way, states that this should be elderly housing.

Christy Boydsen, 5 Glenbrook, states that the infrastructure does not support the development.

Shawn Tucker, 1113 Northeast Thorngrove, speaks against the project saying C-3 does not fit in.

Renee Robertson, 1213 Northeast Buckingham Boulevard, asks how affordability is going to be guaranteed.

Sarah Viser, 802 Castle Lane, speaks against the project saying city shouldn't have to provide affordable housing in the area and people who have lived in that area have paid their dues.

Geri, 1207 Northeast Buckingham Boulevard, also asks how affordability is guaranteed; states her concern on density and it being the wrong location.

Closed public hearing

Mr. Watkins addresses the concerns made tonight. He states that they are fighting sprawl. This is the developer's cost, not the city. Traffic is not a factor in a Rezoning. He states it is private property and there are rights. He states the city has no duty to provide affordable housing.

Mr. Brown has questions for staff in regards to dwelling units per acre and height. Ms. Kerr answers.

Approved 7-0

Meeting adjourned

Ali Worley

LOT SPLIT STAFF REPORT



Lots 16 & 17 Southside Subdivision

228 SE 7th Street

PC Date: 10/17/2017

Reviewer: Jon Stanley, Planner

Project Number	LS17-0105
Applicant / Current Owner	Hurricane WA, LLC 390 West 5 th Street Fayetteville, AR 72756
Site Area	0.20+/- acres
Current Zoning	DE, Downtown Edge
Future Land Use Map Designation	Downtown Mixed Use Residential (DMUR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is located at 228 SE 7th Street and is currently occupied by a single-family home in an area designated as Downtown Mixed Use Residential on the Future Land Use Plan. This area of downtown is in the beginning stages of infill and redevelopment.

Project Details

The applicant has submitted a proposal for a lot split creating two new lots from one existing lot. The new lots will be known as Lot 16 (0.10 acres) & Lot 17 (0.10 acres) of Southside Subdivision. Per the requirements of the current Master Street Plan, the applicant is dedicating right-of-way along SE 7th Street. A private cross access easement will be dedicated by a separate document and will provide rear access to both of the new lots. Direct access to SE 7th Street shall not be permitted. Each new lot will have access to public utilities and a public street.

Projected Traffic Impact

The proposed lot split will not adversely impact traffic in the area. The property is located within the downtown area where the existing street grid network will provide adequate options for ingress and egress.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required.

Waivers

No waiver requested.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

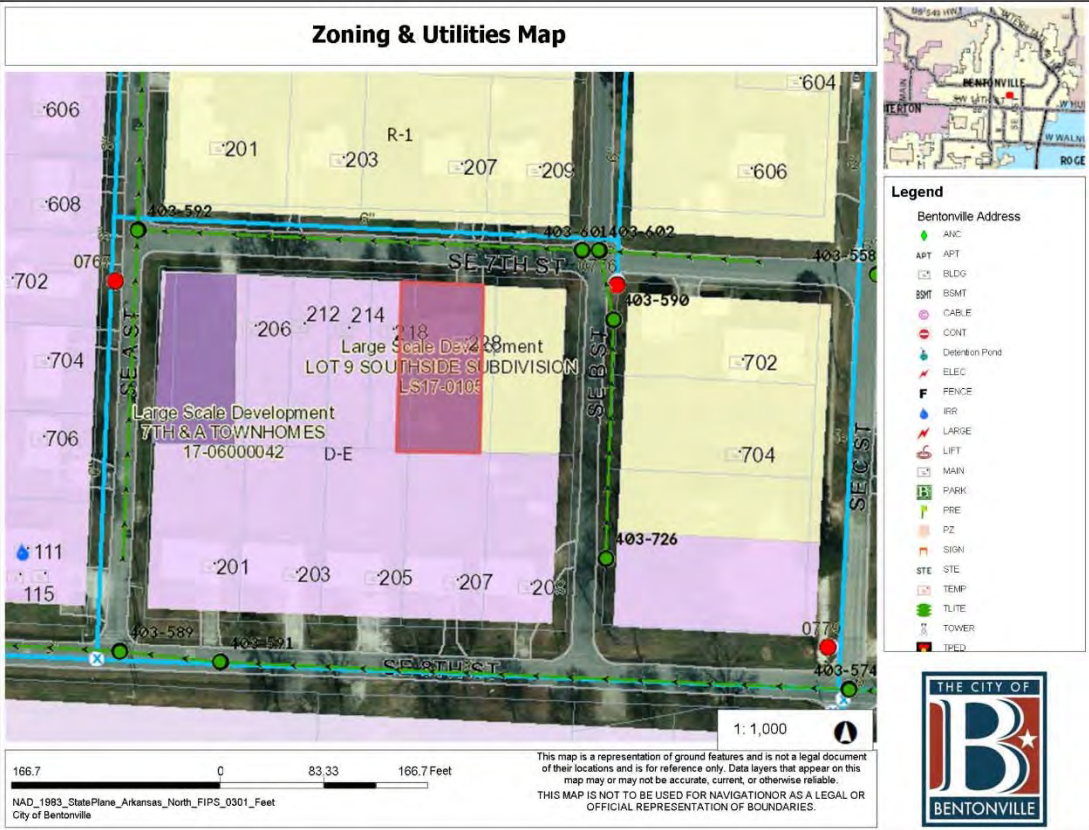
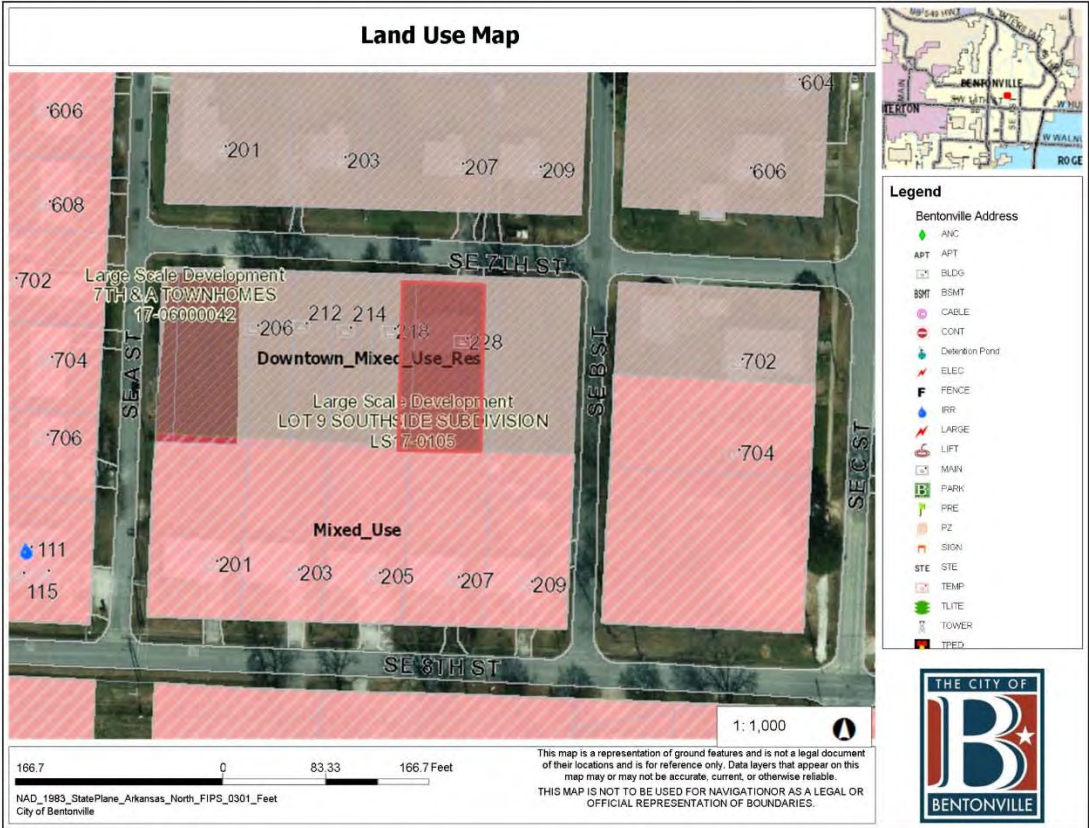
Standard Conditions of Approval

1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

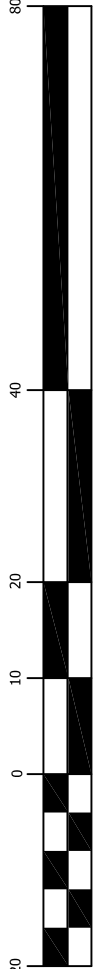
NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

Certificate of Ownership:

We the undersigned, owners of the real estate shown and described herein, do hereby certify that we have laid off, platted, and subdivided and do hereby lay off, plat, subdivide said real estate in accordance with this plat and do hereby dedicate to the use of the public streets, alleys, easements, etc., as shown on said plat.

Date of Execution: _____
Signed: _____
Name & Address
Source of Title: D.R. _____
Page _____

Certificate of Survey and Accuracy:

I, _____ hereby certify that this plat correctly represents a boundary survey made by me and boundary markers and lot corners shown hereon actually exist and their location, type and material are correctly shown and minimum requirements of the Arkansas Minimum Standards for Land Surveyors have been met. .

Date of Execution: _____
Registered Land Surveyor

Signed: _____
Registered Land Surveyor
No. _____
State of Arkansas

Certificate of Approval:

Pursuant to the Bentonville Subdivision Regulations and all other conditions and approval having been completed, this document is hereby accepted. This Certificate is hereby executed under the authority of the said rules and regulations.

Date of Execution: _____
Signed _____
Bentonville Planning
Commission Chairman
Signed _____
Mayor, City of Bentonville
Signed _____
City Clerk, City of Bentonville
Signed _____
Electric Department, City of Bentonville

NOTES:

1. PARCEL NUMBER: 01-04324-000 & 01-04325-000.
2. SITE ADDRESS: 202 SE 7th STREET BENTONVILLE, ARKANSAS.
3. CURRENT ZONING: DOWNTOWN EDGE (DE).
4. THIS PROPERTY IS NOT AFFECTED BY THE 100-YEAR FLOOD PLAIN AS PER FRM #05007C025K DATED JUNE 5, 2012.

BUILDING SETBACK TABLE	
DOWNTOWN EDGE ZONING	
FRONT NON-RESIDENTIAL	0' MAX
FRONT RESIDENTIAL	20' MAX
SIDE	6' MIN.
REAR ADJACENT TO NON-RESIDENTIAL ZONES	6' MIN.
REAR ADJACENT TO RESIDENTIAL ZONES AND BUILDING HEIGHT < 20'	8' MIN.
REAR ADJACENT TO RESIDENTIAL ZONES AND BUILDING HEIGHT > 20'	12' MIN.

- LEGEND
- × CALCULATED POINT
 - FOUND IRON PIN
 - ⊙ FOUND IRON PIPE
 - SET IRON PIN & CAP
 - ⊙ POWER POLE
 - ⊙ EXISTING WATER METER
 - ⊠ EXISTING GAS METER
 - ⊠ EXISTING FIRE HYDRANT
 - ⊙ EXISTING SEWER MANHOLE
 - EXISTING BOUNDARY LINE
 - EXISTING RIGHT OF WAY
 - BUILDING SETBACKS
 - CENTERLINE STREET
 - ORIGINAL PARCEL LINE
 - ORIGINAL LOT LINE
 - PROPOSED LOT LINE

LOT SPLIT SOUTHSIDE ADDITION OLD LOT 9 CREATING NEW LOTS 16 & 17

VICINITY MAP



BENTONVILLE, ARKANSAS

OWNERS:

PARCEL #01-04324-000
HURRICANE WA, LLC
3800 W. 57th STREET #1
FAYETTEVILLE, AR, 72701-5901

PARCEL #01-04325-000
CAROL HATCHER TRUSTEE
& REBECCA BURTON
1829 S.E STREET
ROGERS, AR, 72756-6011

BENTONVILLE STANDARD NOTES:

1. BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR & OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING & TRANSPORTATION DEPARTMENTS, & NOTIFY SAID DEPARTMENTS ON THE INTENT & TYPE OF WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
2. OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER & ELECTRIC SERVICE.
3. SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.
4. THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.
5. OWNER TO CONTRACT NEW SERVICE COORDINATOR (271-3139) TO DISCUSS ELECTRIC SERVICE PRIOR TO BEGINNING ANY CONSTRUCTION. FAILURE TO CONTACT BEUD PRIOR TO CONSTRUCTION WILL RESULT IN DELAYS TO OBTAIN ELECTRIC SERVICE.
6. **ALL STRUCTURES MUST MAINTAIN MINIMUM 20' CLEARANCE FROM ALL ELECTRIC LINES.**
7. BEUD'S STANDARD PRACTICE IS TO PLACE UNDERGROUND EQUIPMENT (TRANSFORMERS, SECONDARY PEDESTALS, JUNCTION BOXES, ETC) ON THE LOT LINE OF A DEVELOPMENT. ANY ADJUSTMENTS TO THE PROPERTY LINE THAT RESULT IN OUR EQUIPMENT NOT BEING ON THE LOT LINE WILL REQUIRE THE DEVELOPER TO PAY FOR THE COST OF BEUD TO RELOCATE THE EQUIPMENT TO THE LOT LINE.
8. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO COORDINATE WITH THE NEW SERVICE COORDINATOR @ 479 271-3139 TO DETERMINE IF EQUIPMENT IS IN CONFLICT.
9. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO PAY FOR ANY COSTS ASSOCIATED WITH MOVING OF EQUIPMENT. THIS INCLUDES BUT IS NOT LIMITED TO ANY COSTS ASSOCIATED WITH LOSS OF EQUIPMENT (WIRE AND ELBOWS) AND LABOR AND MATERIAL TO MOVE THE EQUIPMENT TO THE NEW LOT LINE.
10. WORK IN THE RIGHT-OF-WAY TO BE REVIEWED AND APPROVED BY THE STREET DEPARTMENT OR ENGINEERING BEFORE STARTING WORK.

LEGAL DESCRIPTION: (PARENT PARCEL #01-04326-000)

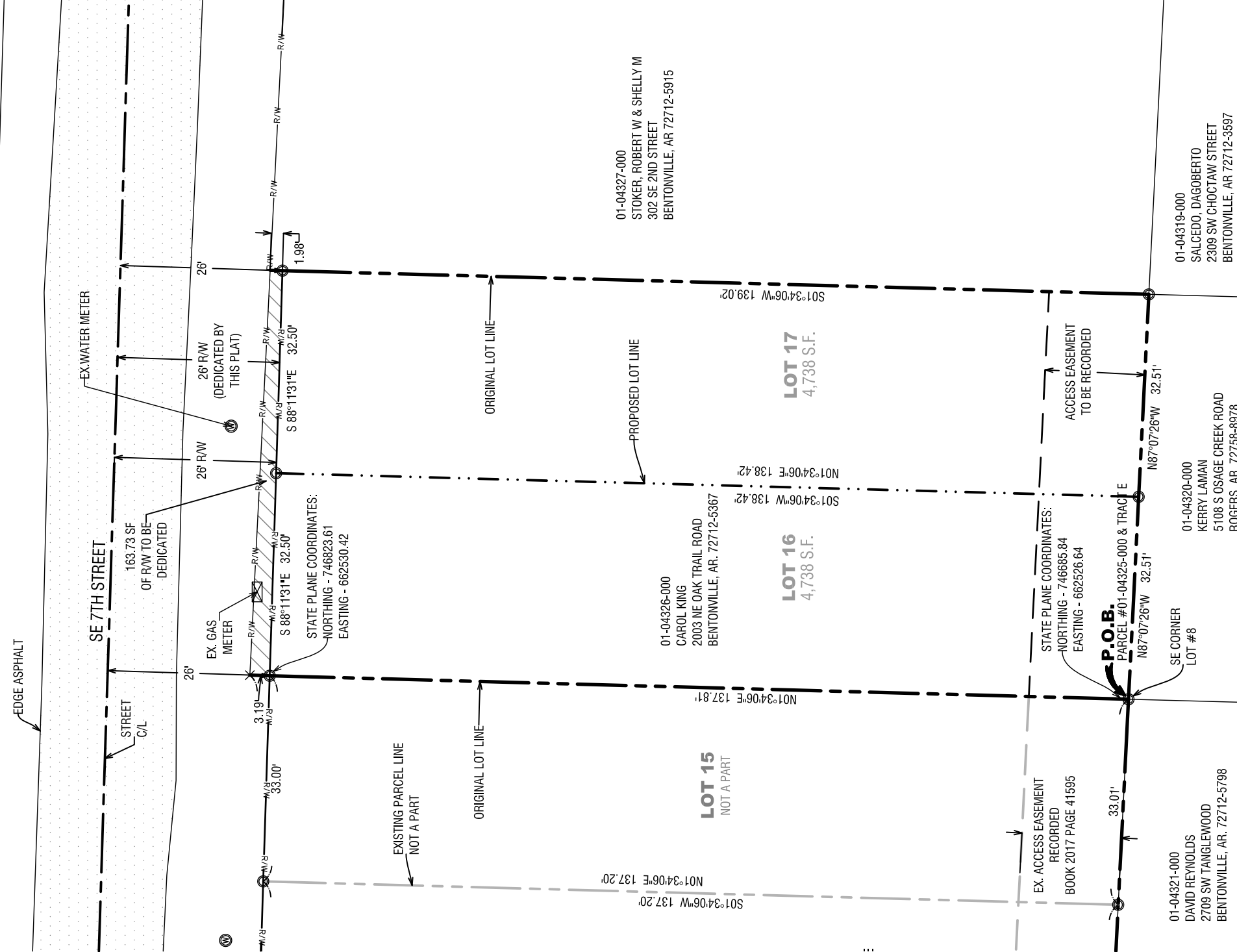
Lot 9 in Southside Addition to the City of Bentonville, Arkansas, as per plat of said Addition recorded in the office of the Circuit Clerk and Ex-Officio Recorder of Benton County, Arkansas, and being described as follows: Beginning at the SW Corner of said Lot 9, said point being the POINT OF BEGINNING, thence N01°34'06"E 141.00 feet, thence S87°07'26"E 65.02 feet, thence S01°34'06"W 141.00 feet, thence N87°07'26"W 65.02 feet to the POINT OF BEGINNING; Containing 9,165.00 square feet or 0.2104 acres more or less subject to easements and right of way of record.

LEGAL DESCRIPTION: (Lot 16)

A part of Lot 9 in Southside Addition to the City of Bentonville, Arkansas, as per plat of said Addition recorded in the office of the Circuit Clerk and Ex-Officio Recorder of Benton County, Arkansas, and being described as follows: Beginning at the SW Corner of said Lot 9, said point being the POINT OF BEGINNING, thence N01°34'06"E 137.81 feet, thence S88°11'31"E 32.50 feet, thence S01°34'06"W 138.42 feet, thence N87°07'26"W 32.51 feet to the POINT OF BEGINNING; Containing 4,488.73 square feet or 0.1030 acres more or less subject to easements and right of way of record.

LEGAL DESCRIPTION: (Lot 17)

A part of Lot 9 in Southside Addition to the City of Bentonville, Arkansas, as per plat of said Addition recorded in the office of the Circuit Clerk and Ex-Officio Recorder of Benton County, Arkansas, and being described as follows: Commencing at the SW Corner of said Lot 9, thence S87°07'26"E 32.51 feet to the POINT OF BEGINNING, thence N01°34'06"E 138.42 feet, thence S88°11'31"E 32.50 feet, thence S01°34'06"W 139.02 feet, thence N87°07'26"W 32.51 feet to the POINT OF BEGINNING; Containing 4,508.42 square feet or 0.1035 acres more or less subject to easements and right of way of record.



PROJECT TITLE: LOT SPLIT SOUTHSIDE ADDITION OLD LOT 9

LOCATION: BENTONVILLE, ARKANSAS

SHEET TITLE: 208 SE 7TH LOT SPLIT

DRAWN BY: ELN

SHEET SCALE: 1"=20'

DATE: SEPTEMBER 11TH, 2017

PROJECT FILE: ZLSD/2016037/LOT SPLIT

124 W Sunbridge Drive, Suite 5
Fayetteville, AR 72703
Office: 479.442.9127
Fax: 479.582.4807
www.jorgensenassociates.com



Civil Engineering + Surveying

BENTONVILLE #LSP 17-0105

LOT SPLIT STAFF REPORT



Lots 1 & 2 Bailey Subdivision

801 & 803 North Walton Blvd.

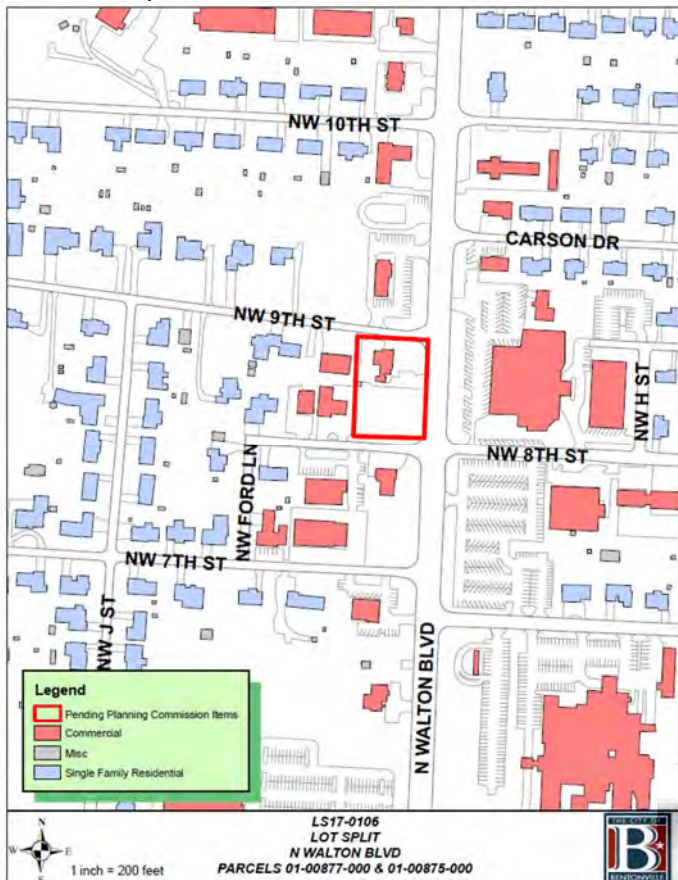
PC Date: 10/17/2017

Reviewer: Jon Stanley, Planner

Project Number	LS17-0106
Applicant / Current Owner	Taildrager, LLC 1209 NW 9 th Street Bentonville, AR 7212
Site Area	0.76+/- acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is located at 801 & 803 North Walton Boulevard and situated on the southwest corner of the intersection of North Walton Blvd and NW 9th Street. The northern portion of the property is occupied by a commercial business while the southern portion is undeveloped.

Project Details

The applicant has submitted a proposal for a lot split creating two new lots from two existing parcels. The new lots will be known as Lot 1 (0.36 acres) & Lot 2 (0.40 acres) of Bailey Subdivision. Per the requirements of the current Master Street Plan, the applicant is dedicating right-of-way along NW 9th Street. Cross access easements will be dedicated along the western property lines of each new lot to allow access to NW 8th and NW 9th Streets. Public utility easements are also being dedicated to serve the two new lots. Each of the new lots will have access to public utilities and a public street.

Projected Traffic Impact

The proposed lot split will not adversely impact traffic in the area. The property has access to an adjacent Arterial Street that will provide adequate options for ingress/egress to both of the proposed lots.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required.

Waivers

No waivers requested.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

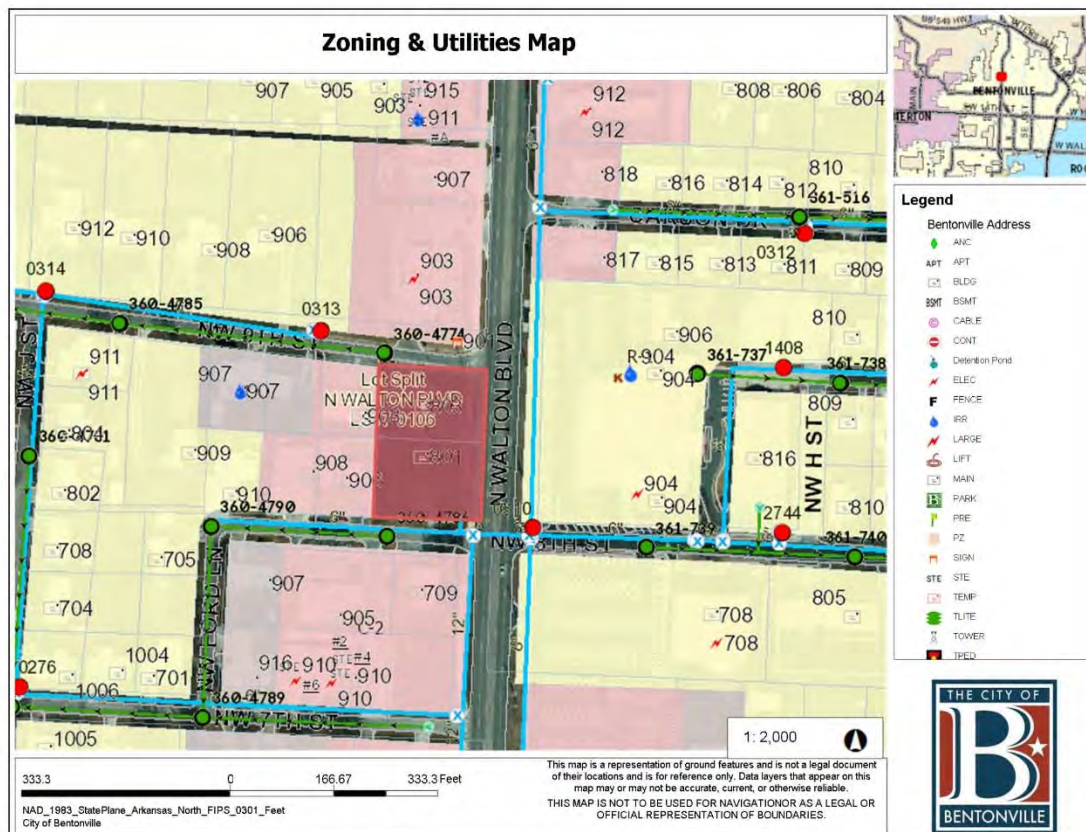
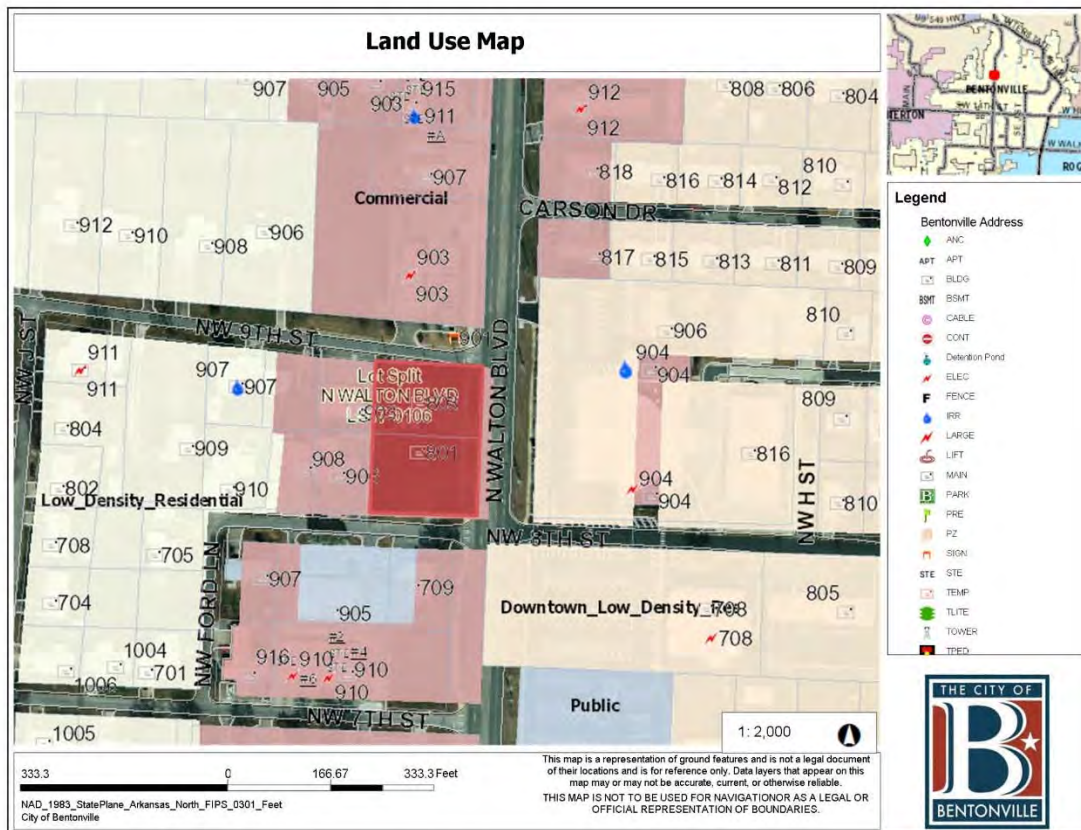
Standard Conditions of Approval

1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT



LOT SPLIT STAFF REPORT



Lots 1, 2 & 3 Forrest Oaks Subdivision

1600 & 1602 NW 3rd Street

PC Date: 10/17/2017

Reviewer: Jon Stanley, Planner

Project Number	LS17-0110
Applicant / Current Owner	Edward Eugene Garrett 1602 NW 3 rd Street Bentonville, AR 7212
Site Area	6.93+/- acres
Current Zoning	R-1, Single Family Residential & R-E, Residential Estate
Future Land Use Map Designation	Residential Estates (RE)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of two single-family homes located at 1600 & 1602 NW 3rd Street. A rezoning to R-E, Residential Estate & R-1, Single Family Residential was approved by the Planning Commission on October 3, 2017. Adjacent zonings include A-1, Agriculture to the north and R-1, Single Family Residential to the south, east, and west.

Project Details

The applicant has submitted a proposal for a lot split creating three new lots from two existing parcels. The new lots will be known as Lot 1 (3.47+/- acres), Lot 2 (2.51+/- acres) & Lot 3 (0.95+/- acres) of Forrest Oaks Subdivision. Per the requirements of the current Master Street Plan, the applicant is dedicating right-of-way along NW 3rd Street. Public utility easements are also being dedicated to serve the three new lots. Each of the new lots will have access to public utilities and a public street.

Projected Traffic Impact

The proposed lot split will not adversely impact traffic in the area.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required.

Waivers

No waivers requested.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

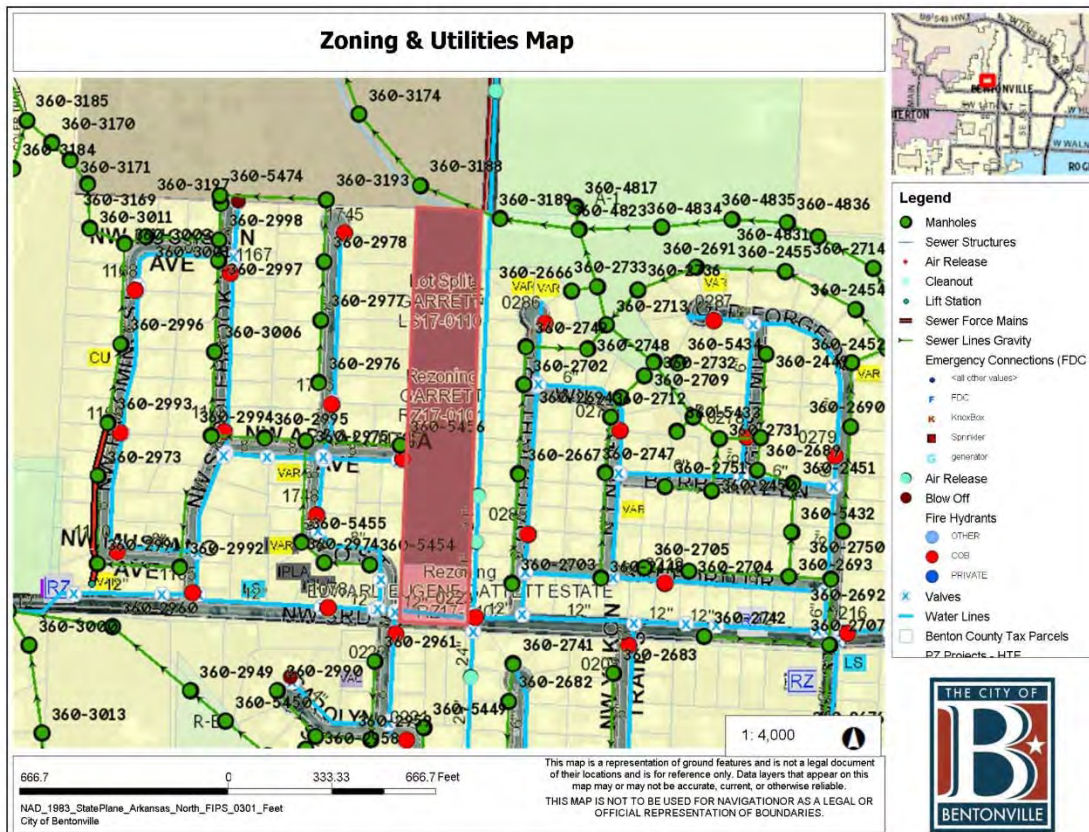
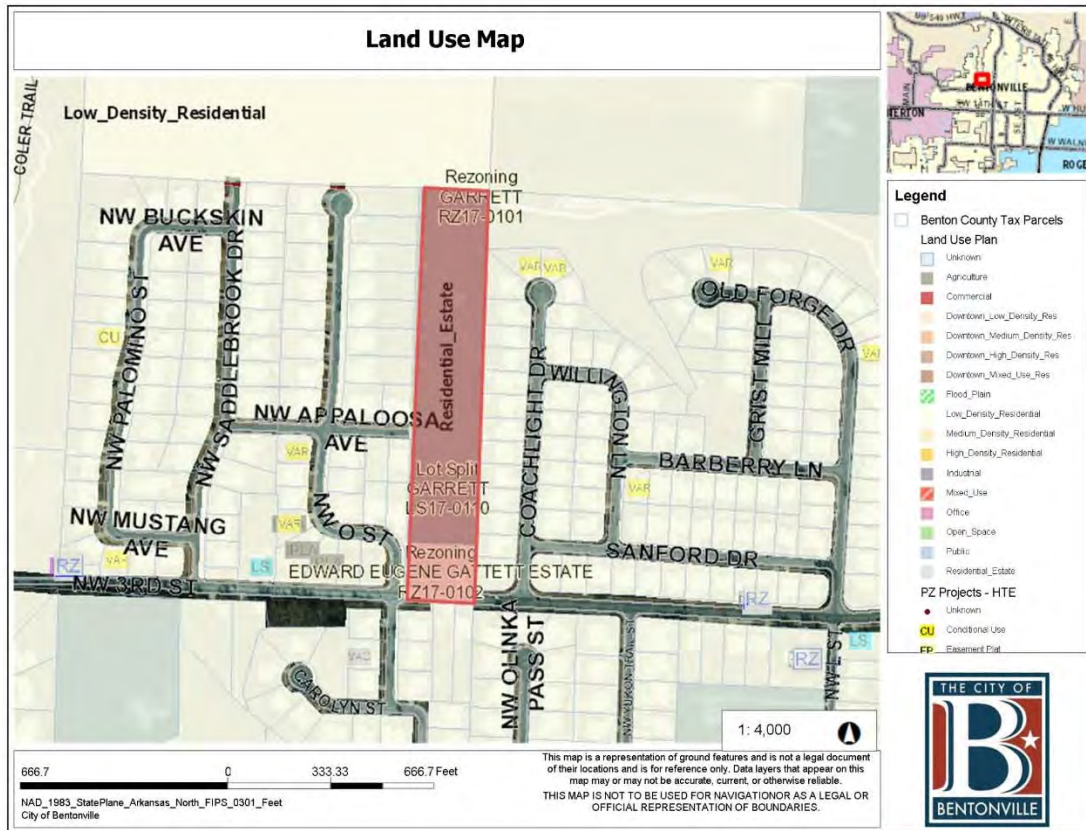
Standard Conditions of Approval

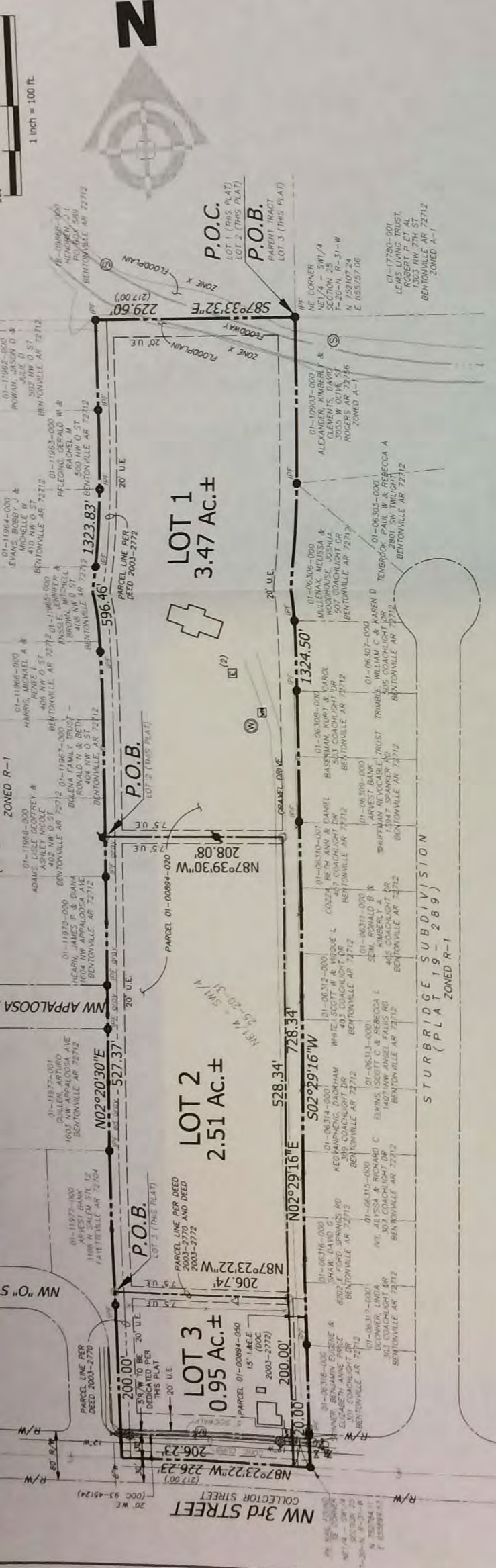
1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT





AREA INDEX	
PARENT TRACT	6.93 Acres±
P.N. 01-00894-020 & P.N. 01-00894-050	
LOT 1 (THIS PLAT)	3.47 Acres±
LOT 2 (THIS PLAT)	2.51 Acres±
LOT 3 (THIS PLAT)	0.95 Acres±

SITE SPECIFIC NOTES:

- BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND/OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
- OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.
- SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.
- THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.

GENERAL NOTES:

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR PRESENT.

THIS SURVEY MEETS CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS IN THE STATE OF ARKANSAS.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY.

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS ON SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

THIS PROPERTY IS CURRENTLY ZONED A-1 (AGRICULTURAL)

SETBACKS ARE AS FOLLOWS:

FRONT: 30 FEET

SIDE: 30 FEET

REAR: 30 FEET

FLOOD CERTIFICATION:

A PART OF THIS PROPERTY IS LOCATED WITHIN A PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS DETERMINED BY SCALING THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS AND INCORPORATED AREAS.

MAP NUMBER: 0509700960

REVISED DATE: SEPTEMBER 28, 2007

P.N. 01-00894-020 & P.N. 01-00894-050

PARENT TRACT DESCRIPTION

A PART OF THE NE1/4 OF THE SW1/4 OF SECTION 25, TOWNSHIP 20 NORTH, RANGE 31 WEST, BENTON COUNTY, ARKANSAS. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN FOUND AT THE NE CORNER OF SAID NE1/4 OF THE SW1/4; THENCE ALONG THE EAST LINE OF SAID NE1/4 OF THE SW1/4 502.2916"W 1324.50 FEET TO A PK NAIL FOUND AT THE SE CORNER OF SAID NE1/4 OF THE SW1/4; THENCE ALONG THE SOUTH LINE OF SAID NE1/4 OF THE SW1/4 N87°39'30"W 226.23 FEET; THENCE N02°20'30"E 1323.83 FEET TO AN IRON PIN FOUND ON THE NORTH LINE OF SAID NE1/4 OF THE SW1/4; THENCE ALONG THE NORTH LINE OF SAID NE1/4 OF THE SW1/4 S87°33'32"E 229.60 FEET TO THE POINT OF BEGINNING, CONTAINING 6.93 ACRES, MORE OR LESS, SUBJECT TO THE RIGHT-OF-WAY OF NW 3RD STREET AND SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

We the undersigned, owners of the real estate shown and described herein, do hereby certify that we have laid off, platted, and subdivided and do hereby lay off, plat, subdivide said real estate in accordance with this plat and do hereby dedicate to the use of the public the streets, alleys, drives, easements, etc. as shown on said plat.

Date of Execution: _____

Signed: _____ Name & Address _____

Date of Execution: _____

Signed: _____ Name & Address _____

Date of Execution: _____

Signed: _____ Name & Address _____

Source of Title: D.R. _____

Page _____

Pursuant to the City of Bentonville Subdivision Regulations and all other conditions and approvals having been completed, this document is hereby accepted. This Certificate is hereby executed under the authority of the said rules and regulations.

Date of Execution: _____

Signed: _____ Community Development Director

SURVEY DESCRIPTION LOT 1 (THIS PLAT):

A PART OF THE NE1/4 OF SECTION 25, TOWNSHIP 20 NORTH, RANGE 31 WEST, BENTON COUNTY, ARKANSAS. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN FOUND AT THE NE CORNER OF SAID NE1/4 OF THE SW1/4; THENCE ALONG THE EAST LINE OF SAID NE1/4 OF THE SW1/4 S02°29'16"W 1324.50 FEET TO A PK NAIL FOUND AT THE SE CORNER OF SAID NE1/4 OF THE SW1/4; THENCE ALONG THE SOUTH LINE OF SAID NE1/4 OF THE SW1/4 N87°39'30"W 208.08 FEET; THENCE N02°23'16"E 728.34 FEET; THENCE N87°39'30"W 208.08 FEET; THENCE N02°20'30"E 596.46 FEET TO AN IRON PIN FOUND ON THE NORTH LINE OF SAID NE1/4 OF THE SW1/4; THENCE ALONG SAID NORTH LINE S87°33'32"E 229.60 FEET TO THE POINT OF BEGINNING, CONTAINING 3.47 ACRES, MORE OR LESS, SUBJECT TO THE RIGHT-OF-WAY OF NW 3RD STREET AND SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

SURVEY DESCRIPTION LOT 2 (THIS PLAT):

A PART OF THE NE1/4 OF THE SW1/4 OF SECTION 25, TOWNSHIP 20 NORTH, RANGE 31 WEST, BENTON COUNTY, ARKANSAS. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN IRON PIN FOUND AT THE NE CORNER OF SAID NE1/4 OF THE SW1/4; THENCE ALONG THE NORTH LINE OF SAID NE1/4 OF THE SW1/4 N87°33'32"W 229.60 FEET TO AN IRON PIN FOUND; THENCE S02°20'30"W 596.46 FEET TO THE POINT OF BEGINNING; THENCE S87°39'30"E 208.08 FEET; THENCE S02°29'16"W 528.34 FEET; THENCE N87°33'32"W 206.74 FEET; THENCE N02°20'30"E 527.37 FEET TO THE POINT OF BEGINNING, CONTAINING 2.51 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

SURVEY DESCRIPTION LOT 3 (THIS PLAT):

A PART OF THE NE1/4 OF THE SW1/4 OF SECTION 25, TOWNSHIP 20 NORTH, RANGE 31 WEST, BENTON COUNTY, ARKANSAS. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN IRON PIN FOUND AT THE NE CORNER OF SAID NE1/4 OF THE SW1/4; THENCE ALONG THE NORTH LINE OF SAID NE1/4 OF THE SW1/4 N87°33'32"W 229.60 FEET TO AN IRON PIN FOUND; THENCE S02°20'30"W 1,123.83 FEET TO THE POINT OF BEGINNING; THENCE S87°23'22"E 206.74 FEET; THENCE S02°29'16"W 200.00 FEET; THENCE N87°23'22"W 206.23 FEET; THENCE N02°20'30"E 200.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.95 ACRES, MORE OR LESS, SUBJECT TO THE RIGHT-OF-WAY OF NW 3RD STREET AND SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

OWNERS:

P.N. 01-00894-020

JEFFREY E GARRETT & TYLER KELSEY GARRETT

1600 NW 3RD ST

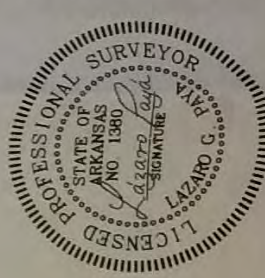
BENTONVILLE, AR 72712

P.N. 01-00894-050

EDWARD EUGENE GARRETT ESTATE

1602 NW 3RD ST

BENTONVILLE, AR 72712



I, LAZARO G. PAYA, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME, BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST, THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION: 09/29/2017

SIGNED: Lazaro Paya

LICENSED PROFESSIONAL SURVEYOR NO. 1380

STATE OF ARKANSAS



VICINITY MAP

NOT TO SCALE

CITY OF BENTONVILLE ATLAS PAGE

NUMBER 360

LEGEND:

- IRON PIN FOUND
- 1/2" IRON PIN SET PS 1380
- BOUNDARY LINE
- LOT LINE
- RIGHT OF WAY LINE
- EASEMENT LINE
- BARBED WIRE FENCE
- WOODEN FENCE
- WATER LINE
- UTILITY POLE
- GUY WIRE
- ANTENNA
- SANITARY SEWER MANHOLE
- ELECTRIC RISER/METER
- GAS SERVICE
- TELEPHONE RISER
- DRAINAGE MANHOLE/STRUCTURE
- SIGN
- WELL
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- INGRESS AND EGRESS EASEMENT
- UTILITY EASEMENT
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT
- ACCESS ROAD EASEMENT
- OVERHEAD ELECTRIC EASEMENT



CITY OF BENTONVILLE PROJECT NUMBER: LS17-0110

REVISION	DATE	DESCRIPTION
R1	09/29/2017	CITY OF BENTONVILLE COMMENTS

PAYA INC.

www.paya-inc.com

(479) 696-9138

mol@paya-inc.com

259 BRIGHT ROAD - CAVE SPRINGS, AR - 72718

LOT SPLIT FORREST OAKS SUBDIVISION

CREATING LOTS 1, 2 & 3

A PART OF THE NE1/4 OF THE SW1/4

SECTION 25, TOWNSHIP 20 NORTH, RANGE 31 WEST

CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS

PREPARED FOR:	EDWARD EUGENE GARRETT
DRAWN BY:	LP
SCALE:	1" = 100'
DATE:	August 28, 2017
REVISED:	CEB
DWG:	17047_PLA
SHEET:	1 OF: 1

PROPERTY LINE ADJUSTMENT STAFF REPORT



Lots 42 & 43 Oakwood Heights Addition

1906 Almand Drive

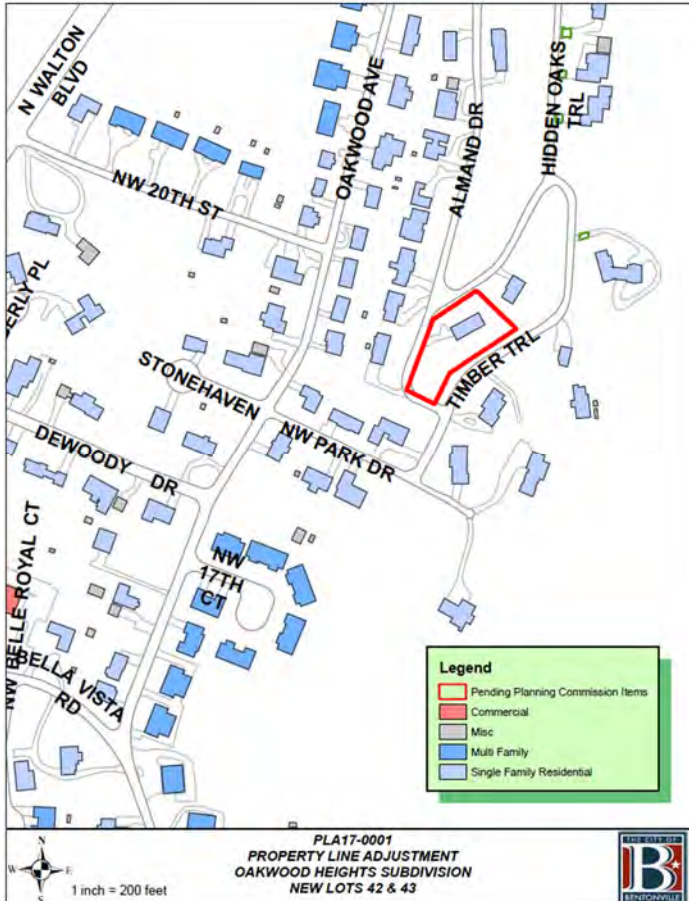
PC Date: 10/17/2017

Reviewer: Jon Stanley, Planner

Project Number	PLA17-0001
Applicant / Current Owner	Drew Mayer 1906 Almand Drive Bentonville, AR 72712
Site Area	0.71+/- acres
Current Zoning	R-1, Single Family Residential
Future Land Use Map Designation	Low Density Residential (LDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

The property is an occupied single-family residence located at 1906 Almand Drive in an established single-family residential neighborhood.

Project Details

The applicant has submitted a property line adjustment that will adjust the common lot of existing lots 31 & 32 of Oakwood Heights Addition. The new lots will be known as Lot 42 (0.48+/- acres) and Lot 43 (0.23+/- acres) of Oakwood Heights Addition. Per the Master Street Plan requirements, additional right-of-way will be dedicated along Almand Drive and Timber Trail Road. A public utility easement will also be dedicated with the plat to serve each of the new lots. Both of the new lots will have access to public utilities and a public street.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required for this property line adjustment.

Waivers

No waivers requested.

Standard Conditions of Approval

1. Provide digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

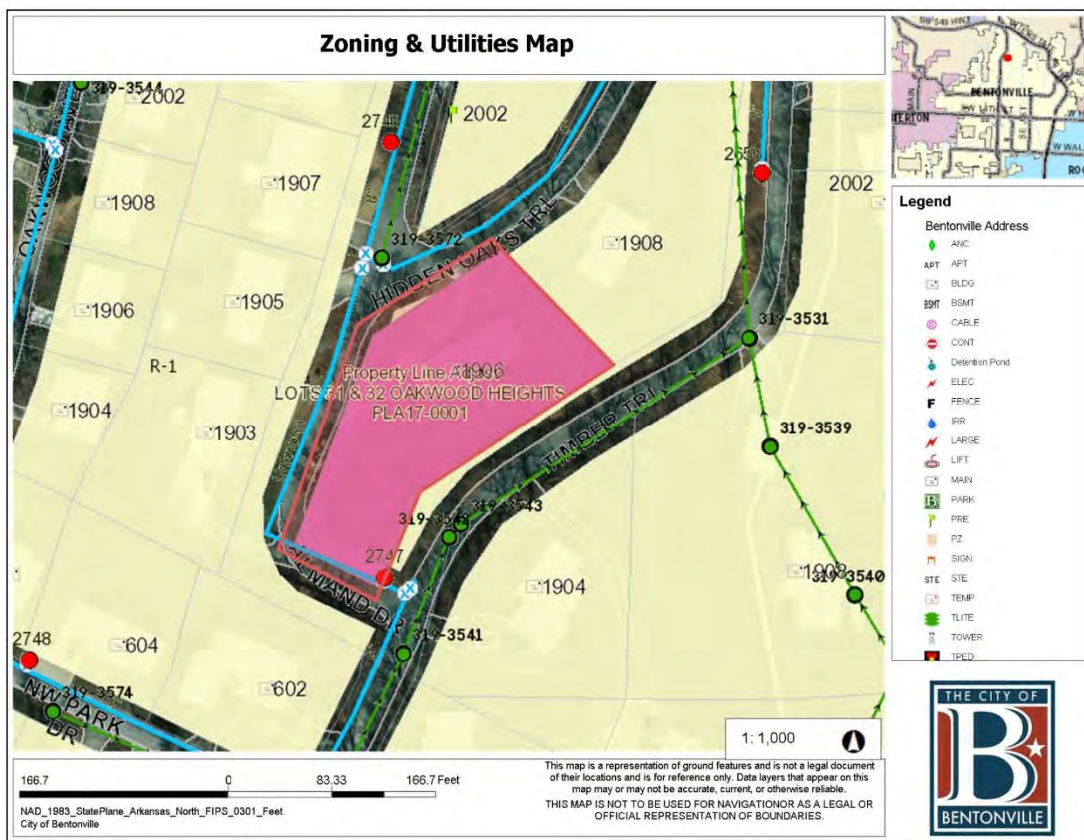
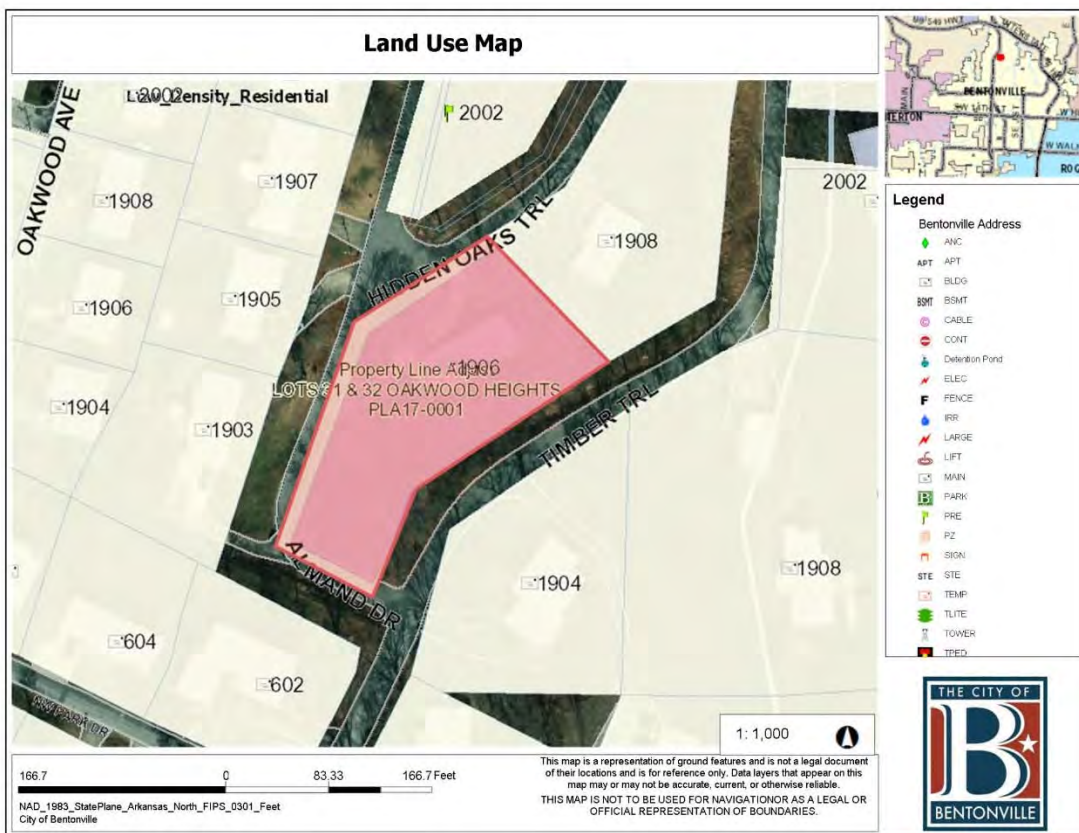
Conclusion

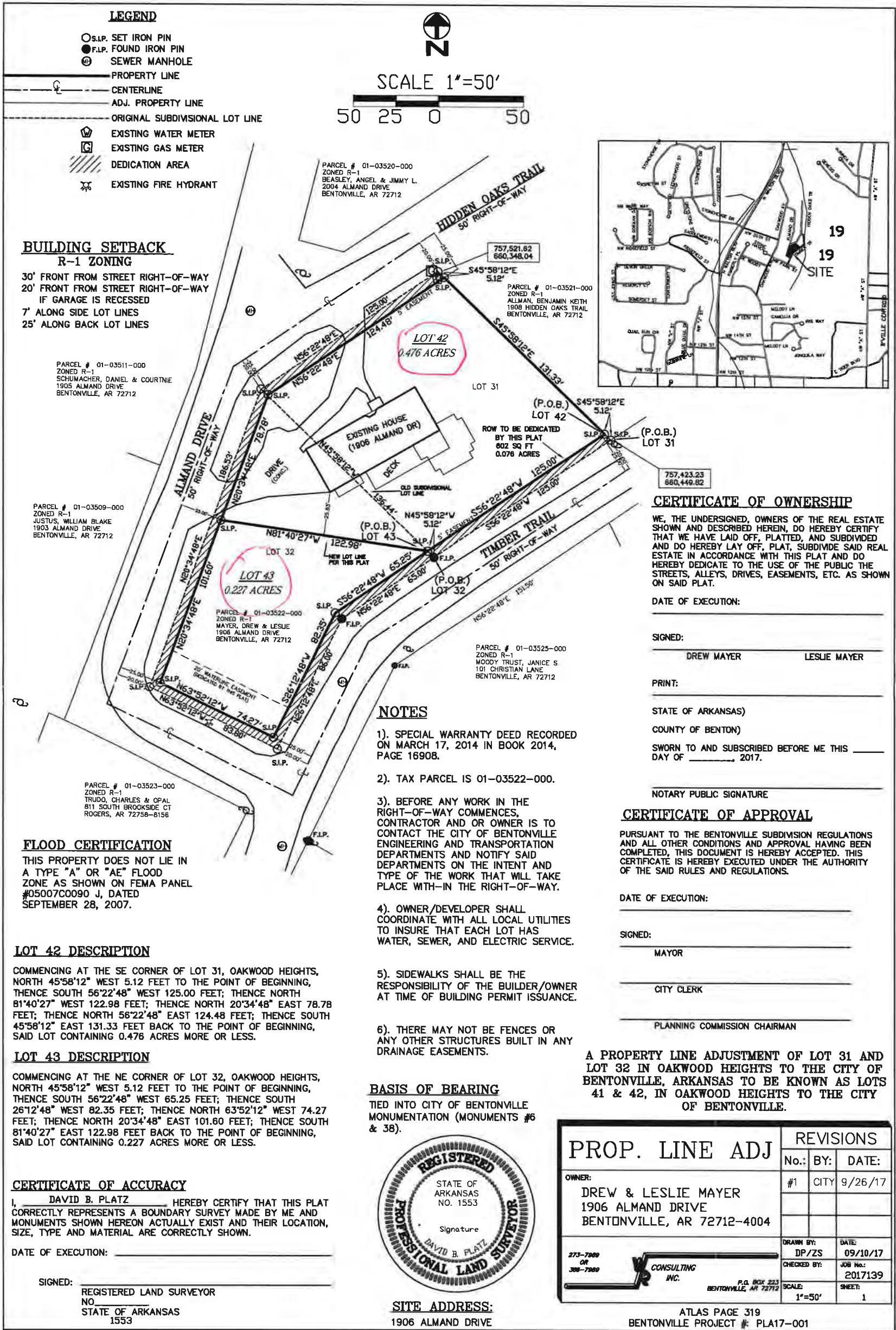
In conclusion, this property line adjustment does meet the minimum requirements of the subdivision regulations.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

PROPERTY LINE ADJUSTMENT STAFF REPORT





GENERAL PLAN AMENDMENT STAFF REPORT



Kuhlman Properties, LLC

SW Regional Airport Blvd. & SW Blue Jay Ln.

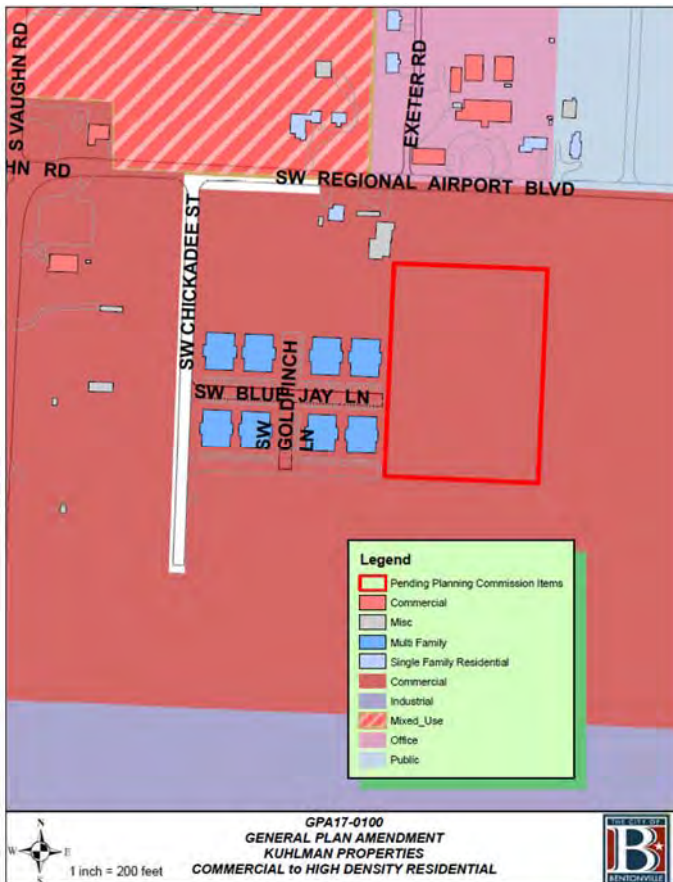
PC Date: 10/17/2017

Reviewer: Jon Stanley, Planner

Project Number	GPA17-0100
Applicant/ Current Owner	Kuhlman Properties, LLC (Patrick Kuhlman) 11896 Lakenheath Dr, Bentonville, AR 72712
Site Area	6.33+/- acres
Current Zoning	A-1, Agricultural
Current Future Land Use Map Designation	Commercial (C)
Requested Future Land Use Map Designation	High Density Residential (HDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of an unoccupied 6.33+/- acre parcel that is currently being used for agricultural practices situated due east of SW Blue Jay Lane. The property is currently zoned A-1, Agricultural.

Projected Traffic Impact

The proposed land use designation has the potential to adversely impact traffic in the area. Any proposed development will require further analysis by city staff and project engineers.

Utility Infrastructure

Per the city's GIS, water and sewer are available.

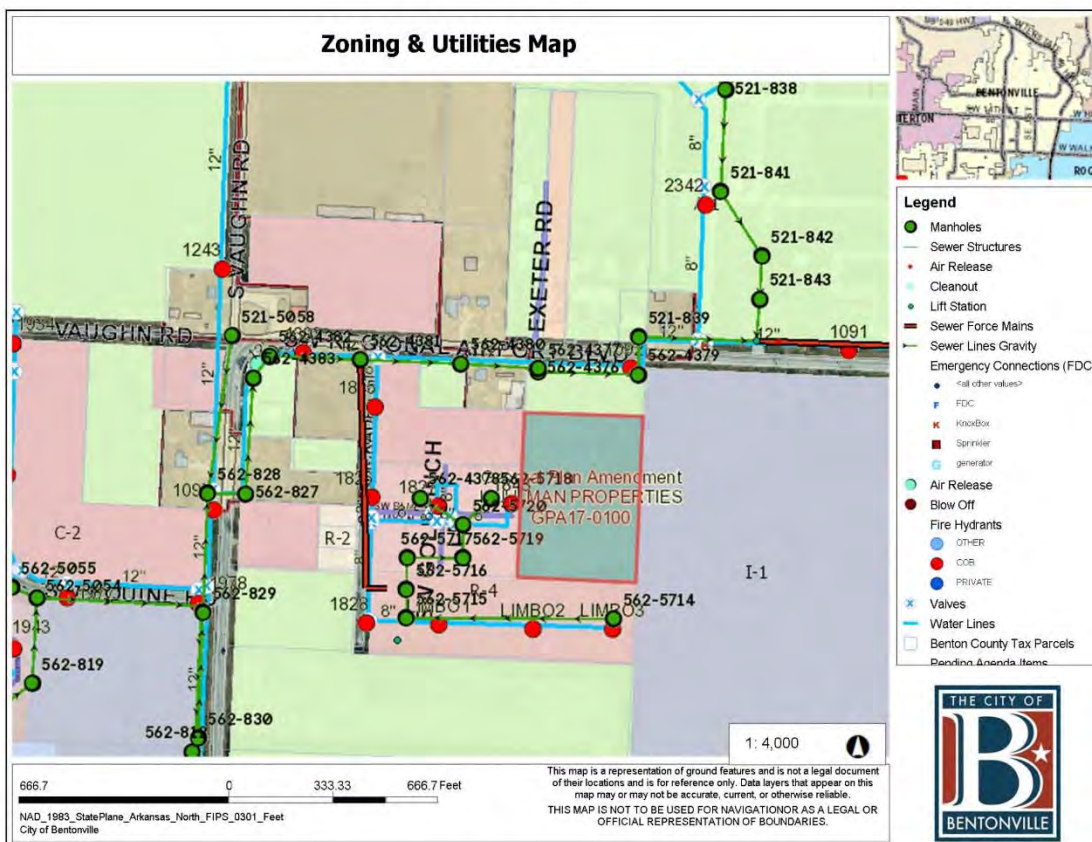
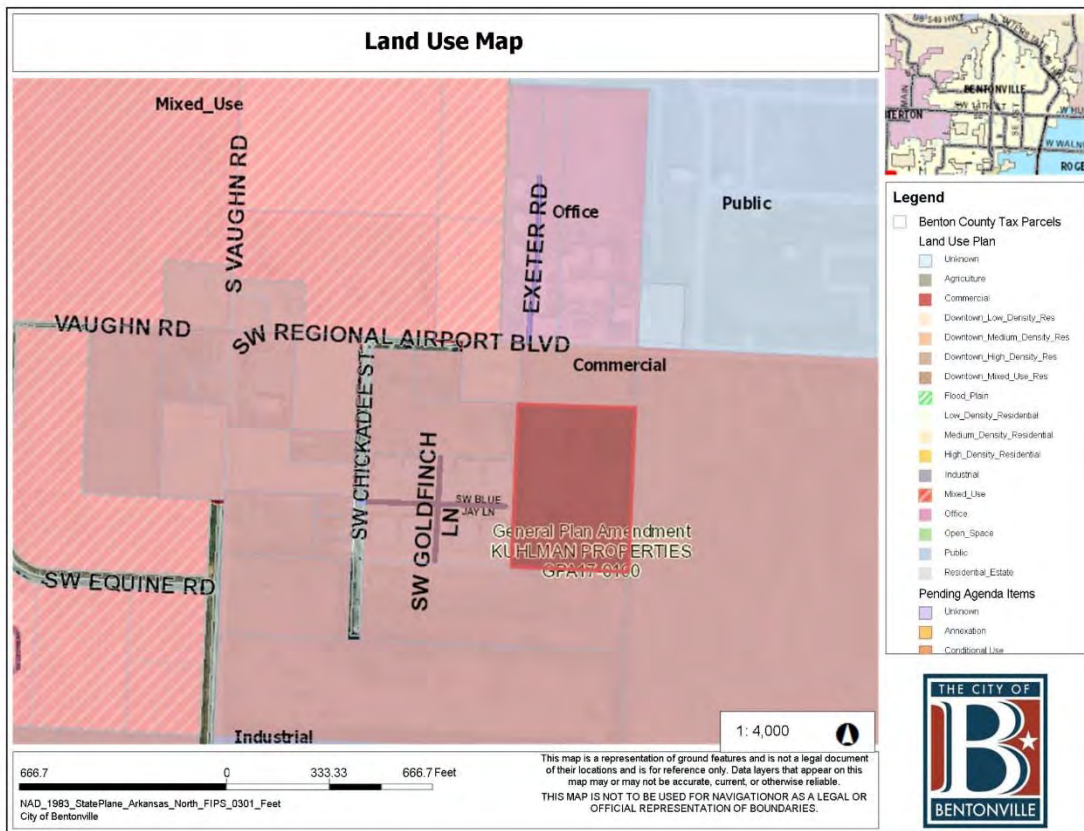
Relationship to the General Plan

The Future Land Use Plan depicts this property as Commercial (C). Policy LU-23 Housing Types within the General Plan suggests that the city should encourage the development of a mix of housing types to meet the needs of residents throughout their lives. As utilities and infrastructure are extended to new locations within the city, the city should reevaluate and adjust the land uses accordingly. The proposed land use will help to reduce the impact on city infrastructure by the extension of public utilities and infrastructure that will be required with the development of this land, all helping to meet the intent of the policy.

Analysis

In conclusion, the requested Future Land Use Map designation of High Density Residential (HDR) will offer a variety of housing types and opportunities in this area of the city. The proposed land use designation will promote future growth in the area and create opportunities for additional residential, commercial, mixed-use and industrial development that will ultimately provide goods and services to residences in and near this area. **Error! Reference source not found.**

GENERAL PLAN AMENDMENT STAFF REPORT



- 1> The property is under contract and the buyer owns the adjoining parcel # 01-11449-000 known as Skyridge Estates Apartments. They plan to expand the apartment complex using this parcel. Given the location of this parcel and surrounding use, this expansion would complement the area well. The buyer wishes to retain the front northern portion of the property as commercial for an office and/or restaurant space at a future date which would further complement the area. This would be an area equal to the entire width of the property from east to west and 200 feet of the property north to south beginning with the northern most part of the property line.
- 2> Commercial in this area is a stretch at the current time given the distance from the majority of other commercial and changing a portion of this property to HDR is the best use for this property given the adjacent land use already in place and the fact that this will be an expansion of the established HDR already in place. In addition, keeping the front portion of the property as commercial, does allow for commercial development once timing is right to better serve residents in this area.
- 3> Expanding on #2, this area is more prime for multifamily than commercial. There is not a high demand for commercial in this area at the current time
- 4> No, this would enhance the area with additional multifamily to expand on what is already there. Also, keeping the front portion commercial allows for room to fill that need in the future.
- 5> There are not alternates given the buyers intended use based on what is already in place.
- 6> Expansion of the adjoining Skyridge Estates Apartments.
- 7> There are no alternates in this case given the sale and pending use.

GENERAL PLAN AMENDMENT STAFF REPORT



Elzey

SW Featherston Rd., Glenn Rd. & Been Rd.

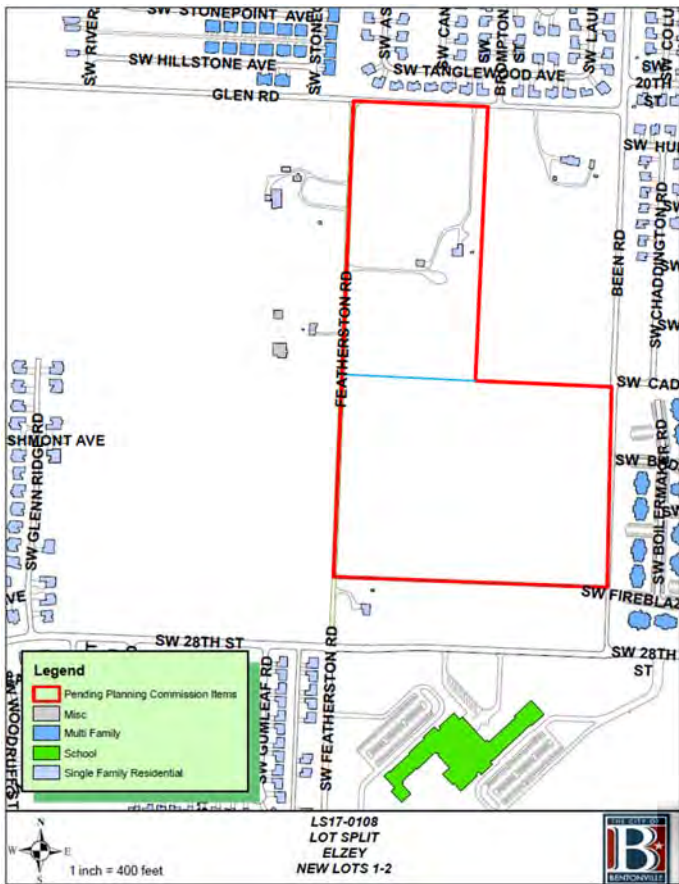
PC Date: 10/17/2017

Reviewer: Jon Stanley, Planner

Project Number	GPA17-01001
Applicant/ Current Owner	Martin Elzey 9601 Glen Rd. Bentonville, AR 72712
Site Area	50+/- acres
Current Zoning	Benton County (Undergoing Annexation)
Current Future Land Use Map Designation	Low Density Residential (LDR)
Requested Future Land Use Map Designation	Medium Density Residential (MDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of an unoccupied 50+/- acre parcel that is currently being used for agricultural practices situated between Feather Rd. and Been Rd. and due south of Glenn Rd. The property is located in the county but is currently undergoing the annexation process.

Projected Traffic Impact

The proposed land use designation will not adversely impact traffic in the area. The three adjacent collector streets will provide ample opportunities for ingress/egress to any potential development.

Utility Infrastructure

Per the city's GIS, water and sewer are available.

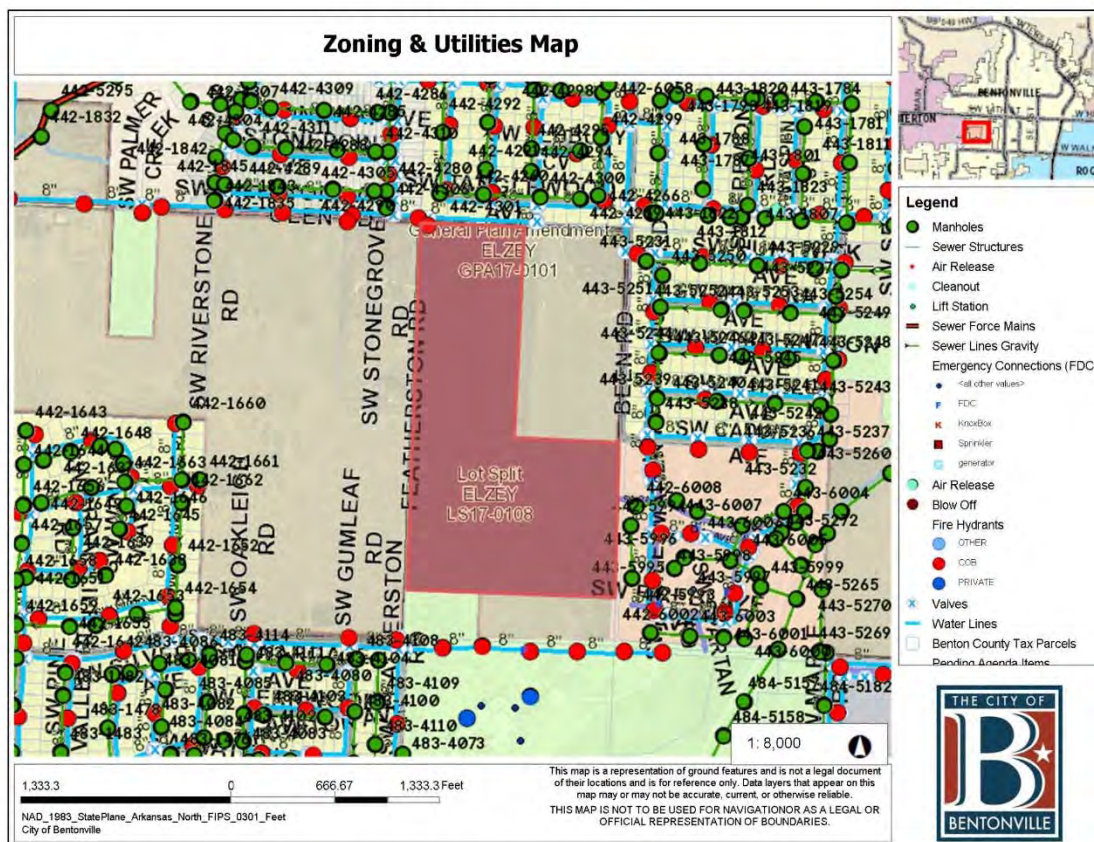
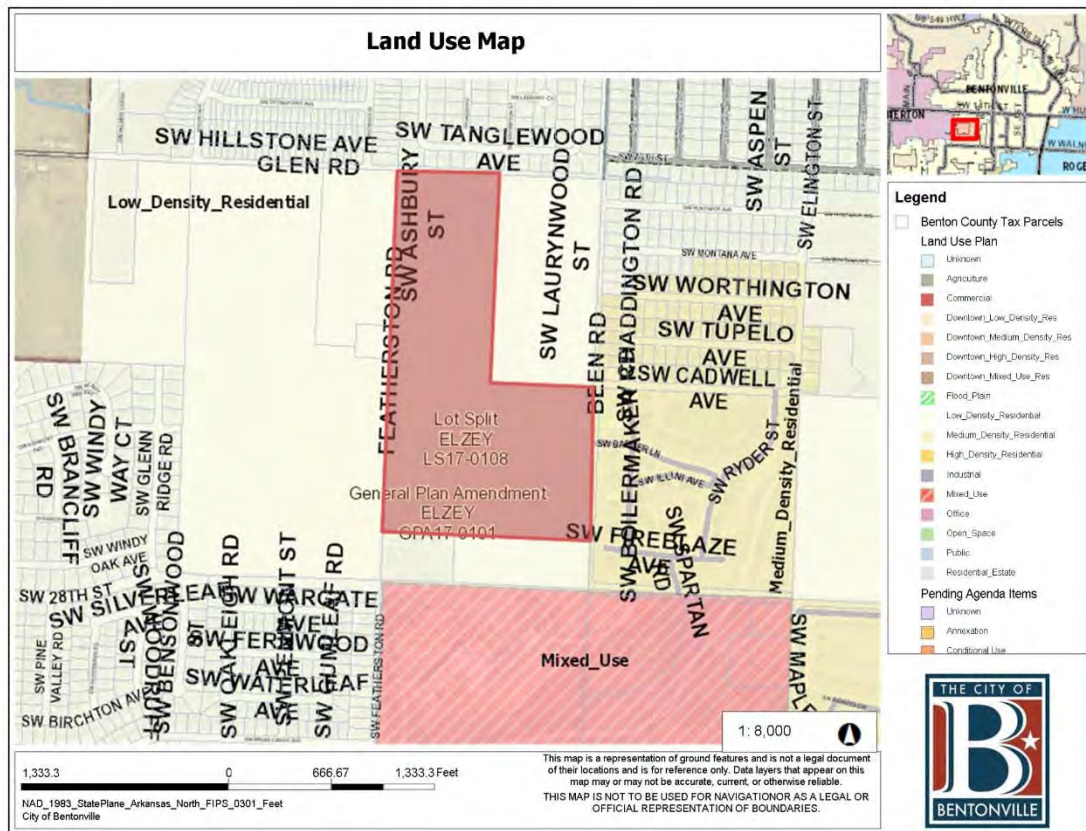
Relationship to the General Plan

The Future Land Use Plan depicts this property as Low Density Residential (LDR). Policy LU-23 Housing Types within the General Plan suggests that the city should encourage the development of a mix of housing types to meet the needs of residents throughout their lives. As utilities and infrastructure are extended to new locations within the city, the city should reevaluate and adjust the land uses accordingly. The proposed land use will help to reduce the impact on city infrastructure by the extension of public utilities and infrastructure that will be required with the development of this land, all helping to meet the intent of the policy.

Analysis

In conclusion, the requested Future Land Use Map designation of Medium Density Residential (MDR) is consistent with the General Plan. It will offer a variety of housing types and opportunities in this area of the city and it is compatible with the surrounding development.

GENERAL PLAN AMENDMENT STAFF REPORT





CEI Engineering Associates, Inc.

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2
Bentonville, AR 72712
(479) 273-9472 Fax (479) 273-0844
www.ceieng.com

September 11, 2017

City of Bentonville
Beau Thompson / Planning Dept.
305 SW A St.
Bentonville, AR 72712

RE: Elzey Voluntary General Plan Amendment

Dear Planning Commission:

Please accept this letter as a formal request by Martin Elzey, owner of parcel 18-08661-003, to amend the future land use map for his 50-acre property located at 9601 Glen Road in Bentonville, AR. This request is to change the use from low density residential to medium density residential.

The applicant has owned this land for many years and in that time the surrounding uses have changed. Once all agricultural lands, residential developments have been established around the subject property. Existing zonings in the area consist of R-1, R-2, and R-3 properties and the recently completed school at the intersection of Featherson Road and SW 28th Street, just to the south of this property.

The requested land use map amendment will fit well with the character of the area offering a transition between higher and lower density residential areas. The proposed amendment will be well suited to the area based on proximity of the school and will not adversely affect the surrounding properties or the subject tract.

The applicant has marketed the property for sale as a residential development and has a potential buyer for the majority of the land. If the land use plan amendment is approved, the applicant intends to file for annexation and rezoning to facilitate the sale of the property for development.

Respectfully submitted,
CEI Engineering Associates, Inc.

Nate Bachelor, PE
Project Manager

A handwritten signature in blue ink, appearing to read "Nate Bachelor", is written over the typed name.

Providing Consolidated Land Development Services

CALIFORNIA ■ TEXAS ■ ARKANSAS ■ MINNESOTA ■ PENNSYLVANIA

LOT SPLIT STAFF REPORT



Lots 1 & 2 Fellowship-McMillon Subdivision

1701 NE Tiger Boulevard

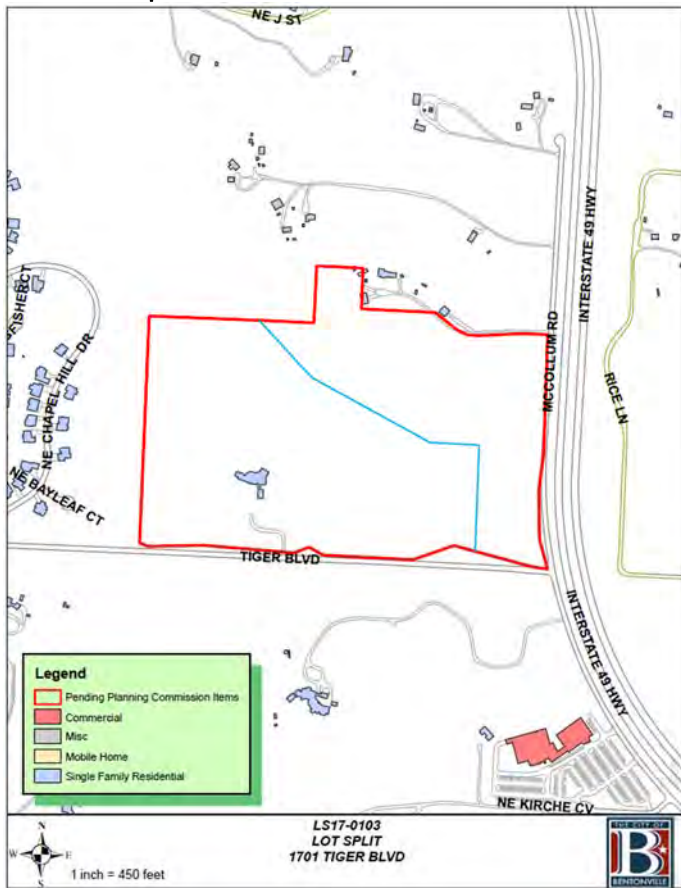
PC Date: 10/17/2017

Reviewer: Jon Stanley, Planner

Project Number	LS17-0103
Applicant / Current Owner	McMillon Family Revocable Trust 1701 Tiger Boulevard Bentonville, AR 7212
Site Area	66+/- acres
Current Zoning	A-1, Agricultural
Future Land Use Map Designation	Low Density Residential & Commercial

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of a single-family home located at 1701 NE Tiger Boulevard. The property is zoned A-1 Agricultural. Adjacent zonings include Benton County to the north, A-1, Agriculture to the south, R-1, Single Family Residential to the west and I-49 to the east.

Project Details

The applicant has submitted a proposal for a lot split creating two new lots from five existing parcels. The new lots will be known as Lot 1 (41+/- acres) and Lot 2 (25+/- acres) of Fellowship-McMillon Subdivision. Per the requirements of the current Master Street Plan, the applicant is dedicating right-of-way along a portion of NE Tiger Blvd. & McCollum Road. Public utility easements are also being dedicated to serve the two new lots. Each of the new lots will have access to public utilities and a public street. Note that a sewer easement agreement has been accepted by the sewer department to allow for future sewer service to the new Lot 2.

Projected Traffic Impact

The proposed lot split will not adversely impact traffic in the area.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required.

Waivers

1 Waiver request:

- Waiver to Article 1100, Design Standards, Section 1100.5.Streets, Right-of-Way Dedication. The applicant is requesting a waiver to r/w dedication for the portion of New Lot 1 adjacent to NE Tiger Blvd. The portion of r/w along Tiger Blvd adjacent to New Lot 2 will be dedicated by this plat.

Conclusion

This lot split does not meet the minimum requirements of the subdivision regulations due to the waiver request.

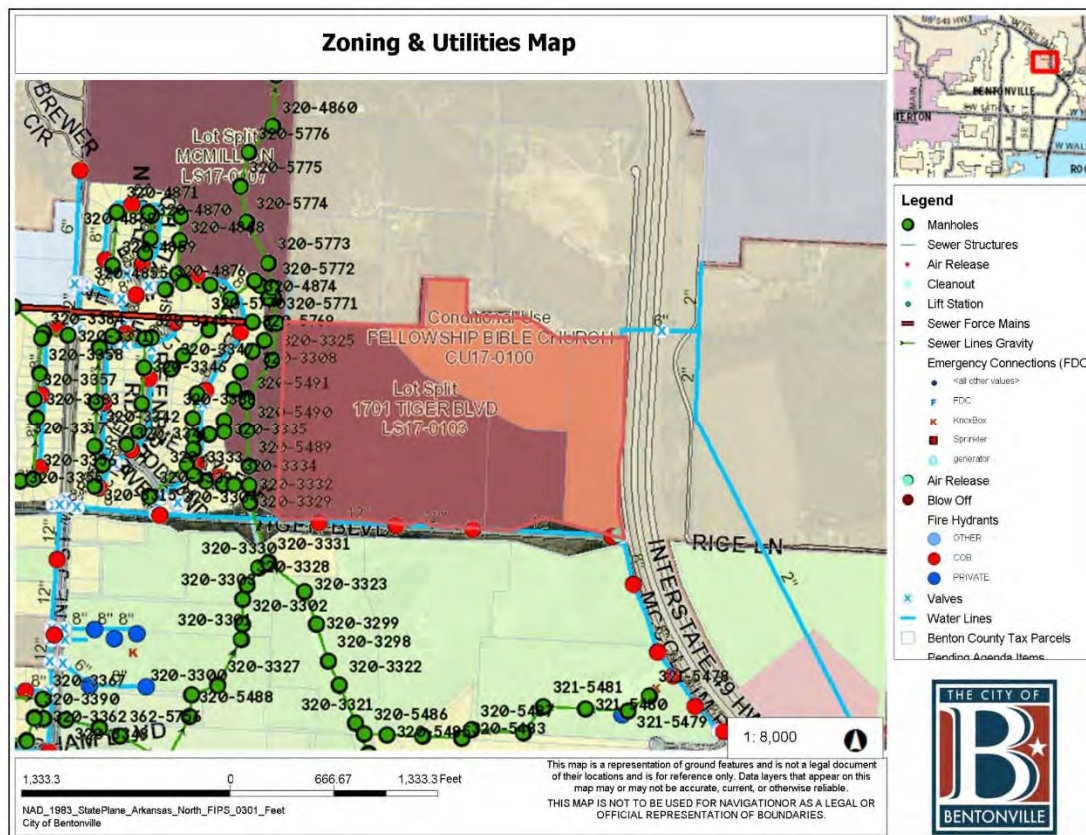
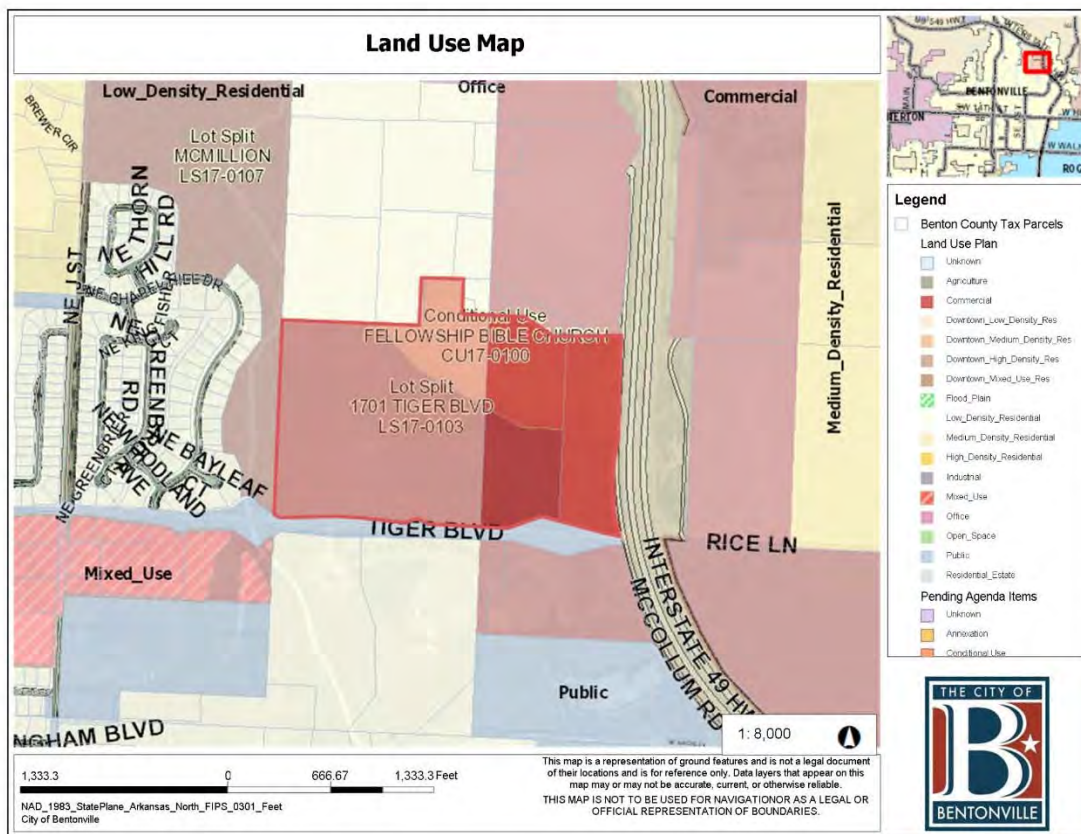
Standard Conditions of Approval

1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT



October 10, 2017

Mr. Jon Stanley, Planner
City of Bentonville
305 SW A Street
Bentonville, AR 72712
Via E-Mail: JStanley@bentonvillear.com

RE: Fellowship-McMillon Subdivision Lot Split
Bentonville, AR

Dear Mr. Stanley:

We would like to request a Waiver of the Subdivision Code for the dedication of additional master street plan Right-Of-Way along Tiger Blvd. for the New Lot 1 only of the Fellowship-McMillon Subdivision Lot Split. There is existing Right-of-way along this New Lot for Tiger Blvd as shown on the Lot Split.

Please let me know if you have any questions.

Sincerely,



Jason Appel, P.E.
Secretary/Treasurer

September 28, 2017

Mr. Beau Thompson, AICP
City of Bentonville, Water Utilities
3200 SW Municipal Dr
Bentonville, AR 72712

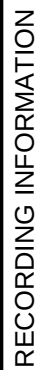
RE: Sanitary Sewer Easement
Lot Split – McMillon-Fellowship
Bentonville, AR

Mr. Thompson:

Please let this letter serve as formal notice of our agreement, as Trustees of the SHELLEY MCMILLON TRUST, the DOUG MCMILLON TRUST, and the MCMILLON FAMILY REVOCABLE TRUST, to provide a twenty foot wide easement to the City of Bentonville, Arkansas for construction and maintenance of a sanitary sewer main across our properties in order to provide sewer service for the Fellowship Bible Church development. The exact location of the proposed sewer main and associated easement have not yet been determined. However, it is anticipated the easement will cross Benton County Parcel Numbers 01-00248-015 and 01-00248-055. Once the design for the sewer main is completed and the location of the easement is identified, we will execute the necessary documents to create the sewer main easement.


Doug McMillon, Trustee


Shelly McMillon, Trustee



NEW LOT 2
24.65 ACRES
1,073,804 SQ.FT.

PARCEL NO. 01-00248-140
GLASS INVESTMENTS LLC
17 GLENBROOK
BENTONVILLE, AR 72712

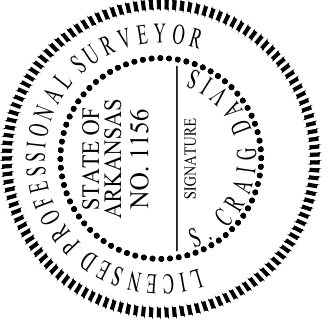
**PARENT TRACT 2
10.00 ACRES
435,759 SQ.FT.
S 07°54'27" W - 14**

PARCEL NO. 01-00248-145
DOUG MCWILLIAM AS TRUSTEE OF THE DOUG MCWILLIAM
TRUST *w/d* DECEMBER 13, 2012, AN UNDIVIDED
ONE-HALF (½) INTEREST, AND SHEILEY MCWILLIAM (a/k/a
DAWN MCWILLIAM) AS TRUSTEE OF THE SHEILEY
MCWILLIAM TRUST *w/d* DECEMBER 13, 2012, AND
UNDIVIDED ONE-HALF (½) INTEREST
1701 N.E. TIGER BOULEVARD
BENTONVILLE, AR 72712

ARIES (ASPHALT)

FELLOWSHIP-MCMILLON SUBDIVISION
BENTONVILLE, BENTON COUNTY, ARKANSAS

© COPYRIGHT 2013, ASSOCIATING SERVICES, INC. 01/2017 7.14.19
 7.14.19 SWIFT MASTER DELIVERY ON 30 SWIFT PROJECTS/ITEM-ILLINOIS
 BENTONVILLE PROJECT #LS17-0103



PROPERTY LINE	P.O.C.	POINT OF COMMENCEMENT
40 ACRE LINE	P.O.B.	POINT OF BEGINNING
ADJACENT OWNER	●	IPF - IRON PIN FOUND (AS NOTED)
EASEMENT (AS NOTED)	○	IPS - IRON PIN SET w/ CAP "PLS 1156"
BUILDING SETBACK LINE (B.S.L.)	⊕	COMPUTED POINT
FENCE LINE	X	
OVERHEAD UTILITIES	OHU	

LARGE SCALE DEVELOPMENT STAFF REPORT



Harbin Pointe Townhomes

SW Juniper Ave. & SW Buckeye Street

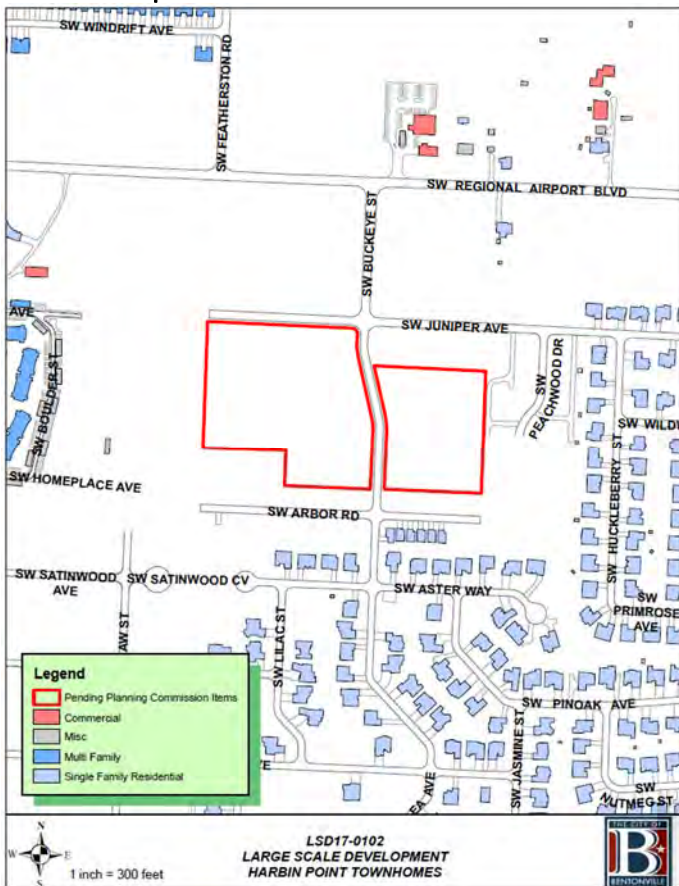
PC Date: 10/17/2017

Reviewer: Jon Stanley, Planner

Project Number	LSD17-0102
Applicant / Current Owner	J & M Investments of NWA, LLC PO Box 3773 Bentonville, AR 72712
Site Area	10.95+/- acres
Current Zoning	R-3, Medium Density Residential
Future Land Use Map Designation	Medium Density Residential (MDR)
Development Type / Use	Townhomes

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of two undeveloped lots within a medium density residential subdivision known as Harbin Pointe Addition Phase 2.

Project Details

The applicant is proposing a large scale development consisting of 25 separate buildings. Twenty-three of these buildings contain four, two-story townhome units and two of the buildings contain two, two-story townhome units for a total of 96 units.

Adequate parking is being provided at three spaces per dwelling unit. The primary ingress/egress will be from SW Buckeye Street. All sections of required public sidewalk will be constructed with the development. The primary materials depicted for the exterior elevations include fiber cement siding, brick and stone veneer.

Projected Traffic Impact

The proposed large scale development will not adversely impact traffic in the area.

Utility Infrastructure

Per the city GIS website, public water and sewer are available at this location.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

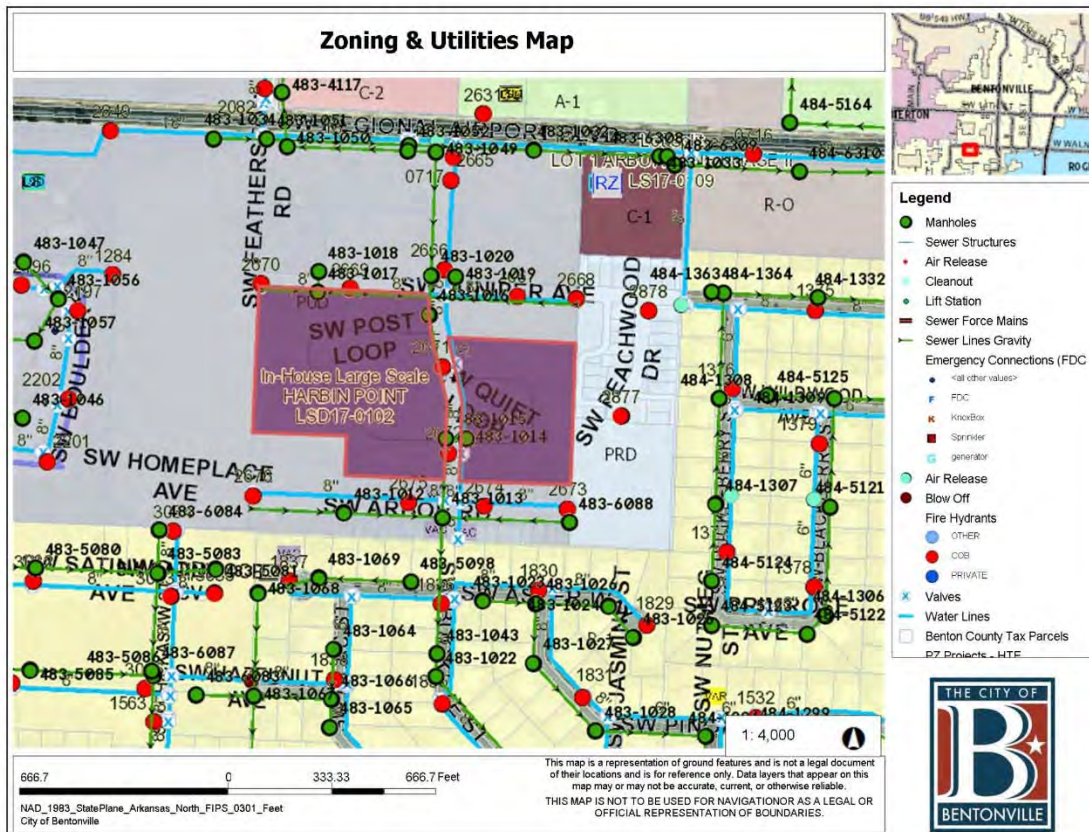
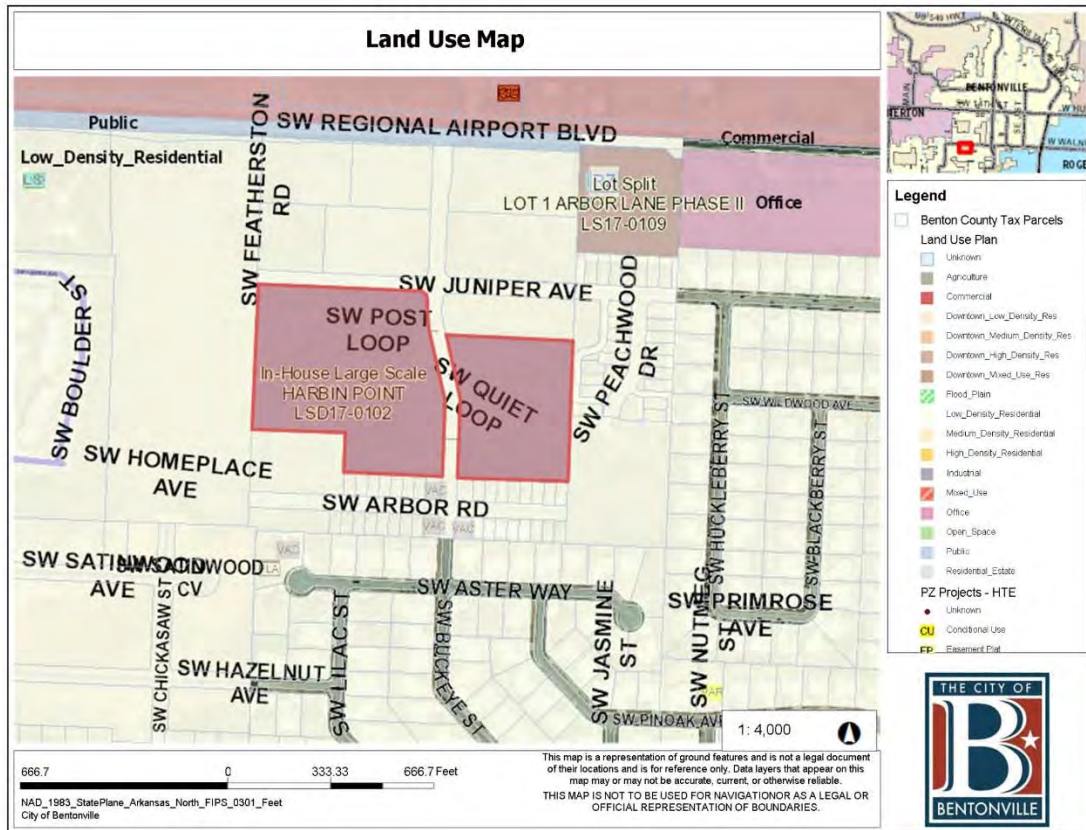
1 Waiver request:

- Waiver to Article 1400, Landscaping, Screening & Buffering Requirements, Section 1400.6.A.1, Street Frontage Buffer. The applicant is requesting a waiver to allow 106 of the 228 required street streets to be located along the projects perimeter and interior. The applicant states that the green space along the street frontage is limited due to driveway and utility conflicts.

Conclusion

In conclusion, this large scale development does not meet the minimum requirements of the subdivision regulations due to the waiver request

LARGE SCALE DEVELOPMENT STAFF REPORT





JORGENSEN
+ASSOCIATES
Civil Engineering · Surveying
Landscape Architecture Services

124 W Sunbridge Drive, Suite 5
Fayetteville, AR 72703

Office: 479.442.9127
Fax: 479.582.4807
www.jorgensenassoc.com

October 2, 2017

The City of Bentonville Planning Dept
305 SW A Street
Bentonville, AR 72712

Re: Harbin Pointe Townhome LSD Landscape Waiver Request

To whom it may concern;

Due to the amount of driveways and utilities on installed on this development the space for street trees is very limited. The required total trees, based off of right-of-way length, for this project is 228. We will only be able to realistically install 123 of these trees along street frontage or in the right-of-way. We are proposing to plant 38 of these trees in the interior portion of the project and 67 more trees around the perimeter. Therefore, we are requesting a waiver on the planting location of required street trees for this development.

We look forward to addressing any comments or concerns.

Sincerely,


Jared S. Inman, R.E.



MAINTENANCE NOTE:

ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED. (SEC 1400.5.C-10). A LANDSCAPE MAINTENANCE PLAN SHALL BE IN PLACE TO ENSURE GROWTH.

TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI 1300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC 1400.5.C-11)



*DUE TO MULTIPLE DRIVEWAYS AND UTILITIES THE SPACE AVAILABLE FOR STREET TREES IS LIMITED IN THE R.O.W., THEREFORE AN ADDITIONAL 133 TREES ARE BEING PROPOSED AROUND THE SITE TO BRING THE TOTAL NUMBER OF PROPOSED 'STREET TREES' TO THE REQUIRED 228 TREES.

PERIMETER LANDSCAPING

BROKEN SCREEN (43 TREES PROPOSED)

***THE WEST BOUNDARY WAS NOT INCLUDED IN QUANTITIES DUE TO THE EXISTING ELECTRICAL EASEMENT. NO TREES TO BE PLANTED IN THIS EASEMENT.

ANDSCAPE NOTES:

- ALL LANDSCAPED AREAS TO BE IRRIGATED WITH AUTOMATIC SPRINKLERS OR WATER SPROUTS AT MINIMUM 100' RADIUS INTERVALS. MAINS SHALL NOT BE PLACED WITHIN UTILITY EASEMENTS.
- ALL LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVERS LIKE JUNCUS OR URUPE, ETC. SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED.
- ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED. (SEE 1400.5.C-10).
- SITE TRIANGLES SHALL BE KEPT FREE & CLEAR OF ANY OBSTRUCTION BETWEEN THE HEIGHT OF 30" & 60" WITHIN THE 25' SHADDED AREA AT ENTRANCE/ EXITS.
- ALL PROPOSED TREES SHALL BE PLANTED 5' FROM UTILITY LINES.
- NO PROPOSED SIGNAGE IS KNOWN AT THIS TIME. ALL PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
- THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRIVEWAY EASEMENTS.

SW POST LOOP = 2105' OF R/W
2105' / 20 (1 TREE PER 20') = 105 TREES
28 STREET TREES PROPOSED*

PRELIMINARY
HARBIN POINTE
4-PLEX "A"

Brittenum
Construction
Company Inc.

NOTES:

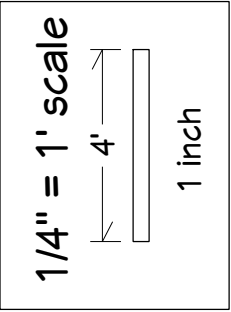
1st flr- 9 ft. clg;
2nd flr- 8 ft. clg;

Locate furnaces in attic;

Approx. Heated per unit
1360 sq ft

Elevations

77% BRICK AREA
14% SIDING AREA
9% WINDOW AREA



Drafted by
Keith Warford (479) 601-6637
keith@warford.com

It is the Contractor and/or Owner's
responsibility that all local and national codes
are met and construction is in compliance
with those regulations. These plans are
presented as is and Keith Warford makes
no warranty or representation,
Not for resale or transfer.

Plan: Jb Harbin
Pointe 4-plex-A color

Date: 10/12/2017

SHEET: 1/3

1/4" scale



1/8" scale



LARGE SCALE DEVELOPMENT STAFF REPORT



Pharm II Townhomes

SW B Street

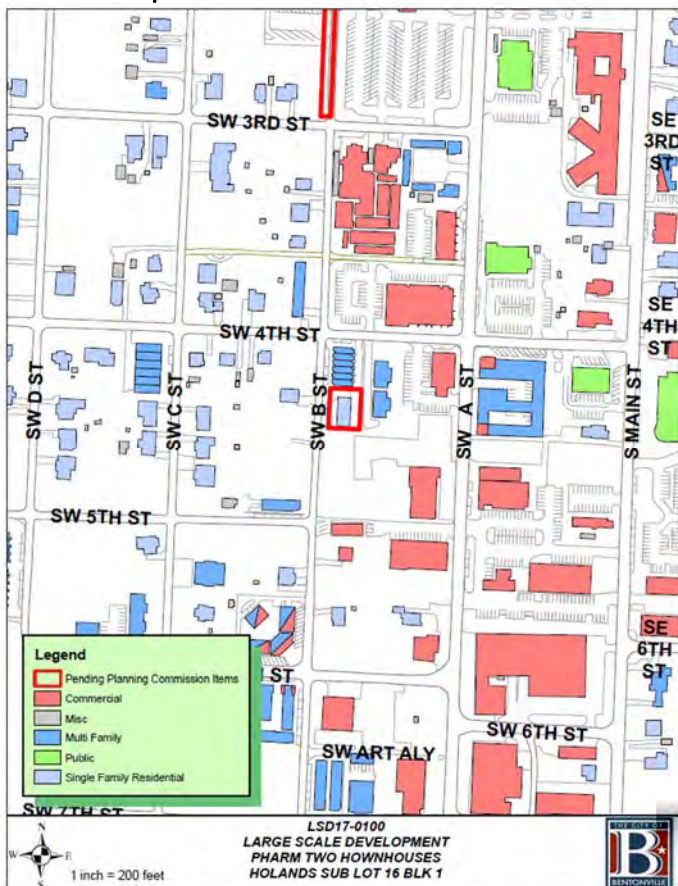
PC Date: 10/17/2017

Reviewer: Jon Stanley, Planner

Project Number	LSD17-0100
Applicant / Current Owner	NFD, LLC PO Box 393 Fayetteville, AR 72701
Site Area	10.95+/- acres
Current Zoning	R-3, Medium Density Residential
Future Land Use Map Designation	Medium Density Residential (MDR)
Development Type / Use	Townhomes

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is undeveloped and located in a mixed-use and medium density residential neighborhood in the downtown area where infill and redevelopment have been rapidly occurring.

Project Details

The applicant is proposing a large scale development consisting of six attached townhome units. Each unit will be two stories and approximately 725 square feet each.

Nine parking spaces are being provided, three on-street spaces and six off-street garage spaces. An 8' wide sidewalk with street trees will be constructed along SW B Street. Underground storm water detention is being installed. Each unit will have rear access from a public alley to the south and a private drive along the eastern property line that will ultimately connect to SW 4th Street to the north. The primary materials depicted for the exterior elevations include brick veneer and corrugated metal panels.

Projected Traffic Impact

The proposed large scale development will not adversely impact traffic in the area. The property is located within the downtown area where the existing street grid network will provide adequate options for ingress and egress.

Utility Infrastructure

Per the city GIS website, public water and sewer are available at this location.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

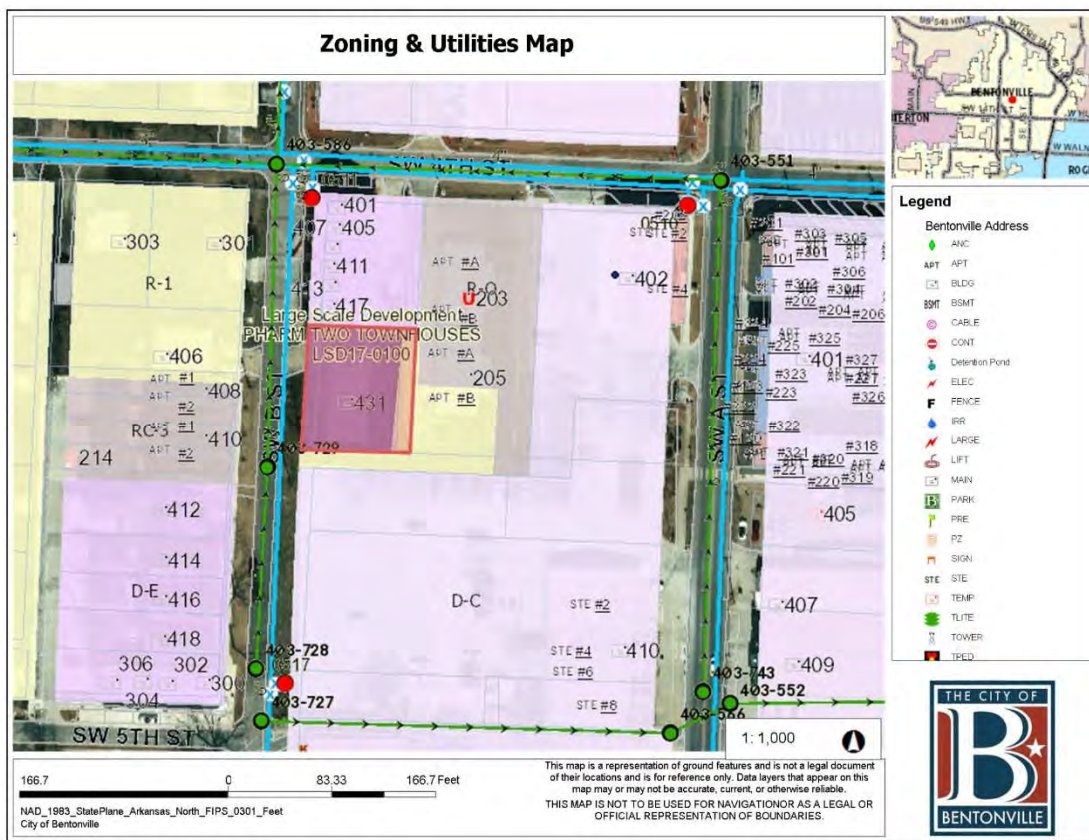
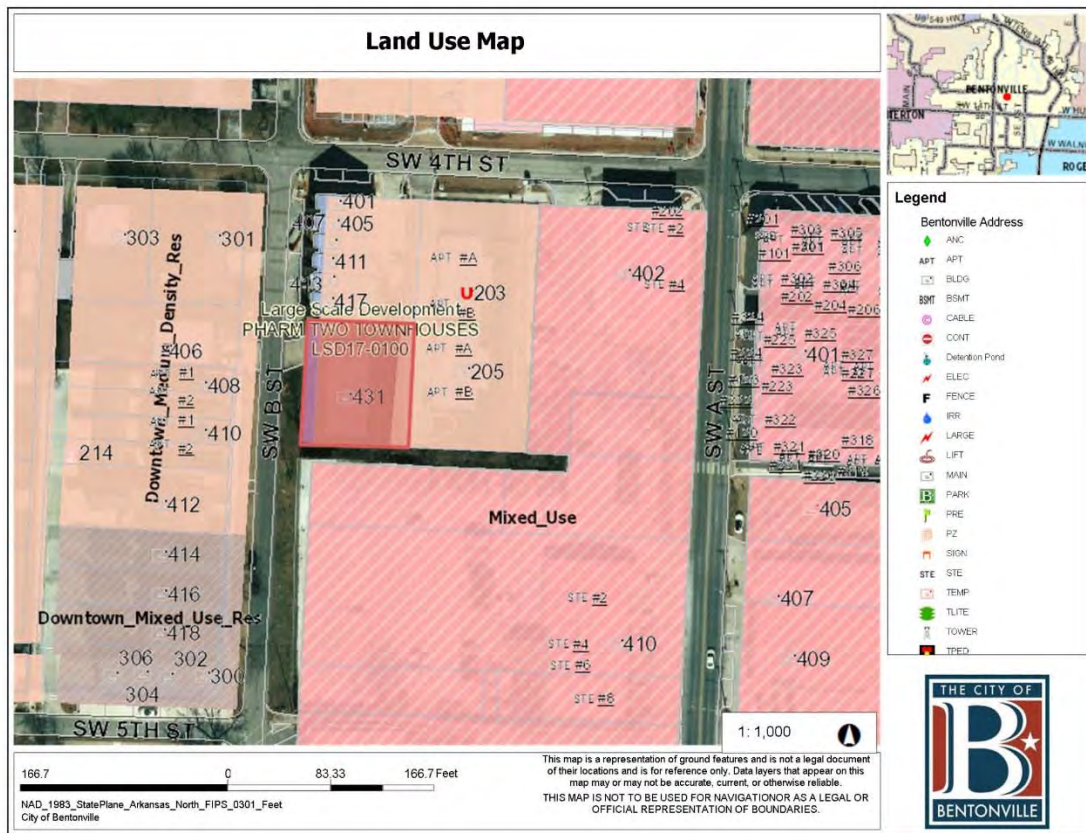
Waivers

No waiver requested.

Conclusion

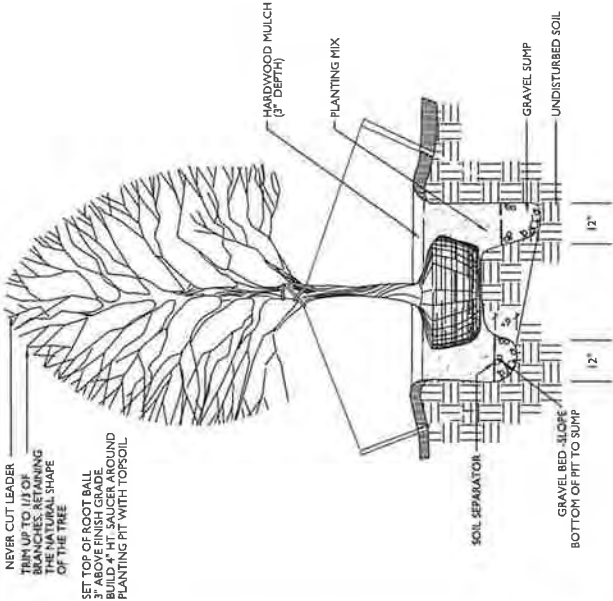
In conclusion, this large scale development does meet the minimum requirements of the subdivision regulations.

LARGE SCALE DEVELOPMENT STAFF REPORT



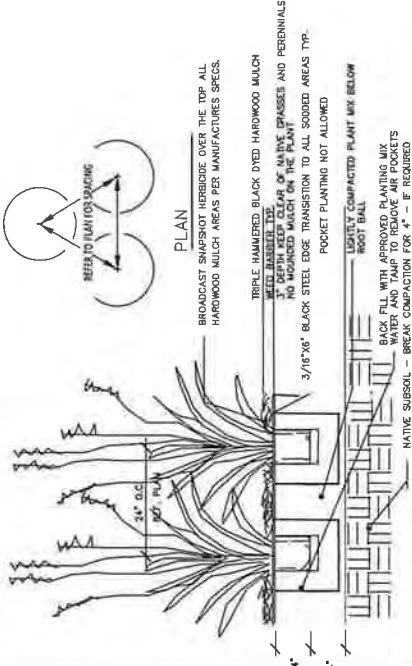
GENERAL NOTES:

- EXISTING SURVEY DATA WAS OBTAINED FROM A TOPOGRAPHIC & BOUNDARY SURVEY PERFORMED BY CASTER & ASSOCIATES LAND SURVEYING, INC. AND DATED JANUARY 4, 2017.
- SURVEY DATA IS BASED UPON NAD 83, STATE PLANE, ARKANSAS NORTH FEET COORDINATE SYSTEM
- ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, STATE, AND FEDERAL REGULATIONS AND CODES AS WELL AS OSHA STANDARDS. SITE CONTRACTOR SHALL MEET OR EXCEED ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL MEASURES
- THE APPROXIMATE LOCATION OF KNOWN UTILITIES & SUBSURFACE STRUCTURES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND VISIBLE STRUCTURES & RECORD DRAWINGS PROVIDED. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF THESE & ALL OTHER SUBSURFACE AND/OR LATENT FACILITIES PRIOR TO BEGINNING WORK. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE & THE COST OF SUCH REPAIRS NECESSARY SHALL BE BORNE BY THE CONTRACTOR
- ALL WORK PERFORMED WITHIN THE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE CITY OF BENTONVILLE ENGINEERING DEPARTMENT AND TRAFFIC DEPARTMENT.
- ALL STREETS, DRIVES, WALKS, DRAINAGE STRUCTURES, FENCES, ETC. THAT ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION USING LIKE MATERIALS. COST OF SUCH REPAIRS SHALL BE BORNE BY THE CONTRACTOR UNLESS PROVISION FOR PAYMENT IS MADE IN THE PROPOSAL.
- THE CONTRACTOR IS REQUIRED TO NOTIFY THE ONE CALL CENTER AT 1-800-482-8998 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
- THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN IMPLEMENTED, AND THE SWPPP, EROSION CONTROL PLAN, AND SIGNED AUTOMATIC NOTICE OF COVERAGE IS POSTED ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AS DESCRIBED IN THE SPECIFICATIONS (INCLUDING BUT NOT LIMITED TO COMPACTION DENSITY TESTING, ETC.), AND SHALL PROVIDE RESULTS TO ENGINEER, AND MAINTAIN RECORDS AND RESULTS OF ALL TESTS PERFORMED DURING CONSTRUCTION. TESTING BY THE CONTRACTOR SHALL BE INCLUDED IN THE BID
- EXISTING FACILITIES AND FEATURES ARE SHOWN LIGHT-LINED AND/OR SCREENED. NEW FACILITIES AND FEATURES ARE SHOWN SOLID AND HEAVY-LINED
- SLOPES AND GRADES SHOWN ARE IN UNITS OF FIFTY UNLESS OTHERWISE NOTED.
- ALL PAVEMENT AND CURB MEASUREMENTS ARE TAKEN FROM FACE OF CURB OR EDGE OF PAVEMENT
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS
- ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED (SEC 1400.5 C-10)
- TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES (SEC 1400.5 C-11)
- HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES (SEC 1400.5 C-12)
- LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVERS LIKE LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED (SEC 1400.6 A-B & SEC 1400 B G-7)
- ALL TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY SHALL BE 4" CALIBER AND THE LOWEST LIMB SHALL BE 60" OR HIGHER FROM FINAL GRADE AT TIME OF PLANTING
- ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES



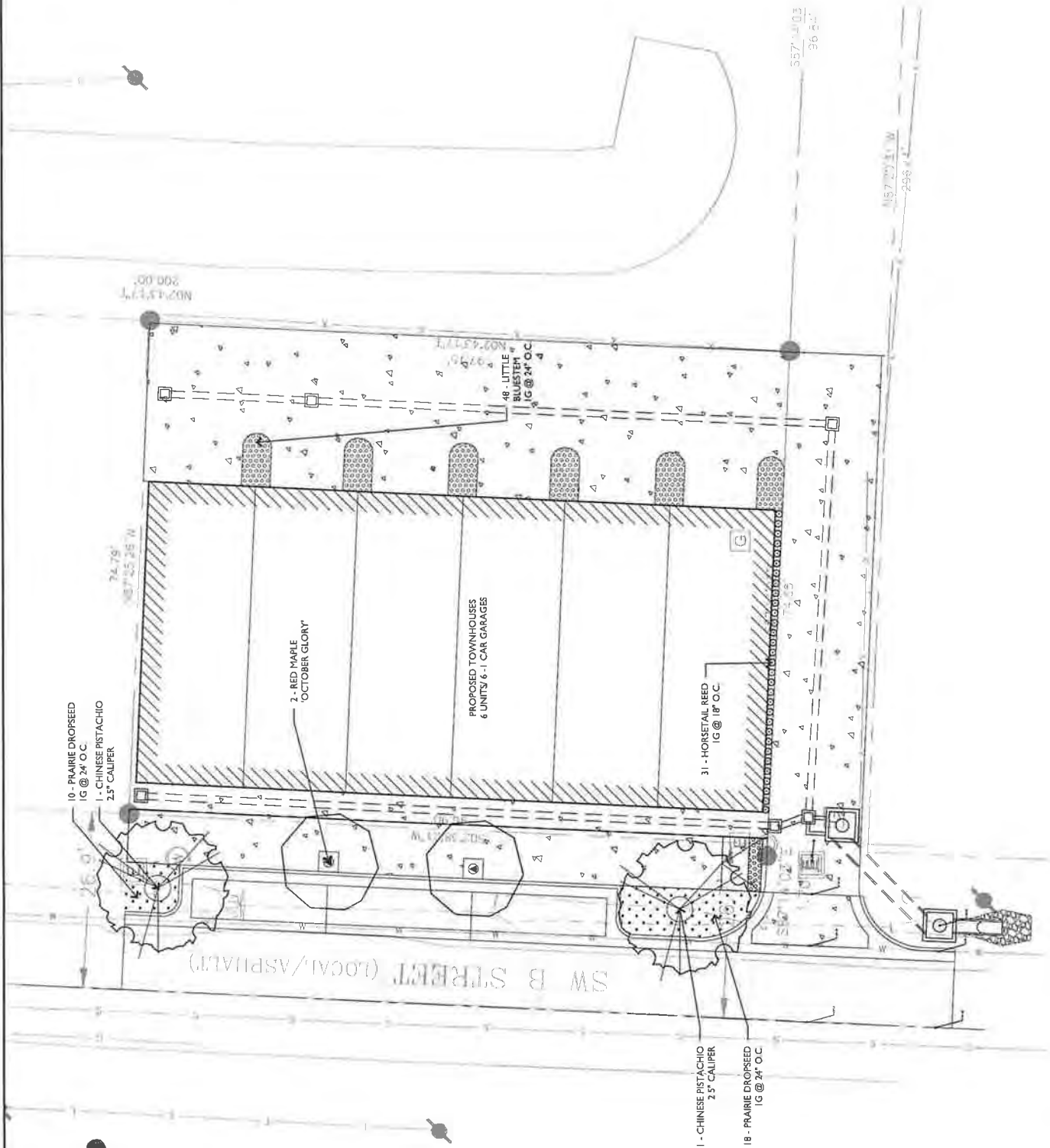
2 CANOPY TREE PLANTING/STAKING

SCALE: NTS



3 NATIVE GRASS & PERENNIAL PLANTING

SCALE: NTS



1 PLANTING PLAN

SCALE: 1" = 10'-0"



PLANT LIST					ALL PLANT QUANTITIES TO BE VERIFIED BY THE CONTRACTOR						
Trees											
QTY	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION		SPACING						
2	Red Maple 'October Glory'	Acer rubra 'October Glory'	2.5" Caliber, 8' Ht, 2' Spread	As Shown							
2	Chinese Pistache	Pistacia chinensis	2.5" Caliber, 8' Ht, 2' Spread	As Shown							
Shrubs											
QTY	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION		SPACING						
48	Little Bluestem	Schizachyrium scoparium	1 gallon	As Shown							
28	Prairie Dropseed	Sporobolus heterolepis	1 gallon	As Shown							
31	Horsetail Reed	Equisetum hyemale	1 gallon	As Shown							
Miscellaneous											
QTY.	DESCRIPTION					REMARKS					
Ref. Plan	Native Grass Planting Mix					8" all beds, 40% Topsoil, 60% Organic Compost					
Ref. Plan	Filter Fabric/Weed Mat					All planting bed areas					
Ref. Plan	Hardwood Mulch					3" Depth All Planting Beds - Keep clear 6" around all tree trunks typ.					



Know what's below.
Call before you dig.

SHEET NO.

LI.00

BENTONVILLE PROJECT NO. 17-0100



Ecological Design Group, Inc.
120 S. Grand Street
Little Rock, AR 72201
P 501.378.0200
F 501.378.0200

314 South 3rd Street
Rogers, AR 72756
P 479.935.4826
F 479.935.4826

210 E. Meridian Ave.
Wynne, AR 72396
P 870.588.6426
F 870.528.6310

PHARM TWO TOWNHOUSES
Bentonville, Arkansas





LARGE SCALE DEVELOPMENT EXTENSION STAFF REPORT



Haxton District East – LSD Extension

224 Southeast 2nd Street

PC Date: 10/17/2016

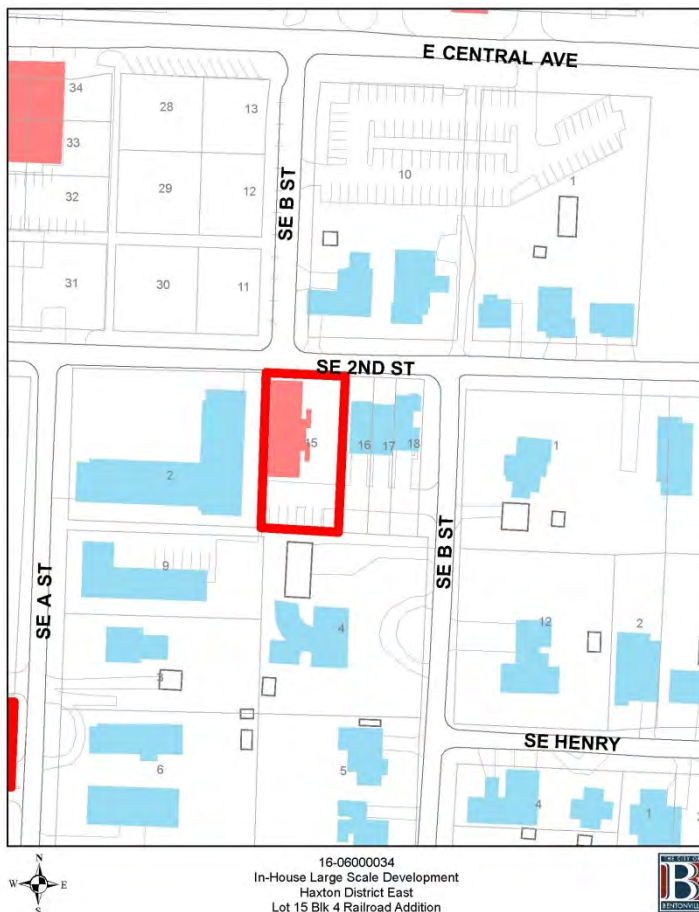
Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	16-06000034
Applicant / Current Owner	TNG Properties, LLC Neil Greenhaw PO Box 692 Bentonville AR, 72712
Site Area	0.26 Acres
Current Zoning	R-O, Residential Office
Future Land Use Map Designation	Mixed Use (MU)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is a vacant mixed-use lot located two blocks southeast of the downtown square and is adjacent to the Haxton District West building that is currently under construction and townhomes on the east.

Project Details

The applicant is requesting the extension of a large scale development approval from October 4, 2017. The large scale development consists of a four-story, 8,100 square feet mixed-use building that will be known as Haxton District East. The building will be located at 224 Southeast 2nd Street. Access to the project will be achieved through an existing curb cut along the southern property line onto Southeast B Street. The project will share five existing parking spaces with the Haxton District West building and will also utilize public parking in the downtown area. An 8' wide sidewalk will be constructed along Southeast 2nd Street. The exterior of the building will be constructed of all brick with an exterior staircase on the west side.

Projected Traffic Impact

The proposed development will not adversely impact traffic in the area.

Utility Infrastructure

Per the city's GIS website, water and sewer are available at this location.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

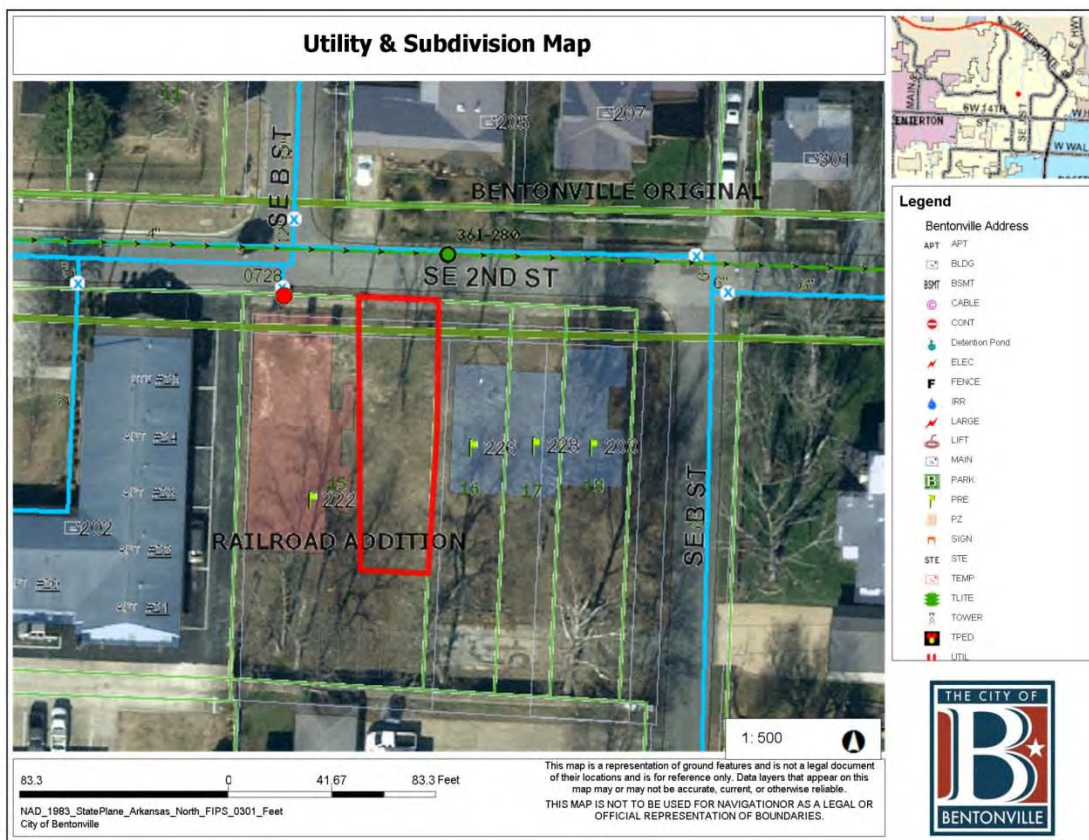
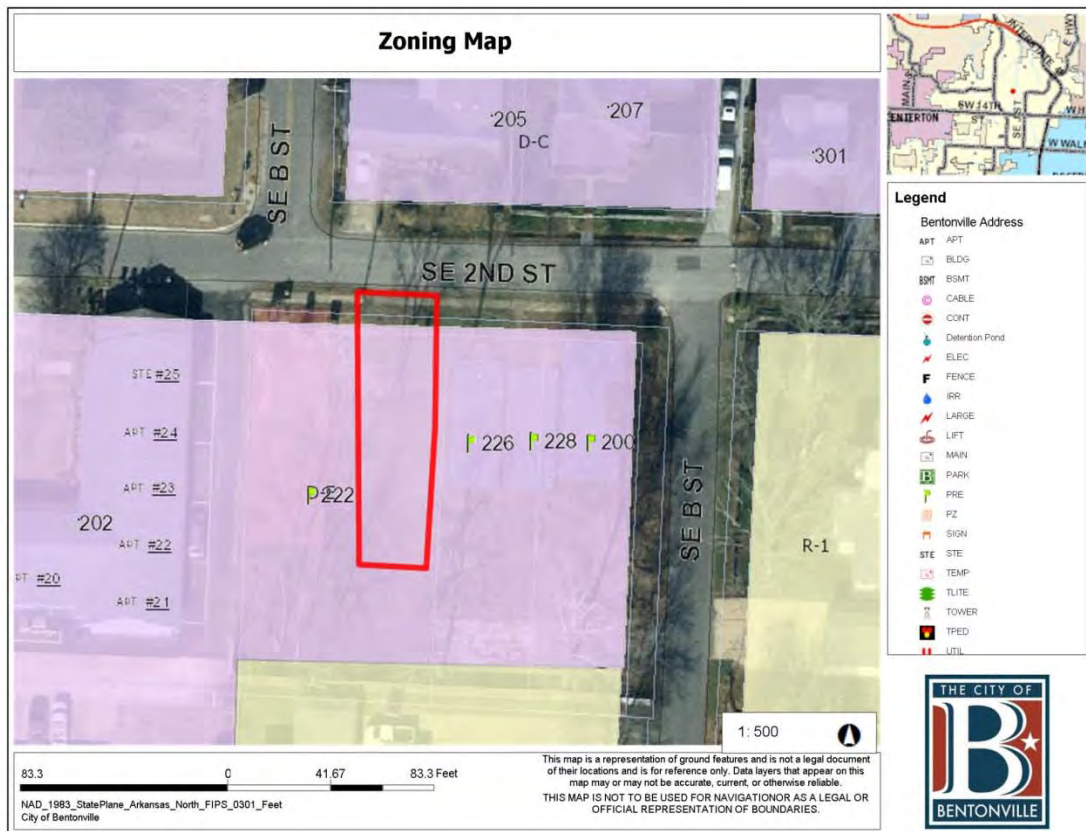
Waivers

Not applicable.

Conclusion

In conclusion, this large scale development does meet the minimum requirements of the subdivision regulations.

LARGE SCALE DEVELOPMENT EXTENSION STAFF REPORT





SAND CREEK
Engineering and Landscape Architecture, Inc.

October 2, 2017

Project #15056.1

RE: Haxton East LSD

Jon Stanley – Bentonville Planning

Mr. Stanley,

Neil Greenhaw, the owner and developer of the Haxton East project, being the second of the two planned 4-story buildings on SE 2nd Street, has asked that we submit a request for an extension of the LSD approval. Mr. Greenhaw has been working with the bank and contractors to get the final construction cost and the construction loan in place. Also, the fire suppression system design has not been completed and approved by the Arkansas Health Dept.

Mr. Greenhaw expects the issues to be cleared up and allow for the required pre-construction meeting and work beginning within the next two months.

Please place this item on the next Planning agenda and let me know if you need anything further from me.

Sincerely,

Ken Booth

Project Manager

kbooth@sandcreek.us

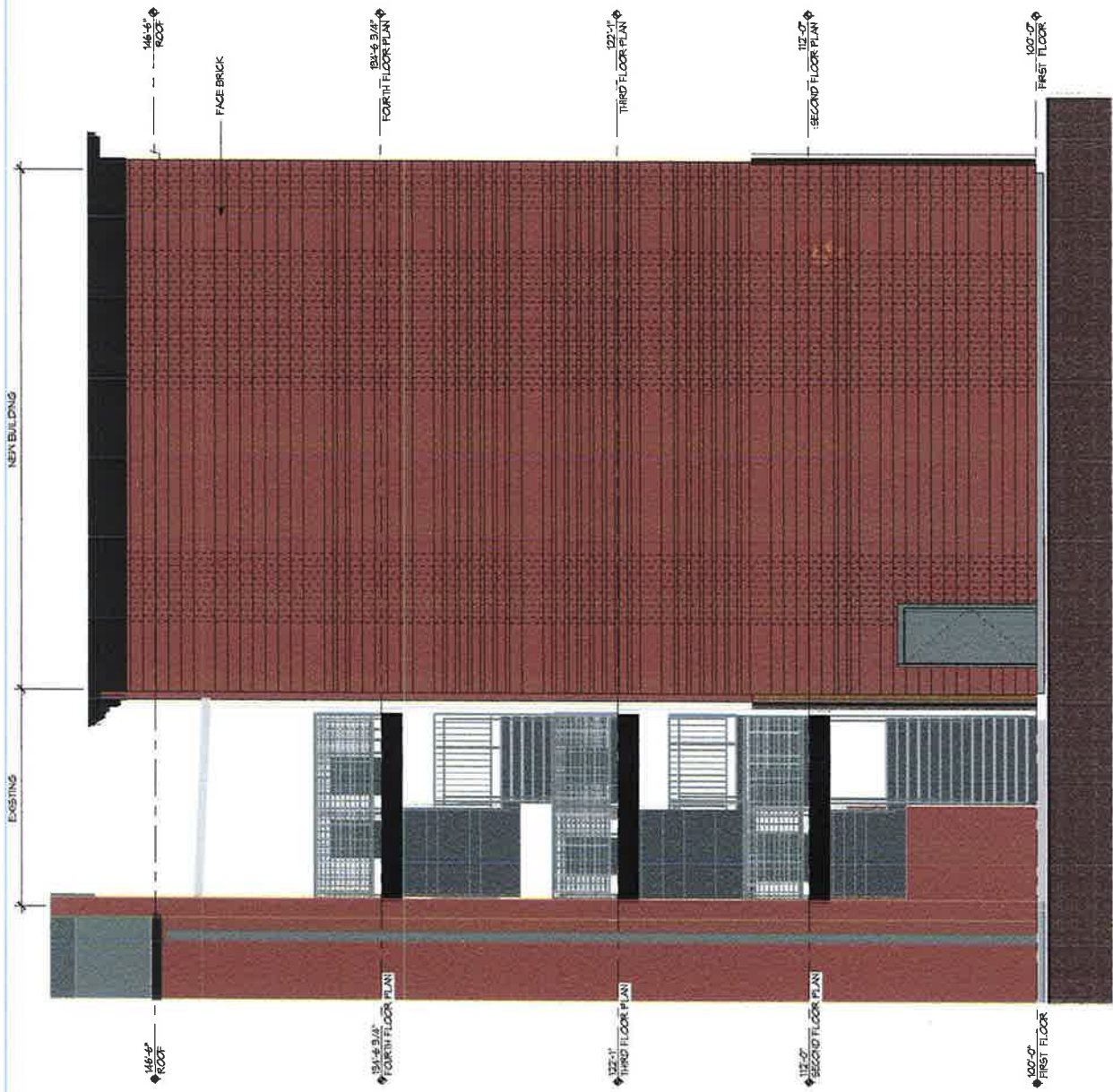
PRELIMINARY
NOT FOR CONSTRUCTION

HAXTON DISTRICT, PHASE 2
SE 2ND ST
BENTONVILLE, AR

Burr's
Architecture
300 N 2nd Street
Bentonville, AR 72715
479-636-3531

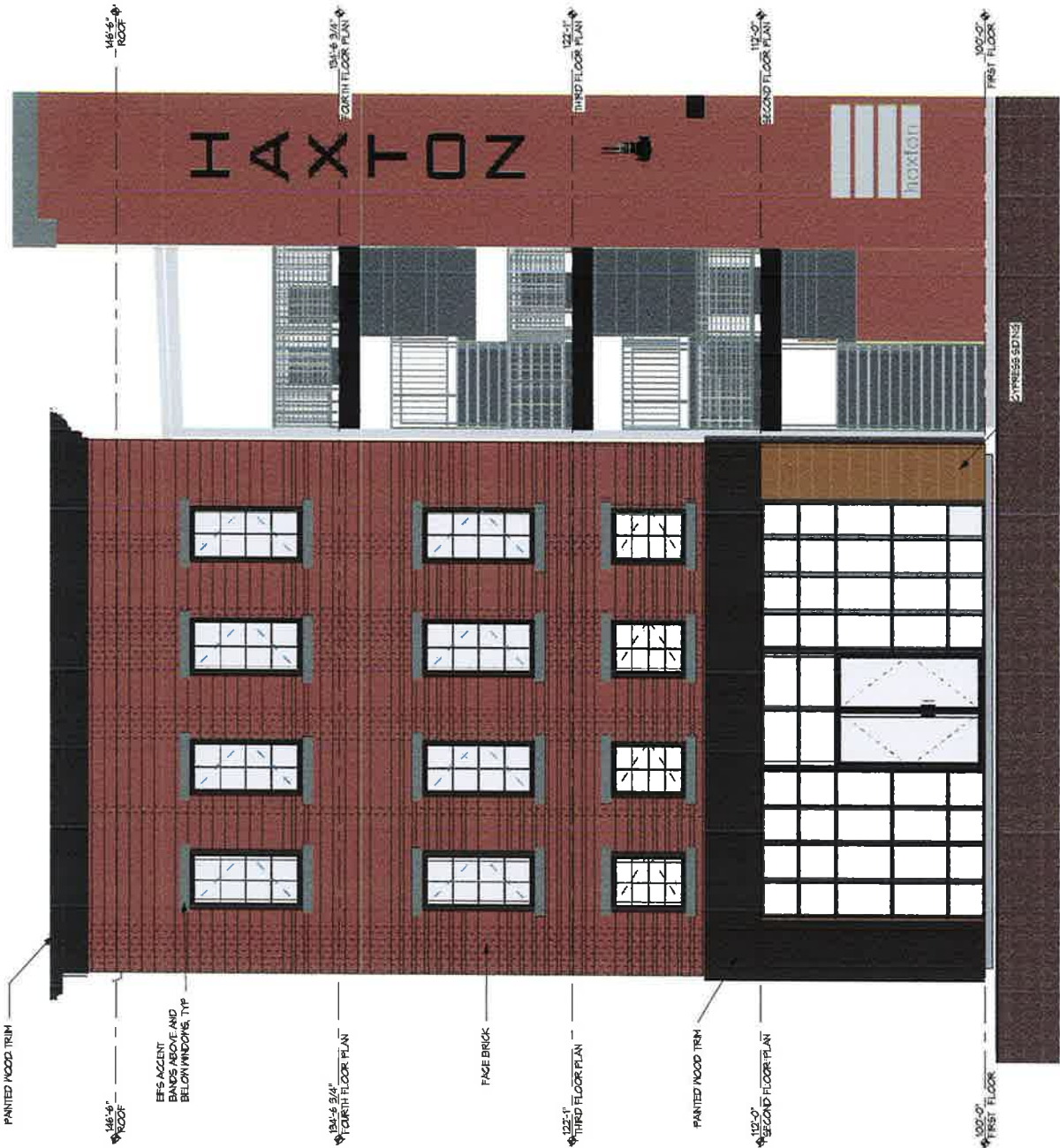
DATE	9-21-13
DRAWN BY	JB
REVISIONS	

A2.0
EXTERIOR ELEVATIONS



2 SOUTH ELEVATION
1/4" = 1'-0"

SOUTH SIDE "TRIM" = 5/8"



1 NORTH ELEVATION
1/4" = 1'-0"

NORTH SIDE "TRIM" = 5/8"

