



**Planning Commission
Agenda
April 18, 2017**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**
 - 1. Lots 18, Block 3, Braithwaite Addition** **Lot Split**
1802 Oakwood Avenue
 - 2. Lots 16, Block 1, Dunn & Davis Addition** **Property Line Adjustment**
505 Southwest 'B' Street
 - 3. Verneti Law Group** **Large Scale Development**
3900 East Central Avenue
 - 4. Bentonville Merchant North** **Large Scale Development**
3904 East Central Avenue
 - 5. Bentonville Merchant South** **Large Scale Development**
3902 East Central Avenue
- IV. New Business**
 - 1. Bentonville Film Festival** **Conditional Use***
312 North Main Street
 - 2. Arvest Bank** **Large Scale Development**
405 North Walton Boulevard
 - 3. Cadence Group** **Large Scale Development**
517 Southwest 'B' Street
 - 4. North Village** **Preliminary Plat**
Northeast 'J' Street
 - 5. Project Maple** **Large Scale Development**
5800 Southwest Regional Airport Boulevard
- V. Other Business**
- VI. Planner's Report**
- VII. Adjournment**

Planning Commission
Minutes
April 4, 2017

Meeting called to order at 5:00 p.m. by Greg Matteri, Chairman.

Present: Joe Haynie, Scott Eccleston, Greg Matteri, Jim Grider, Tregg Brown, Richard Binns, and Rod Sanders

Staff: Troy Galloway, Beau Thompson, and Jon Stanley

Motion by Mr. Eccleston, seconded by Mr. Grider to approve the minutes of March 21, 2017 as written
Approved 7-0

Consent Agenda

- | | |
|---|------------------|
| 1. Lot 209 Bentonville Original Subdivision (17-05000006)
224 North Main Street | Lot Split |
| 2. Lots 19 & 20, Block 4, Railroad Addition (17-05000007)
222 & 224 Southeast 2 nd Street | Lot Split |
| 3. Lots 26, 27 & 28, Block 5, Dunn & Davis Addition (17-05000008)
601 Southwest 'C' Street | Lot Split |
| 4. Cornerstone Ridge Subdivision Phase 7 (17-08000003)
Southwest Rainbow Farm Road | Preliminary Plat |
| 5. Wildwood Subdivision Phase 6 (17-03000002)
Southwest Morning Star Road | Final Plat |

Approved 7-0

Old Business

Item #1

I Street Luxury Apartments: Large Scale Development, 4000 Southwest Modern Way (17-06000009)

Jon Stanley reads staff report

Mr. Thompson is ok with an exit only on the south side, as most of the traffic will be heading south.

Mr. Matteri asks about drainage into the Community Center property. Mr. Thompson states the applicant will be detaining on-site before releasing into the ponds. The design and structural standards are being met.

Approved 7-0

New Business

Item #1

PMD Enterprises, LLC: Rezoning, Rice Lane & Rice Road, A-1, Agricultural to C-2, General Commercial (17-09000014)

Jon Stanley reads staff report

Opened public hearing

Patrick Foy, with Morrison-Shipley Engineering, states that additional screening will be provided along Rice Road. He also shared elevations. He states that this specific rezoning request is for the first two buildings.

Cindy Shaw, of 1702 Northeast Chaucer Street, states she does not understand the layout. Mr. Thompson explains where the residences are in relation to the proposed commercial zoning. He also explains that today, the Commission is just looking at rezoning the property, that plans will come later on what the buildings will actually look like.

Mr. Thompson states that he has been working with Mr. Foy on providing greenspace with evergreen trees and utilizing city streetlights in addition to parking lot lights.

Mr. Binns is concerned about the property being zoned C-2 next to residential houses. Mr. Thompson said that C-2 zoning is the appropriate zoning request. C-1 would not work. The Planning Department feels it is a good use as it reduces traffic going into the core of the City. Mr. Thompson states that the applicant will have to come back and request additional rezonings to further develop the rest of the property.

Chuck Shaw, of 1702 Northeast Chaucer Street, states that Grammercy Park was not notified. He also questions the property values once this is rezoned. Mr. Matteri and Mr. Thompson state that they do not know that it would affect the property values as they are not experts in that matter, but that this will allow more people to work closer to home.

Nikki Done, of 2901 Northeast 12th Street, states that she has previously had her yard torn up from sewage and has been unable to put a fence up. Mr. Thompson cannot speak to whether her yard will continue to be torn up; they will have to look at the construction work and see what off-site work will need to be done. He states that there is most likely an easement in her front yard. Mr. Matteri states that they do not know the impact the construction will have on the surrounding areas as plans have not been submitted yet.

Closed public hearing

Approved 7-0

Item #2

Riggins Commercial Construction & Development: Rezoning, Southwest Rainbow Farm Road, R-O, Residential Office to R-1, Single Family Residential (17-09000015)

Jon Stanley reads staff report

Opened public hearing

No public comments

Closed public hearing

Approved 7-0

Item #3

Faciszewski: Rezoning, Northeast Monroe Street, R-1, Single Family Residential to DN-2, Downtown Medium-Density Residential (17-09000016)

Jon Stanley reads staff report

Opened public hearing

No public comments

Closed public hearing

Approved 7-0

Item #4

Central Investments, LLC: Rezoning, 1602 East Central Avenue, I-2, Heavy Industrial to C-2, General Commercial (17-09000017)

Jon Stanley reads staff report

Opened public hearing

No public comment

Closed public hearing

Mr. Brown asks what the benefit is from going Industrial to General Commercial. Mr. Thompson states that they will have reduced setbacks.

Approved 7-0

Item #5

8th Street Market Outdoor Vendor Park: Conditional Use, 801 Southeast 8th Street (17-02000004)

Jon Stanley reads staff report

Opened public hearing

Daniel Hintz, developer of the project, states that the bathrooms will be in the 8th Street Market area.

Closed public hearing

Approved 7-0

Planner's Report

Mr. Thompson reminds the Commissioners of the Planning Commission and City Council workshop on April 13th.

Meeting adjourned

Ali Worley

*A full recording of this meeting can be obtained from the City of Bentonville Planning Department.

LOT SPLIT STAFF REPORT



Lot 18, Block 3 Braithwaite Park Addition 1802 Oakwood Avenue

PC Date: 4/18/2017

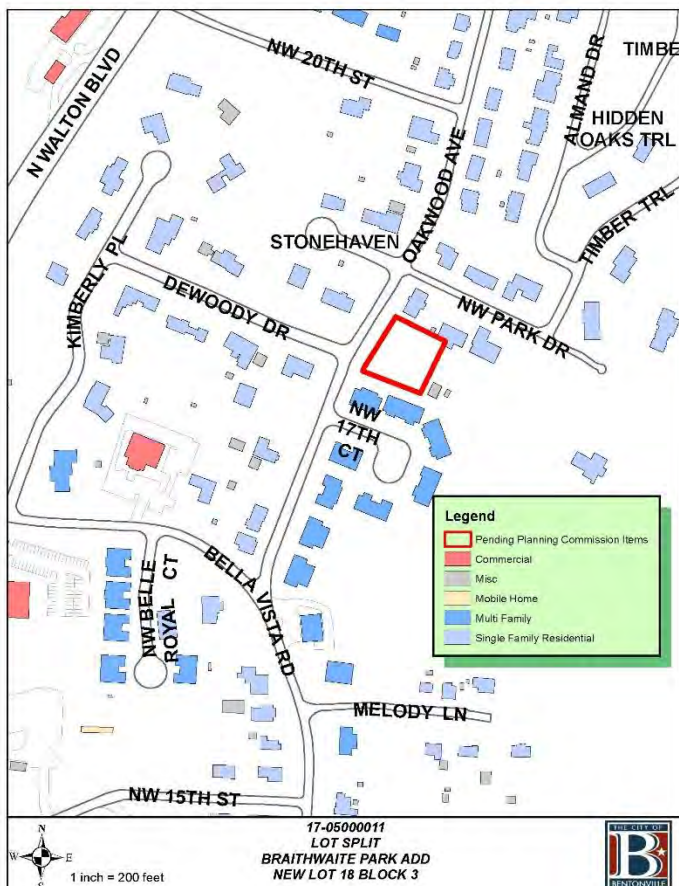
Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-05000011
Applicant / Current Owner	Jason McNabb 411 NW 'C' Street Bentonville, AR 72712
Site Area	0.55 acres
Current Zoning	R-1, Single Family Residential
Future Land Use Map Designation	Low Density Residential (LDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of a vacant single-family lot in an established single-family neighborhood.

Project Details

The applicant has submitted a lot split that will create one lot from three parcels. The new lot will be known as Lot 18 (1.54 acres), Block 3 of Braithwaite Park Addition. Per the requirements of the current Master Street Plan, right-of-way will be dedicated along Oakwood Avenue. A 20' wide public utility easement will also be dedicated along Oakwood Avenue. The new lot will have access to public utilities and a public street.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required for this lot split.

Waivers

No waivers requested.

Standard Conditions of Approval

1. Provide digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

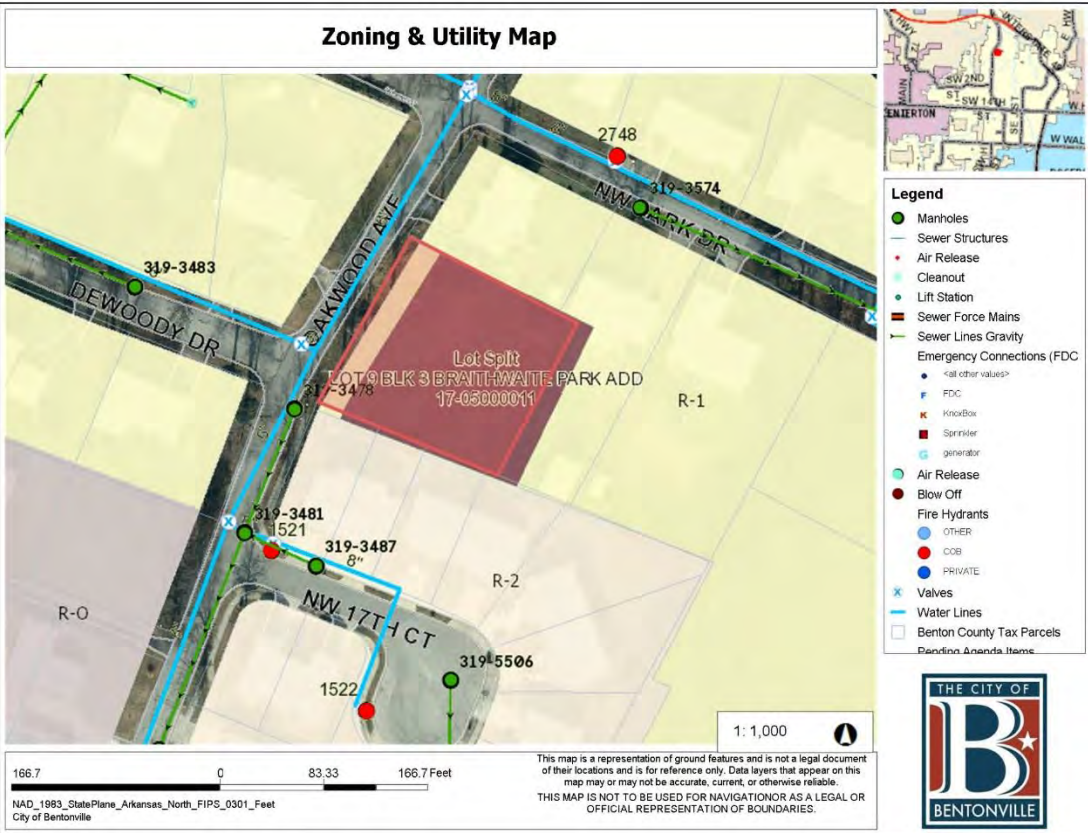
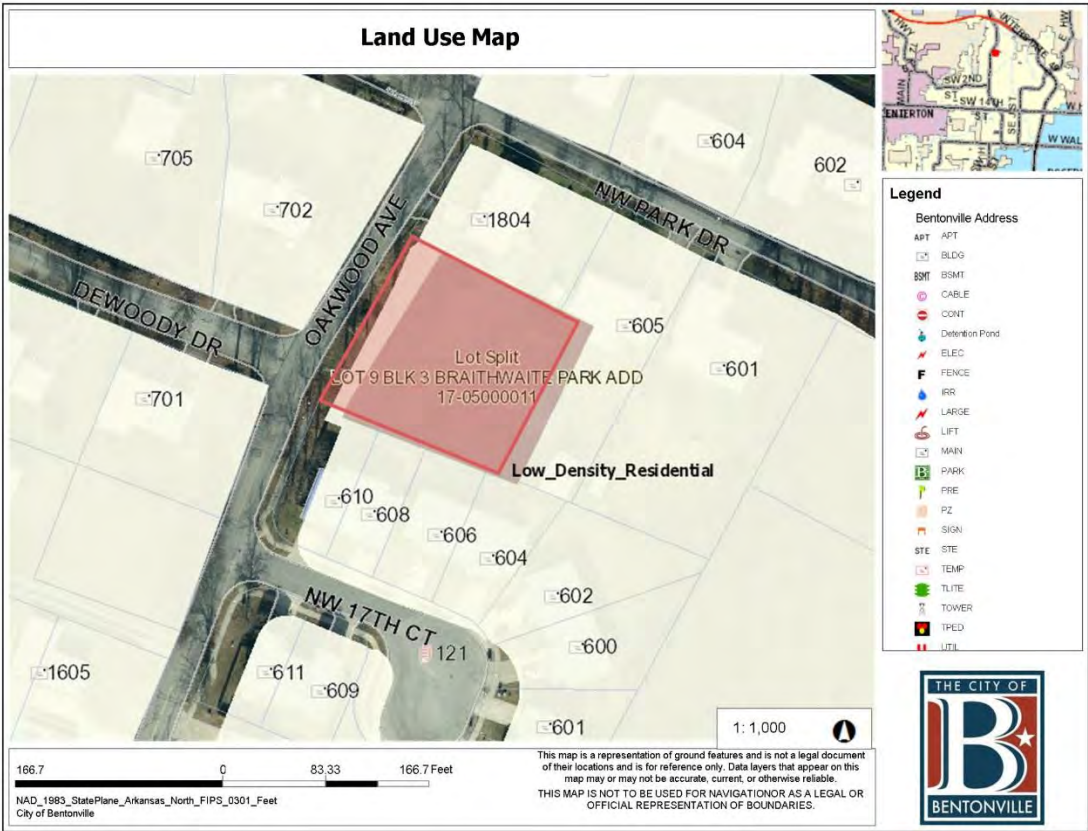
Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT



PROPERTY LINE ADJUSTMENT STAFF REPORT



Lot 16, Block 1, Dunn & Davis Addition 505 SW 'B' Street

PC Date: 4/18/2017

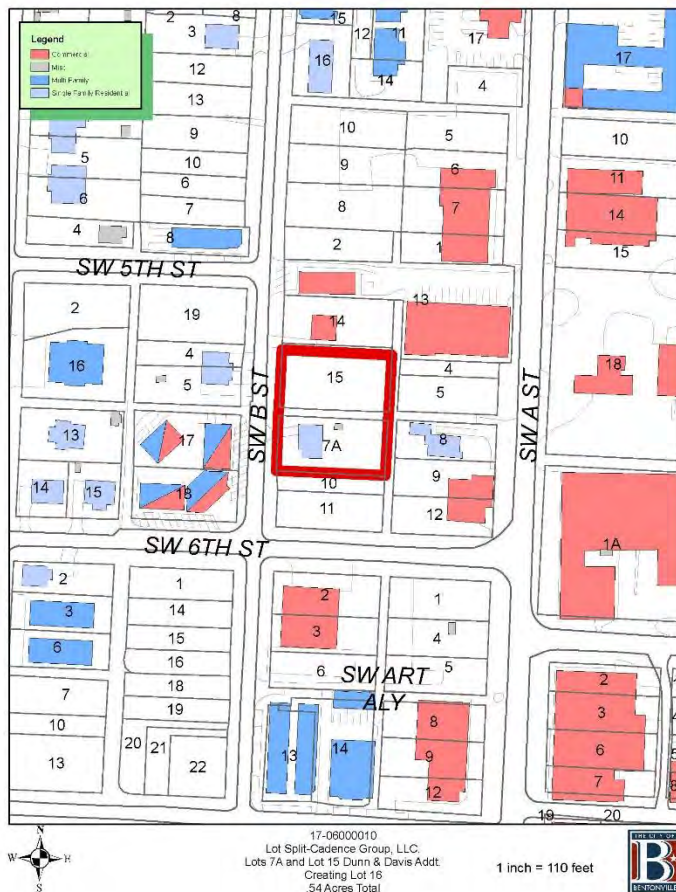
Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-05000010
Applicant / Current Owner	Cadence Group, LLC 101 SE 'G' Court Bentonville, AR 72712
Site Area	0.54 acres
Current Zoning	DC, Downtown Core
Future Land Use Map Designation	Mixed Use (MU)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

The property is vacant and located in a rapidly redeveloping Mixed-Use area in Southwest downtown.

Project Details

The applicant has submitted a property line adjustment creating one lot from two existing lots. The new lot will be known as Lot 16 (0.54 acres), Block 1 of Dunn & Davis Addition. The plats as submitted indicates a portion of the existing public alley along the common lot line of the two existing lots, this vacation will require City Council approval. The plat also show the dedication of a 12' public alley along the northern lot line of the new Lot 16. Per the current Master Street Plan requirements right-of-way is being dedicated along SW 'B' Street. The new lot will have access to public utilities and a public street.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required for this property line adjustment.

Waivers

No waivers requested.

Standard Conditions of Approval

1. Provide digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

Conclusion

This property line adjustment does meet the minimum requirements of the subdivision regulations.

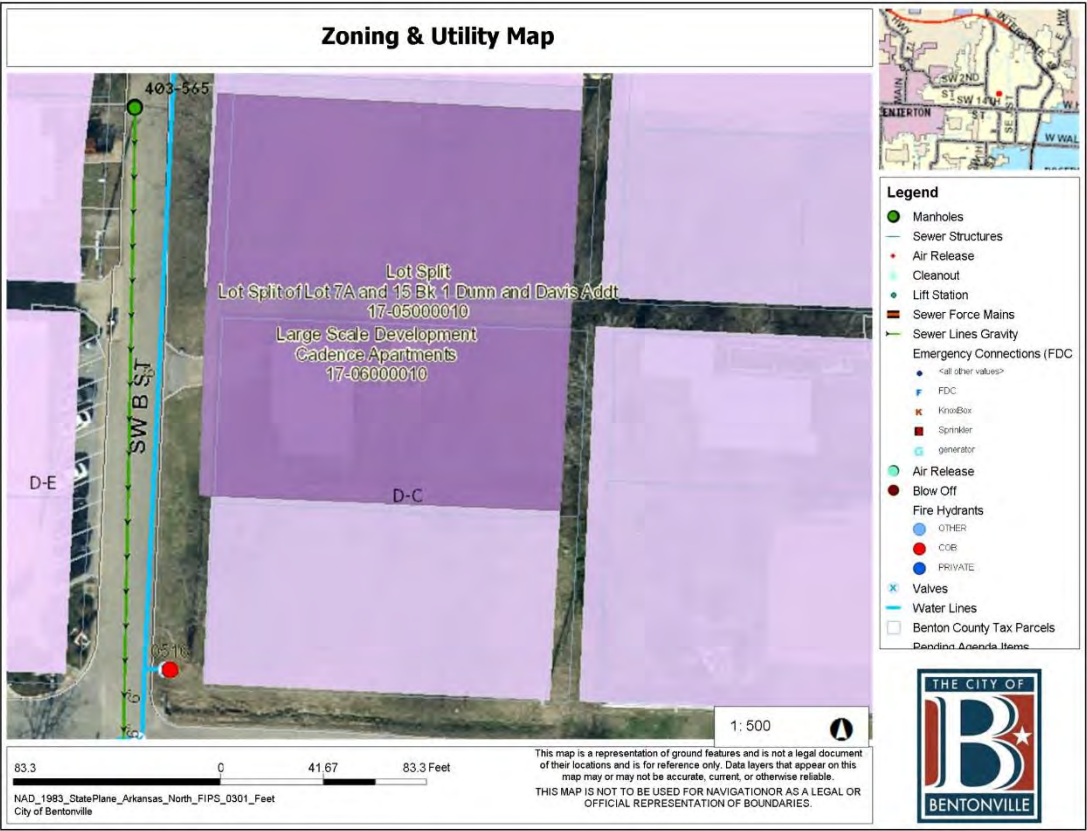
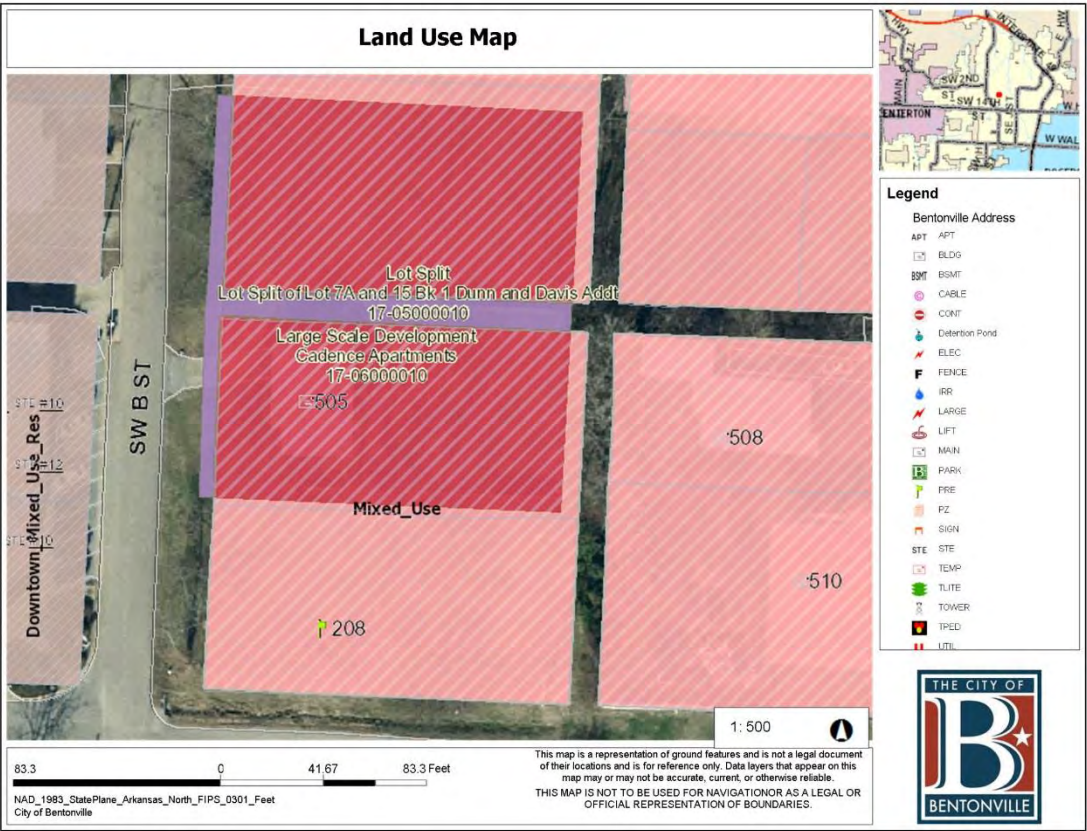
Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

PROPERTY LINE ADJUSTMENT STAFF REPORT



LARGE SCALE DEVELOPMENT STAFF REPORT



Vernetti Law Group

3900 East Central Avenue

PC Date: 4/18/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-06000013
Applicant / Current Owner	Kensington Square, LLC 400 Saddle Brook Drive Bentonville, AR 72712
Site Area	0.42 acres
Current Zoning	R-O, Residential Office
Future Land Use Map Designation	Low Density Residential (LDR)
Development Type / Use	Law Office

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is vacant and located near the entrance into Kensington Subdivision. It is adjacent to State Highway 72 which carries in excess of 9,500 cars per day.

Project Details

The applicant is proposing a large scale development that consists of a single story, 2,400 sq. ft. office building located at 3900 East Central Avenue. Eight parking spaces are being provided. Ingress/egress will be from a single curb cut onto NE Kenwood Drive. This curb cut, street construction and the sidewalk along Highway 72 will be constructed with the development of the commercial subdivision as indicated on the approved preliminary plat. The exterior elevations depict brick and stone veneer.

Projected Traffic Impact

The proposed development will not adversely affect traffic in the area. A law office at this location will have limited impact on the current traffic volume.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

No waivers requested.

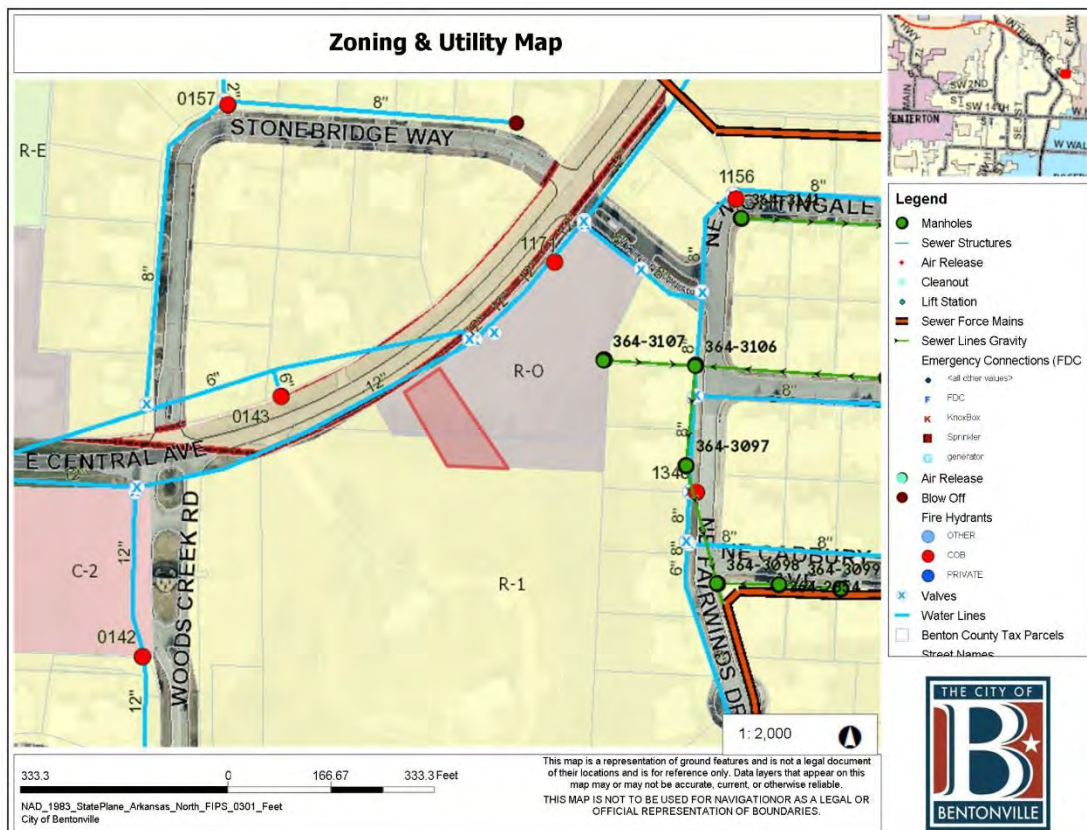
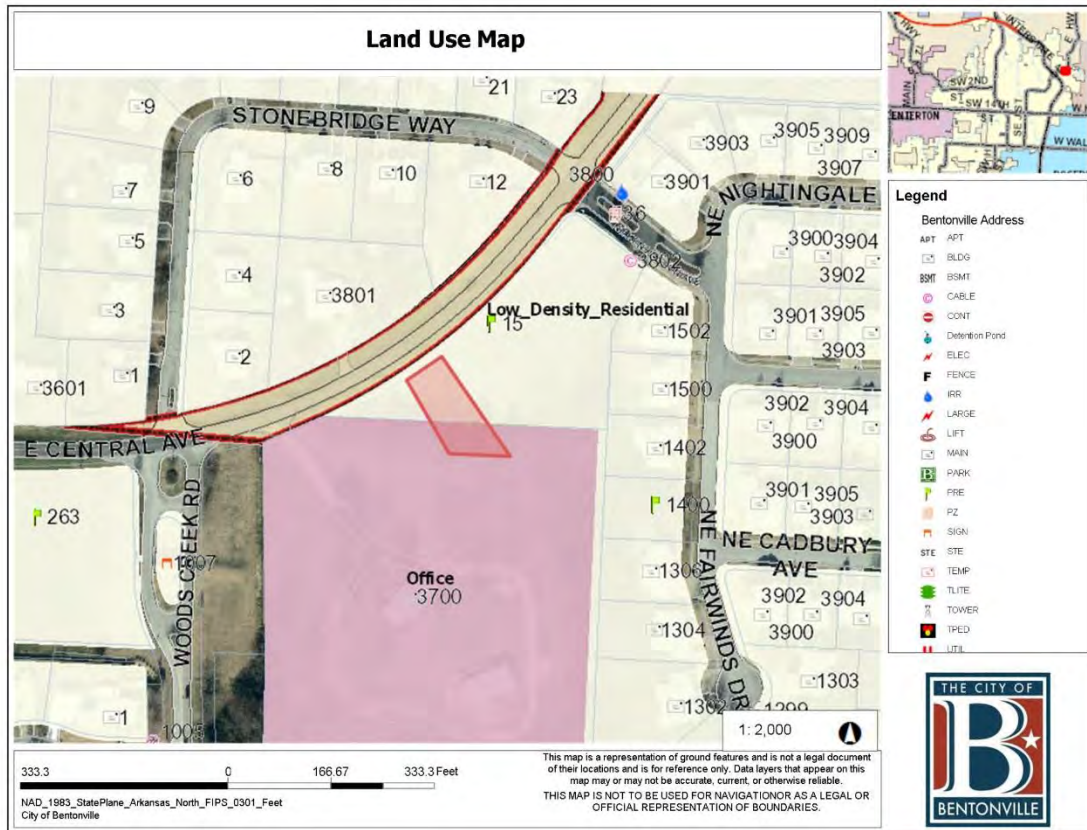
Conclusion

This large scale development does meet the minimum requirements of the subdivision regulations.

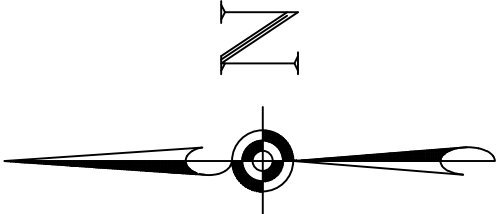
Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

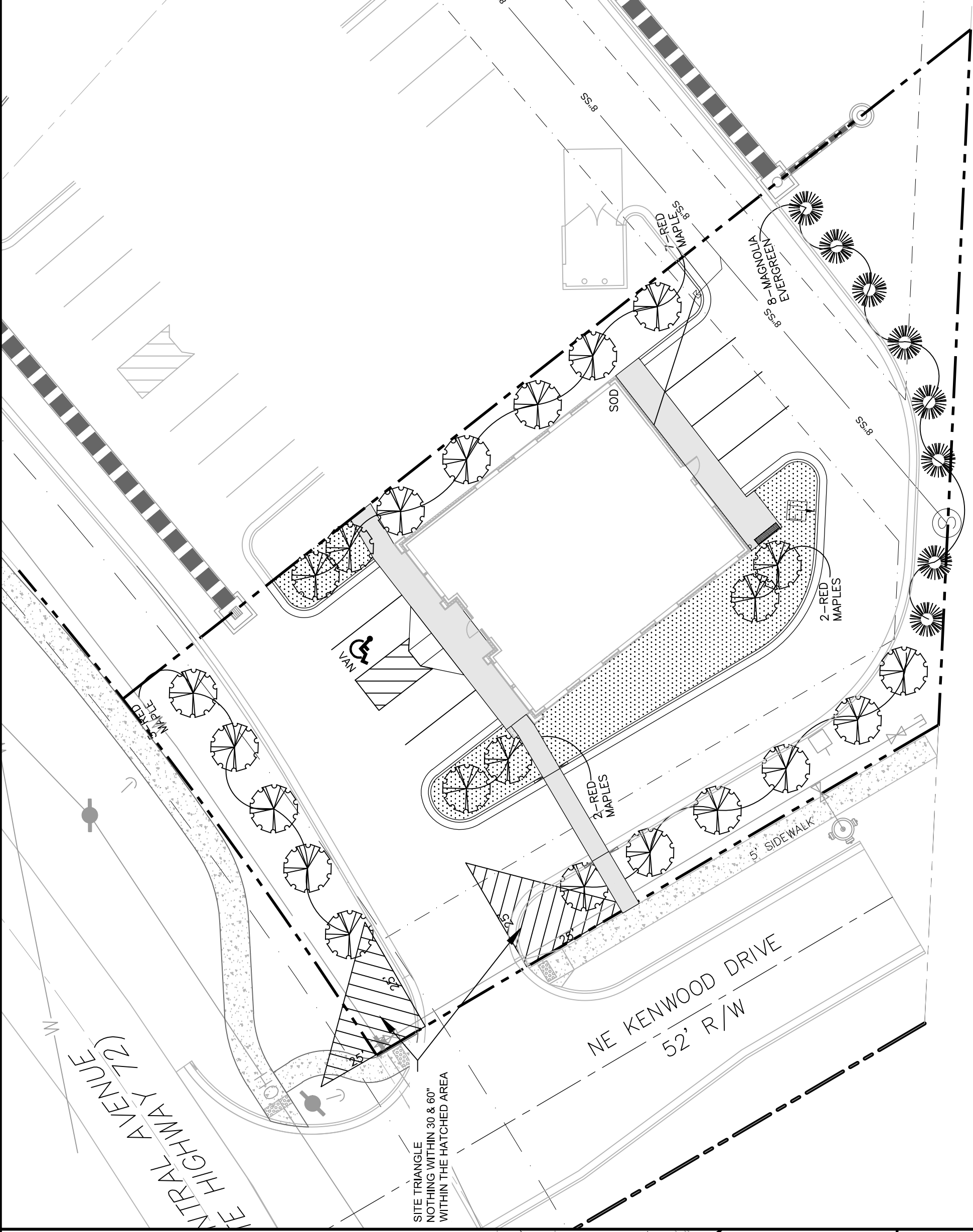
LARGE SCALE DEVELOPMENT STAFF REPORT



VERNETTI LAW GROUP
LOT 67 KENSINGTON SQUARE
HWY 72 - BENTONVILLE, ARKANSAS



SCALE: 1" = 20'



LANDSCAPE NOTES

1. PLANTS DESIGNATED "B&B" SHALL BE BALLED AND BURLAPPED. THEY SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS, AND PRESERVING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT.
2. ONLY "HEMP" BURLAP AND TWINE SHALL BE USED. NO TREATED OR PRESERVED BURLAP OR TWINE IS ALLOWED. ALL HEMP TWINE SHALL BE COVERED WITH MOIST SOIL, MULCH OR OTHER PROTECTION FROM ARSINUS. ALL PLANTS SHALL BE WATERED BY THE LANDSCAPE CONTRACTOR AS NECESSARY UNTIL THEY HAVE TAKEN HOLD.
3. NO PLANT SHALL BE BOUND WITH WIRE OR ROPE AT ANY TIME. SO AS TO DAMAGE THE BARK OR DISFIGURE THE BRANCHES.
4. ALL PLANTS SHALL BE HANDLED SO THAT ROOTS ARE ADEQUATELY PROTECTED AT ALL TIMES DURING SHIPMENT. THE ENTIRE PLANT SHALL BE COVERED WITH MOIST MULCH OR OTHER PROTECTIVE COVERING. PLANT MATERIAL SUFFERING FROM WIND BURN OR OTHER DAMAGE IS NOT ACCEPTABLE.
5. ALL PLANTS SHALL BE PLACED IN A PARTICULAR PROCESS OF PLANTING, OR WHEN BURLAP STAKES, ROPES, OR BALLS IS CRACKED OR BROKEN EITHER BEFORE OR DURING THE PLANTING.
6. MATERIAL SCHEDULE ARE A GENERAL GUIDE FOR THE MINIMUM DESIRED SIZE OF EACH PLANT.
7. PLANTS SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS TO ALL PLANT BEDS PRIOR TO PLANTING.
8. THE QUANTITY INDICATED FOR EACH PLANT SHALL NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND SHALL VERIFY THE QUANTITY OF PLANTS REQUIRED PRIOR TO ORDERING.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROTOTILLING ALL PLANTING BEDS TO A MINIMUM DEPTH OF 12" TOP SOIL AND PEAT MOSS. ONE SIX CUBIC FOOT BALE PER 75 SQ. FT. OF BED AREA. TOP SOIL SHALL BE REPLACED WITH HEALTHY LIVING MATERIAL. PLANT MATERIAL THAT DOES NOT MEET THE SPECIFICATIONS OF THE MANUFACTURER SHALL BE REPLACED. (SEC 1400.5.C-10)
10. TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING SHALL BE DONE AS NECESSARY. (SEC 1400.5.C-11)
11. MAINTENANCE PURPOSES, (SEC 1400.5.C-11)
12. HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING SHALL BE DONE AS NECESSARY. (SEC 1400.5.C-12)
13. LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUND COVER, SHALL BE PLANTED OR LAYED DOWN WITHIN THE HUNDRED PERCENT (100%) OF THE PLANTING ISLANDS. (SEC 1400.5.C-13)
14. ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES.

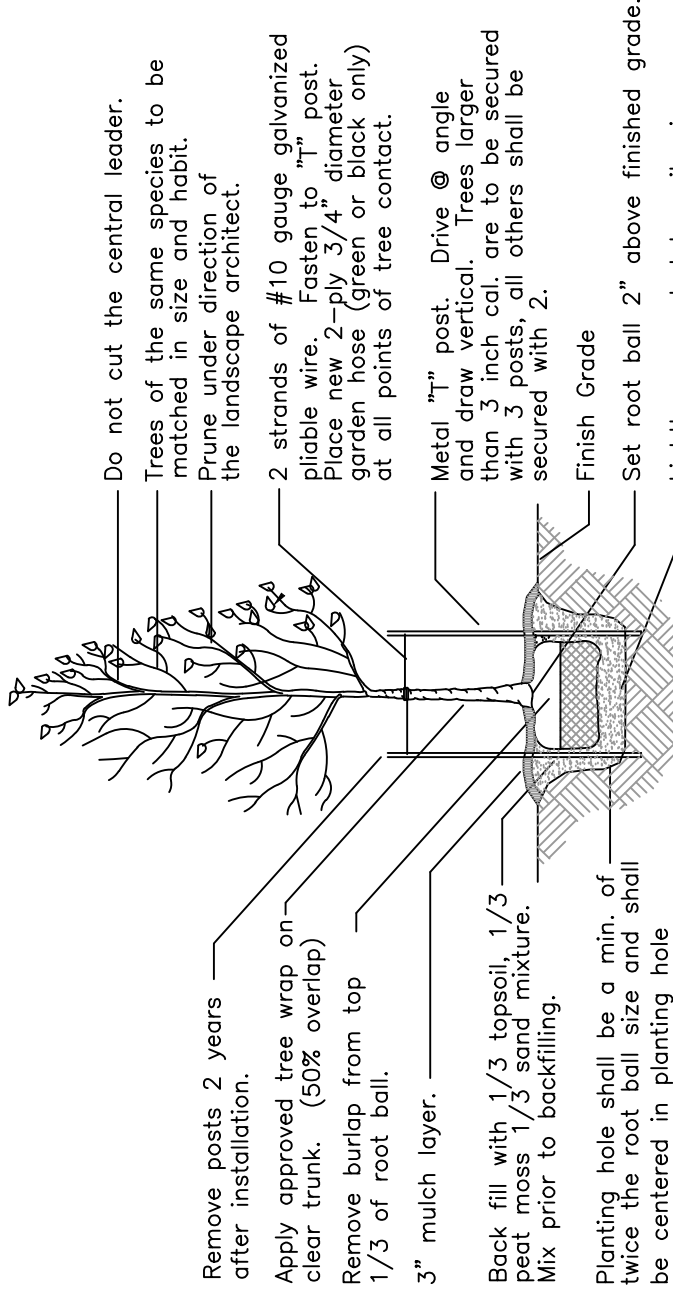
IRRIGATION NOTE:
UNLESS AN IRRIGATION SYSTEM IS INSTALLED, HOSE BIBS ARE TO BE LOCATED ON THE EXTERIOR WALLS OF THE BUILDING TO ALLOW FOR LANDSCAPE WATERING WITHIN 100' OF ALL PLANT MATERIAL.

SITE TRIANGLES OF PLANTINGS WITHIN THE SITE TRIANGLE AREA BETWEEN THE HEIGHTS OF 30' AND 60'.

PLANT MATERIAL SCHEDULE

Quantity	Symbol	Common Name	Scientific Name	Planting Size (min)	Mature Height
8	●	Southern Magnolia	Magnolia grandiflora	2.5" Caliper B&B	90 ft
18	●	Red Maple	Acer rubrum 'Red Sunset'	2.5" Caliper B&B	50 ft

ALL PLANT MATERIALS SHALL MEET THE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK. CONTRACTOR SHALL GUARANTEE PLANT MATERIALS TO THE DEVELOPER FOR 18 MONTHS FROM THE DATE OF PROVISIONAL ACCEPTANCE BY OWNER. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND MAINTENANCE OF ALL INSTALLED PLANT MATERIAL UNTIL ACCEPTANCE.



TREE PLANTING

NIS

NO	DATE	DESCRIPTION	REVISIONS

PRELIMINARY

FOR CONSTRUCTION

DRAWN BY: KVB

CHECKED BY: WEG

LANDSCAPE PLAN

5 of 8

BENTONVILLE ID 17-06000013

PRELIMINARY
NOT FOR CONSTRUCTION

KENNINGTON -D
BENTONVILLE, AR, AR
HWY 72

Burris
Architecture
820 Tiger Blvd, Suite 4, Bentonville, AR 72712
479-319-6045



DATE	2-24-17
JOB NO.	10090
REVISIONS	

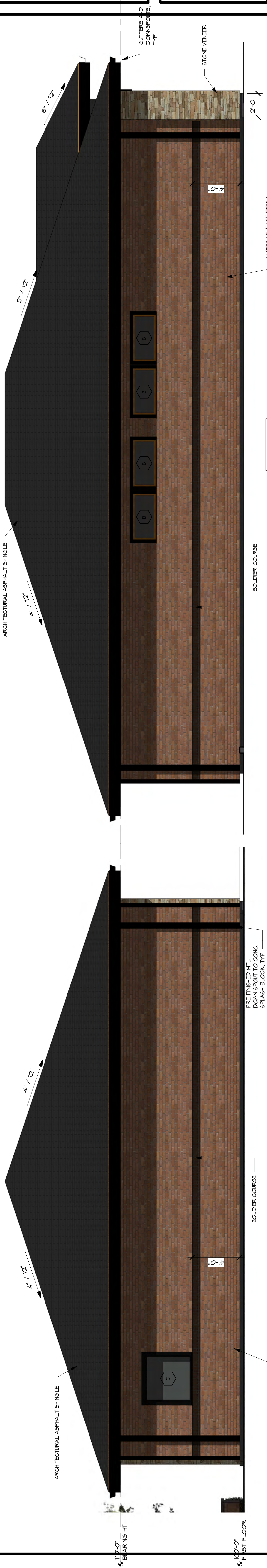
C1.0
COLOR ELEVATIONS



4 WEST ELEVATION Copy 1
1/4" = 1'-0"



2 NORTH ELEVATION Copy 1
1/4" = 1'-0"



3 SOUTH ELEVATION Copy 1
1/4" = 1'-0"

1 EAST ELEVATION Copy 1
1/4" = 1'-0"

LARGE SCALE DEVELOPMENT STAFF REPORT



Bentonville Merchant North

3904 East Central Avenue

PC Date: 4/18/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-06000015
Applicant / Current Owner	Kensington Square, LLC 400 Saddle Brook Drive Bentonville, AR 72712
Site Area	0.34 acres
Current Zoning	R-O, Residential Office
Future Land Use Map Designation	Low Density Residential (LDR)
Development Type / Use	Office Building (<4,000 sq. ft.)

Property Description

This property is vacant and located near the entrance into Kensington Subdivision. It is adjacent to State Highway 72 which carries in excess of 9,500 cars per day.

Project Details

The applicant is proposing a large scale development that consists of a single story, 2,400 sq. ft. office building located at 3904 East Central Avenue. Eight parking spaces are being provided. Ingress/egress will be from a single curb cut onto NE Kenwood Drive. This curb cut, street construction and the sidewalk along Highway 72 will be constructed with the development of the commercial subdivision as indicated on the approved preliminary plat. The exterior elevations depict brick and stone veneer.

Projected Traffic Impact

The proposed development will not adversely affect traffic in the area. A small scale office building at this location will have limited impact on the current traffic volume.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

No waivers requested.

Conclusion

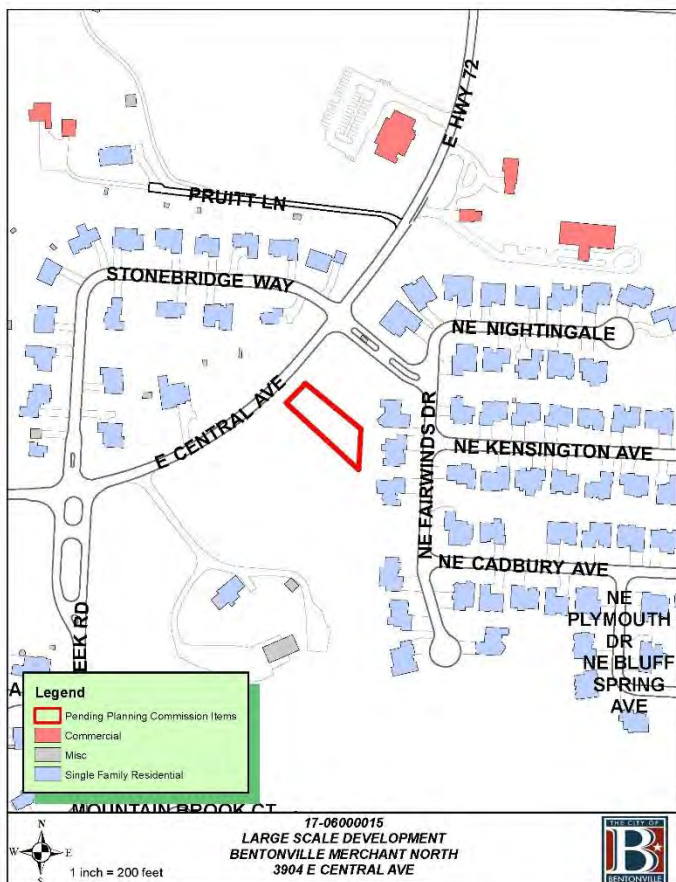
This large scale development does meet the minimum requirements of the subdivision regulations.

Recommendation

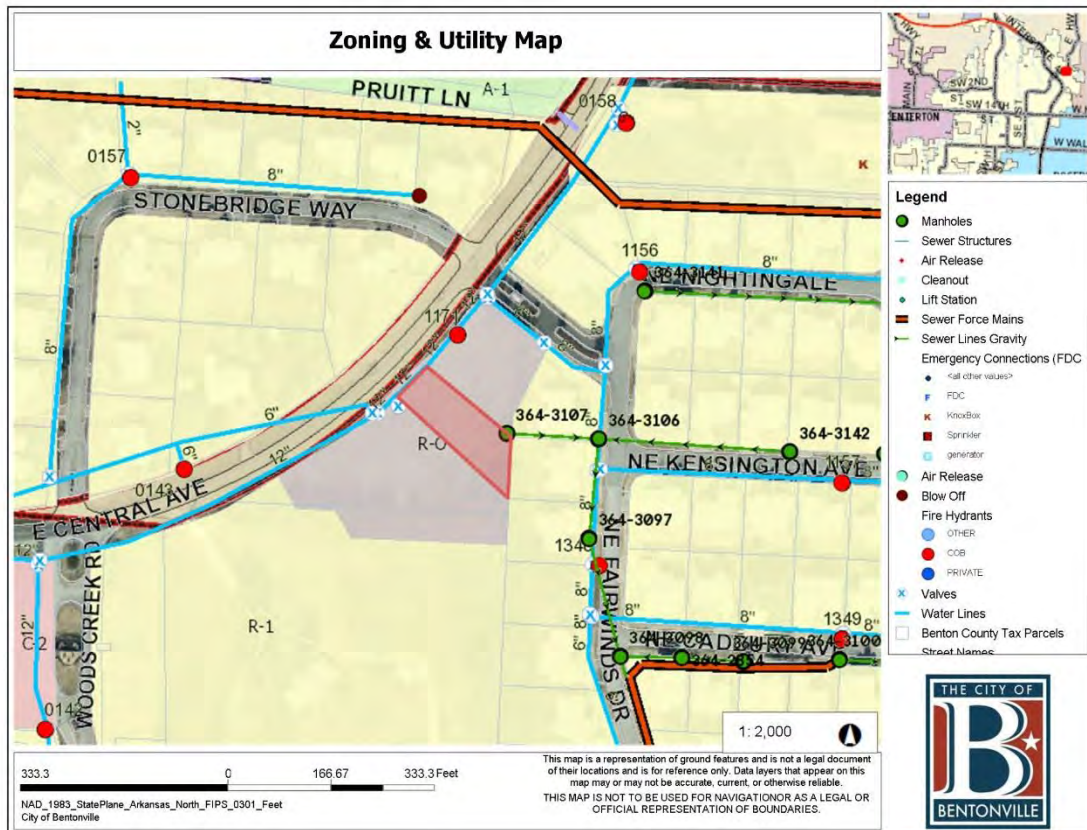
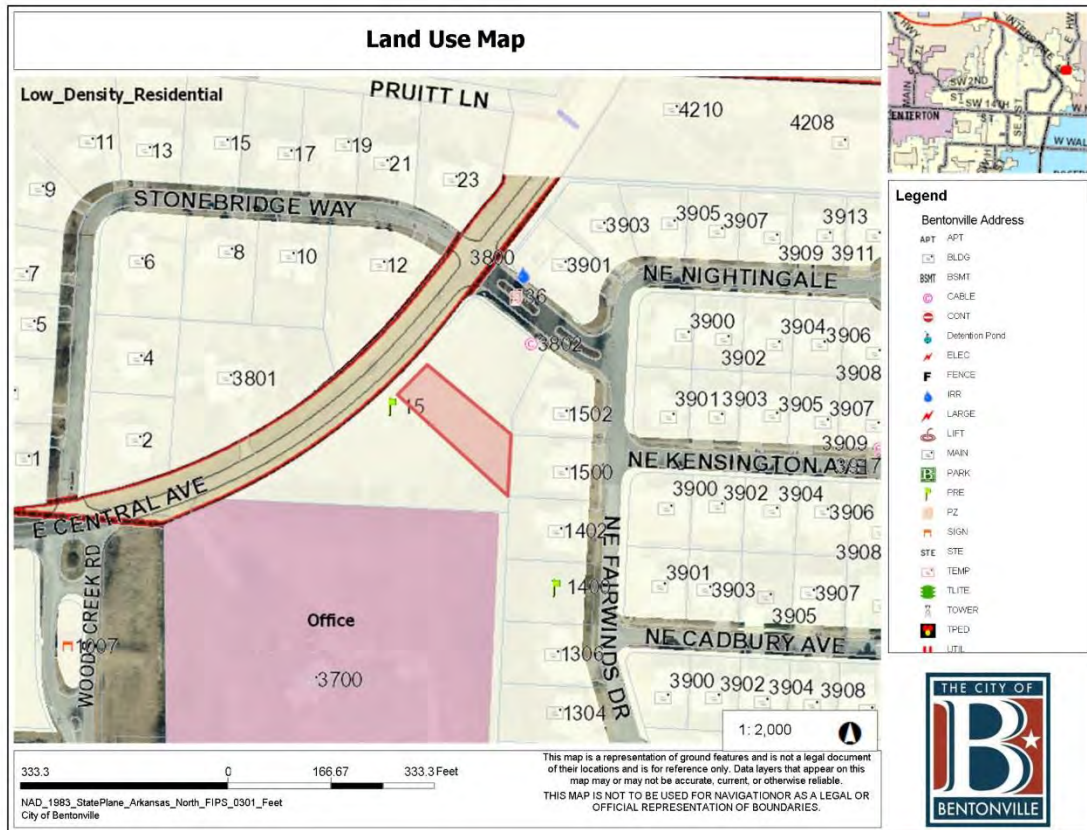
Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



LARGE SCALE DEVELOPMENT STAFF REPORT



BENTONVILLE MERCHANT - NORTH

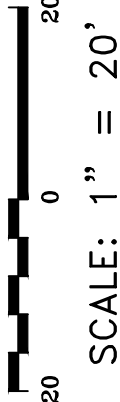
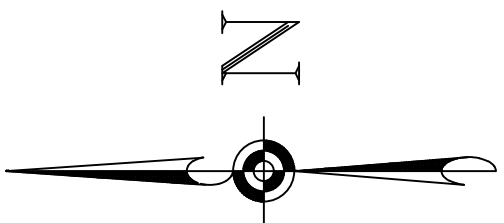
LOT 65 KENSINGTON SQUARE

HWY. 72 - BENTONVILLE, ARKANSAS

NO	DATE	DESCRIPTION

PRELIMINARY

FOR CONSTRUCTION	
DRAWN BY: KWB	CHECKED BY: WEG
LANDSCAPE PLAN	
5 of 8	



LANDSCAPE NOTES

1. PLANTS DESIGNATED "B&B" SHALL BE BALED AND BURLAPPED. PLANTS DESIGNATED "S&B" SHALL BE SHROUDED WITH A FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. "HEMP" BURLAP OR TWINE SHALL BE USED. NO TREATED OR PRESERVED BURLAP OR TWINE IS ALLOWED. ALL HEMP TWINE ATTACHED TO THE TREE TRUNK IS TO BE REMOVED AFTER PLANTING.
2. PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE WATERED BY THE LANDSCAPE CONTRACTOR AS NECESSARY UNTIL PLANTING.
3. PLANTS SHALL BE PLANTED IMMEDIATELY AFTER DELIVERY AS TO DAMAGE THE BARK OR DISFIGURE THE BRANCHES.
4. TREE BALLS SHALL HAVE A DIAMETER EQUAL TO 10" PER CALIPER INCH OF THE TREE TO BE TRANSPLANTED. ROOTS ARE ADEQUATELY PROTECTED AT ALL TIMES DURING SHIPMENT. THE ENTIRE PLANT SHALL BE PROTECTED BY TARPULINS OR OTHER SUITABLE DAMAGE IS NOT ACCEPTABLE.
5. BALED AND BURLAPPED MATERIAL SHALL NOT BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN EITHER BEFORE OR DURING THE PLANTING PROCESS. BURLAP STAKES, ROPES, OR PLATFORM HAVE BEEN REMOVED.
6. DIMENSIONS FOR HEIGHT, SPREAD AND TRUNK, AS SPECIFIED ON THE PLANS, SHALL BE THE MINIMUM. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER PRECAUTIONS TO PREVENT DAMAGE TO SUCH SUBSURFACE IMPROVEMENTS. IN THE EVENT UTILITIES ARE ENCOUNTERED, THE LANDSCAPE CONTRACTOR SHALL PROMPTLY NOTIFY THE PROJECT MANAGER.
7. ANY SERIES OF TREES OR SHRUBS TO BE PLACED IN A PARTICULAR PLANTING BED SHALL BE PLACED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE QUANTITIES INDICATED ON THE DRAWINGS ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR BUT SHOULD NOT BE USED AS A BASIS FOR LIABILITY. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND SHALL ASSUME ALL LIABILITY ASSOCIATED WITH THOSE QUANTITIES OR ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
8. PLANTING BEDS TO A MINIMUM DEPTH OF 12" TOP SOIL AND PEAT MOSS ARE TO BE ADDED AT THE FOLLOWING RATES: PEAT MOSS, ONE (1) CUBIC YARD PER 150 SQ. FT. OF BED AREA; TOP SOIL, ONE (1) CUBIC YARD PER 150 SQ. FT. OF BED AREA.
9. ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REMOVED IMMEDIATELY (LOGS SHALL BE REMOVED WITHIN 72 HOURS).
10. TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR ALL PRUNING.
11. HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR ALL PRUNING.
12. LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUND COVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF THE PLANTING ISLANDS SHALL BE COVERED WITH LIVING MATERIALS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED. (SEC 1400.6.A-8 AND 1400.6.G-7)
13. ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES.

NOTICE: Installed landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)

Trees shall not be topped at any time and proper tree pruning techniques as established by the latest edition of ANSI A300 Standards for Tree Care shall be utilized for maintenance purposes. (Sec 1400.5.C-11)

Healthy trees shall not be removed at any time and proper tree pruning techniques as established by the latest edition of the ANSI A300 Standards for Tree Care shall be utilized for maintenance purposes. (Sec 1400.5.C-12)

Living materials, such as lawn, grass or herbaceous groundcovers shall be maintained in healthy living condition and one hundred percent (100%) of the planting islands. One Hundred percent (100%) of living materials is strongly encouraged. (Sec 1400.6.A-8 & 1400.6.G-7)

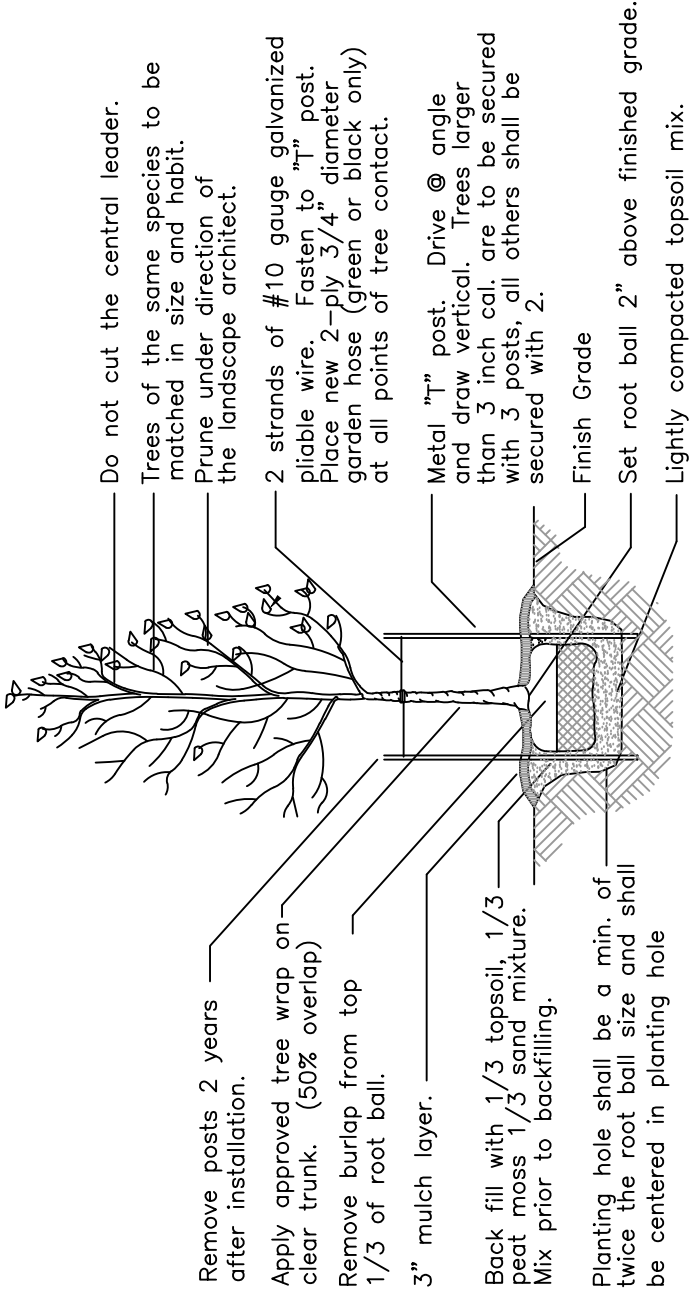
If irrigation is not installed, hose bibs must be located on the building, within 100' of all plantings.

PLANT MATERIAL SCHEDULE

Quantity	Symbol	Common Name	Scientific Name	Planting Size (min)	Mature Height
5	☉	Southern Magnolia	Magnolia grandiflora	8"-10" B&B (2.5" Cal)	90 ft
17	☉	Red Maple	Acer rubrum 'Red Sunset'	2.5" Caliper B&B	50 ft

ALL PLANT MATERIALS SHALL MEET THE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND MAINTENANCE OF ALL INSTALLED PLANT MATERIAL UNTIL ACCEPTANCE.

IRRIGATION NOTE: UNLESS AN IRRIGATION SYSTEM IS INSTALLED, HOSE BIBS ARE TO BE LOCATED ON THE EXTERIOR WALLS OF THE BUILDING TO ALLOW FOR LANDSCAPE WATERING WITHIN 100' OF ALL PLANT MATERIAL.



TREE PLANTING

NTS

PRELIMINARY
NOT FOR CONSTRUCTION

KENSINGTON B
HWY 72
BENTONVILLE, AR, AR

Burris
Architecture
820 Tiger Blvd, Suite 4, Bentonville, AR 72712
479-319-6045



DATE	2-24-17
JOB NO.	10090
REVISIONS	

C1.0
COLOR ELEVATIONS



4 WEST ELEVATION Copy 1
1/4" = 1'-0"



2 NORTH ELEVATION Copy 1
1/4" = 1'-0"



3 SOUTH ELEVATION Copy 1
1/4" = 1'-0"

1 EAST ELEVATION Copy 1
1/4" = 1'-0"

LARGE SCALE DEVELOPMENT STAFF REPORT



Bentonville Merchant South

3902 East Central Avenue

PC Date: 4/18/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-06000016
Applicant / Current Owner	Kensington Square, LLC 400 Saddle Brook Drive Bentonville, AR 72712
Site Area	0.68 acres
Current Zoning	R-O, Residential Office
Future Land Use Map Designation	Low Density Residential (LDR)
Development Type / Use	Office Building (<4,000 sq. ft.)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is vacant and located near the entrance into Kensington Subdivision. It is adjacent to State Highway 72 which carries in excess of 9,500 cars per day.

Project Details

The applicant is proposing a large scale development that consists of a single story, 3,834 sq. ft. office building located at 3902 East Central Avenue. Ten parking spaces are being provided. Ingress/egress will be from a single curb cut onto NE Kenwood Drive. This curb cut, street construction and the sidewalk along Highway 72 will be constructed with the development of the commercial subdivision as indicated on the approved preliminary plat. The exterior elevations depict brick and stone veneer.

Projected Traffic Impact

The proposed development will not adversely affect traffic in the area. A small scale office building at this location will have limited impact on the current traffic volume.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

No waivers requested.

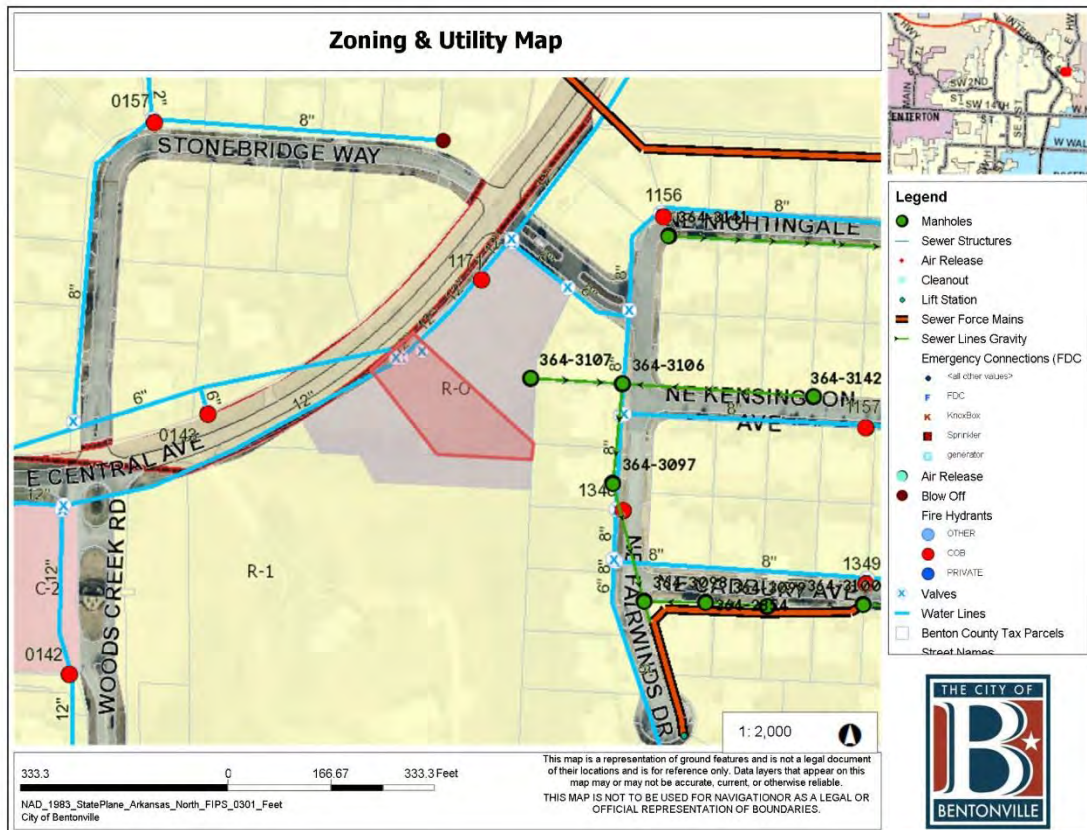
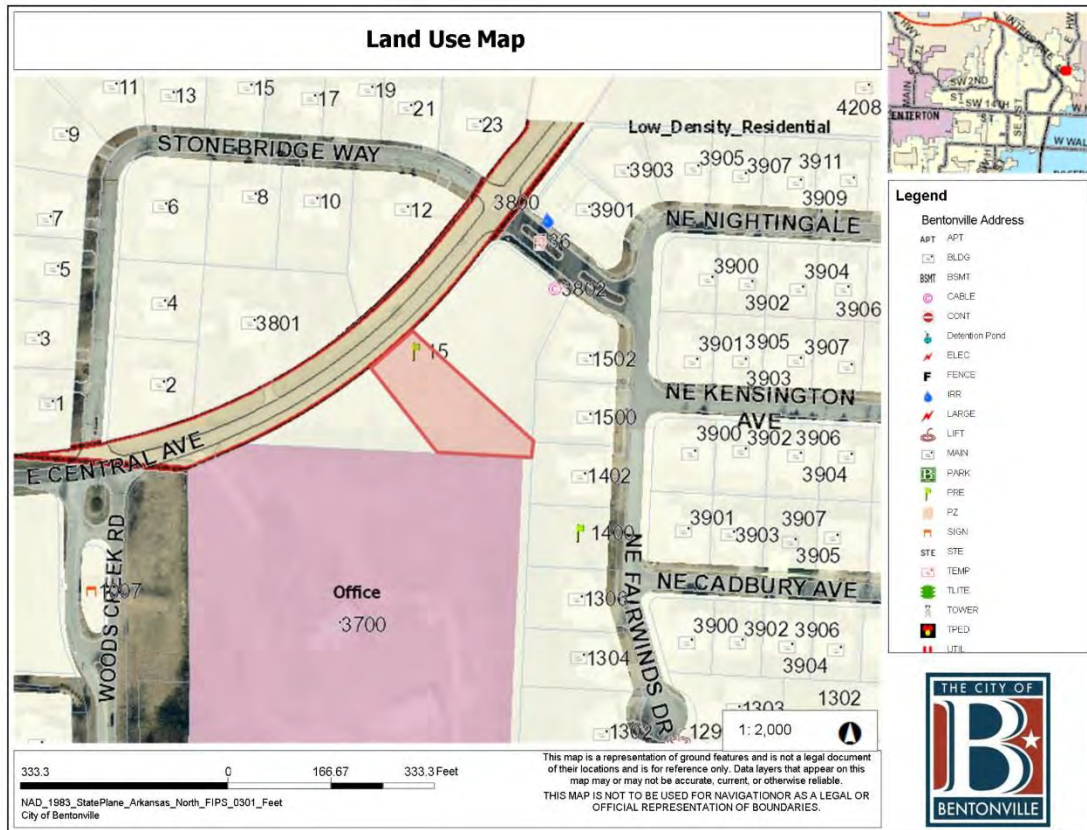
Conclusion

This large scale development does meet the minimum requirements of the subdivision regulations.

Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

LARGE SCALE DEVELOPMENT STAFF REPORT



BENTONVILLE MERCHANT - SOUTH
LOT 66 KENNINGTON SQUARE
HWY 72 - BENTONVILLE, ARKANSAS

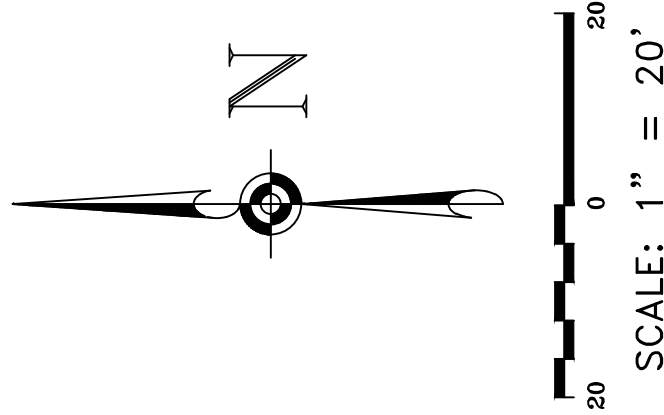
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PRELIMINARY

FOR CONSTRUCTION

DRAWN BY: KWB	CHECKED:
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LANDSCAPE PLAN

$$\frac{0}{45}$$


LANDSCAPE NOTES

1. PLANTS DESIGNATED "B&B SHALL BE BALLED AND BURLED. PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT.
2. ONLY "HEMP" BURLEAF AND TWINE SHALL BE USED. NO TREATED OR ATTACHED TO THE TWINE SHALL BE REMOVED AFTER PLANTING.
3. PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY, SHALL BE COVERED WITH MOIST SOIL, MULCH OR OTHER PROTECTION, TO PREVENT DRYING OF PLANTS. PLANTS WHICH ARE DELAYED BY THE LANDSCAPE CONTRACTOR AS NECESSARY, UNTIL PLANTING.
4. NO PLANT SHALL BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO CAUSE DAMAGE TO THE PLANT OR TO THE BRANCHES.
5. THE PLANTS SHALL HAVE A DIAMETER EQUAL TO 10 TIMES CALIPER OF THE TREE TO BE TRANSPLANTED.
6. ALL PLANTS SHALL BE HANDLED SO THAT ROOTS ARE COMPLETELY PROTECTED BY TARPULINS OR OTHER SUITABLE MATERIAL COVERING. PLANT MATERIAL SUFFERING FROM WIND BURN OR OTHER DAMAGE IS UNACCEPTABLE. MATERIAL SHALL NOT BE ACCEPTED IF THE PLANT IS CRACKED OR BROKEN EITHER BEFORE OR DURING THE PROCESS OF PLANTING, OR WHEN BURLEAF STAKES, ROPE, OR OTHER MATERIALS ARE REMOVED.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DIMENSIONS FOR HEIGHT, SPREAD AND TRUNK, AS SPECIFIED ON THE MATERIAL SCHEDULE AS A GENERAL GUIDE FOR THE MINIMUM REQUIRED TO PLANTING OF PLANT PITS AND DRIVING OR PLACING OF STAKES OR DEADEN. THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UNDERGROUND UTILITIES AND TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGE TO ANY UNDERGROUND SURFACE IMPROVEMENTS. IN THE EVENT UTILITIES ARE UNCOVERED, THE LANDSCAPE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER.
8. ANY TYPES OF MARKERS OR SHIRBS TO BE PLACED IN A PARTICULAR AREA SHALL BE FIELD CHECKED FOR ACCURACY. ANY PLANTS INCORRECTLY PLACED SHALL BE RELOCATED WITH THE PRESENT HERBICIDE (REFILL OR MANUFACTURED'S) SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS TO ALL PLANT BEDS PRIOR TO PLANTING.
9. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR BUT SHOULD NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR SHALL BE ASSUMED LIABILITY ASSOCIATED WITH THOSE QUANTITIES OR ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROTULLING ALL MOSS AND WEEDS TO BE ADDED. THE FOLLOWING RATIOS: PEAT MOSS ONE SIX CUBIC FOOT PAIL PER 75 SQ. FT. OF BED AREA; TOP SOIL ONE CUBIC YARD PER 150 SQ. FT. OF BED AREA; HEALTHY LIVING CONING CONING AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED. (SEE 1400.5.5-10)
11. THE CONTRACTOR SHALL NOT BE ACCEPTED FOR ANY TIME AND PROPER TREE REPLACEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT BEDS PRIOR TO PLANTING.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE PURPOSES. (SEE 1400.5.5-11)
13. ALL PLANTS SHALL NOT BE REMOVED AT ANY TIME AND PROPER REPLACEMENT SHALL BE PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANT BEDS PRIOR TO PLANTING.
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NOTICE: Once installed, landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)

Trees shall not be topped at any time and proper tree pruning techniques as established by the latest edition of ANSI A300 "Standards for Tree Care" shall be utilized for maintenance purposes.
(Sec 1400.5.C-11)

Healthy trees shall not be removed at any time and proper tree pruning techniques as established by the latest edition of the ANSI A300 "Standards for Tree Care" shall be utilized for maintenance purposes. (Sec 1400.5.C-12)

Living materials, such as lawn, grass or herbaceous groundcovers like juniper or liriope, etc., shall cover a minimum of eighty percent (80%) of the planting islands. One Hundred percent (100%) of living materials is strongly encouraged. (Sec 1400.6.A-8 & 1400.8.G-7)

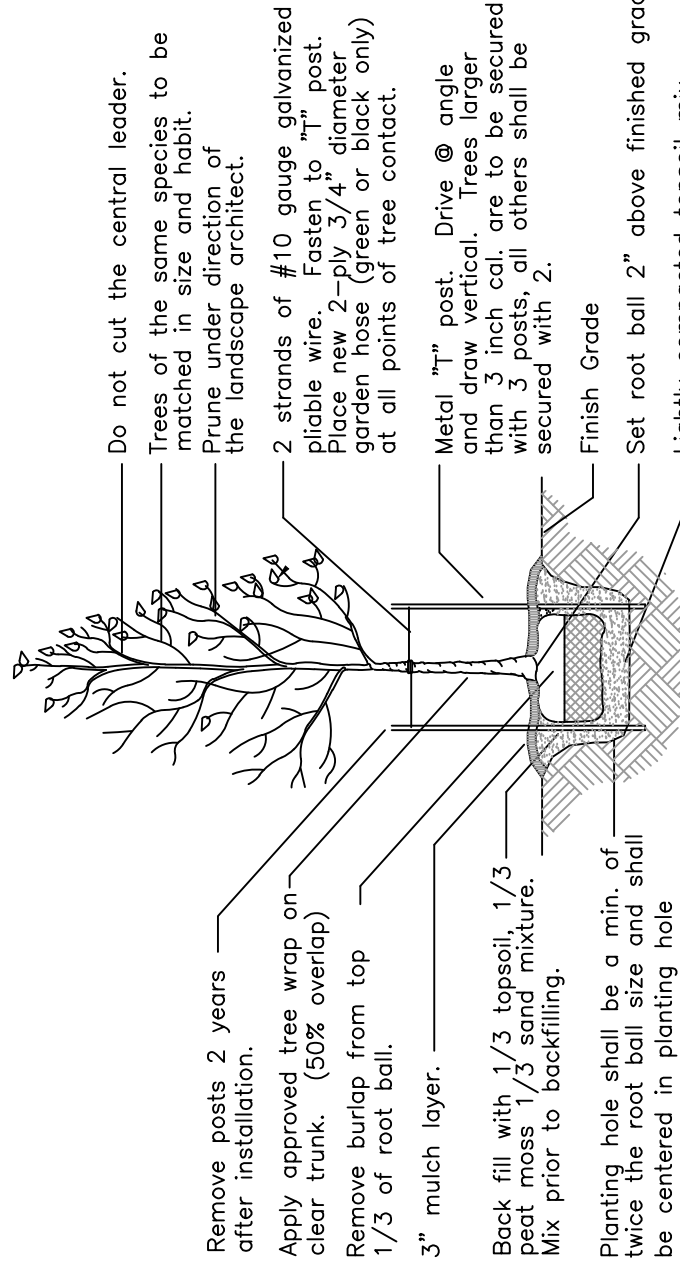
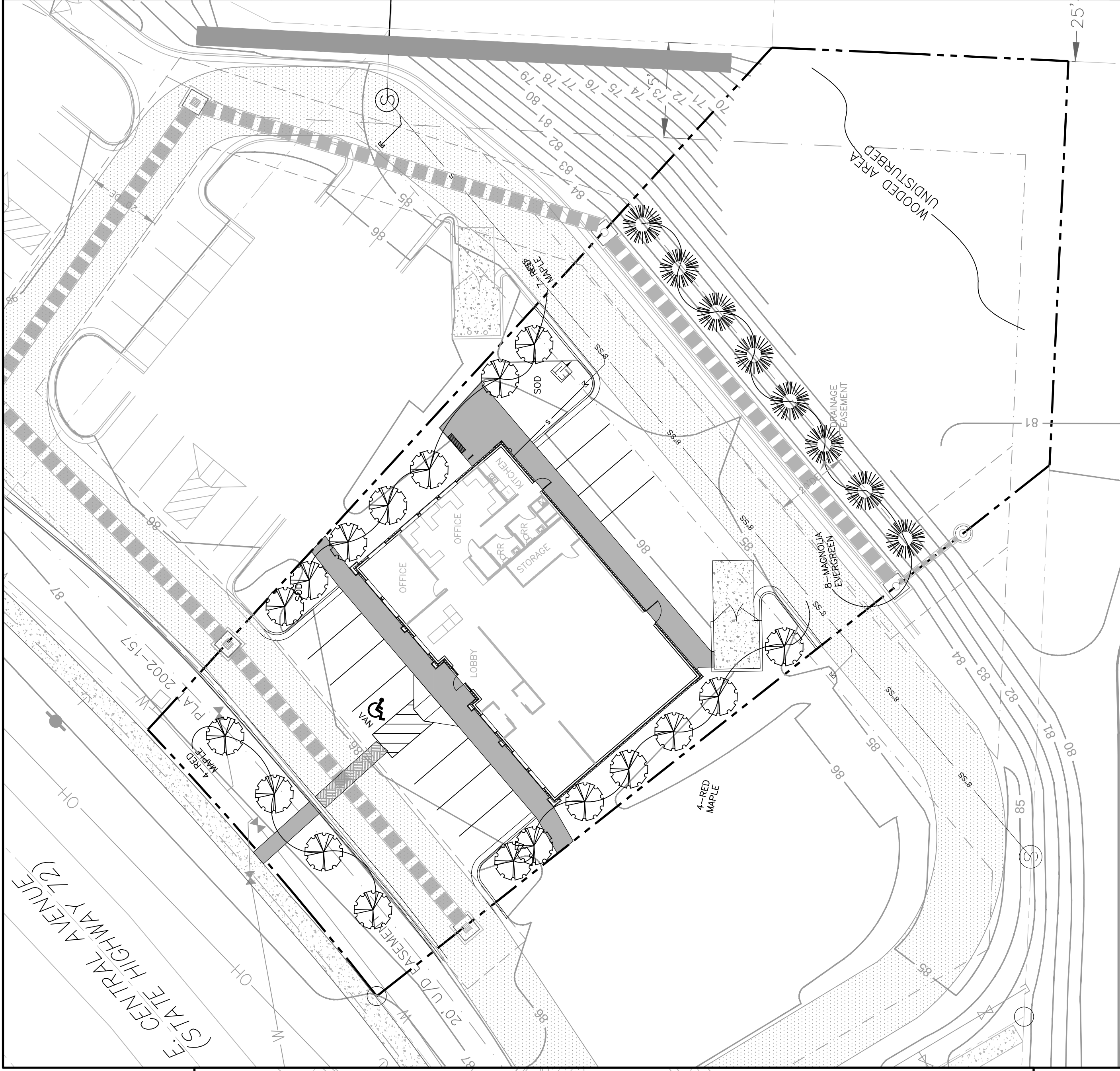
If irrigation is not installed, hose bibs must be located on the building, within 100' of all plantings.

Quantity	Symbol	Common Name	Scientific Name	Planting Size (in.)	Mature Height
8		Southern Magnolia	<i>Magnolia grandiflora</i>	2.5" Caliper B&B	90 ft
14		Red Maple	<i>Acer rubrum</i> 'October Glory'	2.5" Caliper B&B	50 ft

ALL PLANT MATERIALS SHALL MEET THE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK.

CONTRACTOR SHALL GUARANTEE PLANT MATERIALS TO THE DEVELOPER FOR 18 MONTHS FROM THE DATE OF PROVISIONAL ACCEPTANCE BY OWNER. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND MAINTENANCE OF ALL INSTALLED PLANT MATERIAL UNTIL ACCEPTANCE.

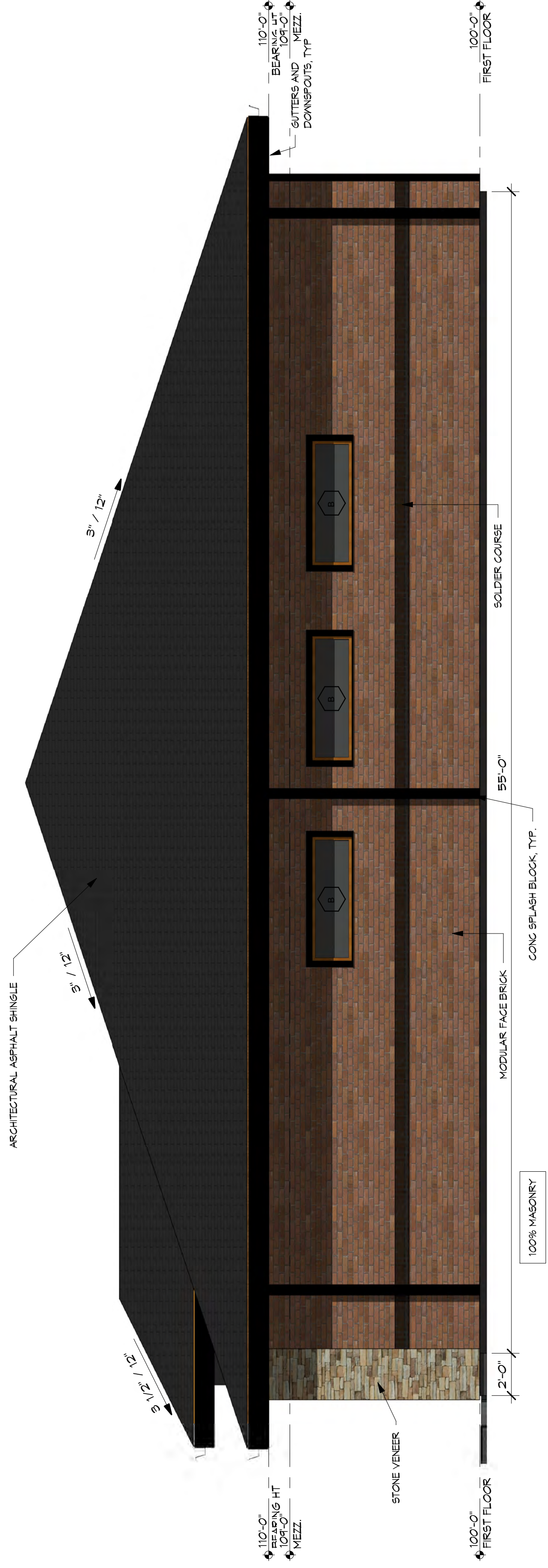
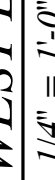
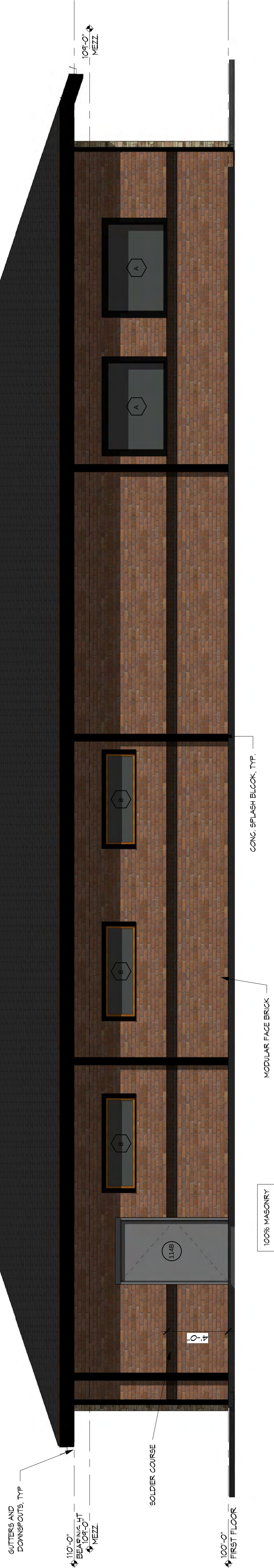
IRRIGATION NOTE:
UNLESS AN IRRIGATION SYSTEM IS INSTALLED, HOSE BIBS ARE TO
BE LOCATED ON THE EXTERIOR WALLS OF THE BUILDING TO ALLOW
FOR LANDSCAPE WATERING WITHIN 100' OF ALL PLANT MATERIAL.



TREE PLANTING

NTS





Burris Architects

820 Tiger Blvd, Suite 101
H 79 - 319 - 0445

DATE 3-1-17
JOB NO. 16090
REVISIONS

JOB NO. 16000

REVISIONS

KENNINGTON C
HWY 72
BENTONVILLE, AR 72716

HWY 72
BENTONVILLE, AR. AR

BENTONVILLE, AR. AR

PRELIMINARY
NOT FOR CONSTRUCTION

PRELIMINARY
NOT FOR CONSTRUCTION

CONDITIONAL USE STAFF REPORT



Bentonville Film Festival

312 N. Main St., 212 & 216 N Main St., 201 NE 2nd St., 207 NE Blake St., 301 & 405 NE 'B' St., 207 NE 3rd St., 1001 S. Walton Blvd.

PC Date: 4/18/2017

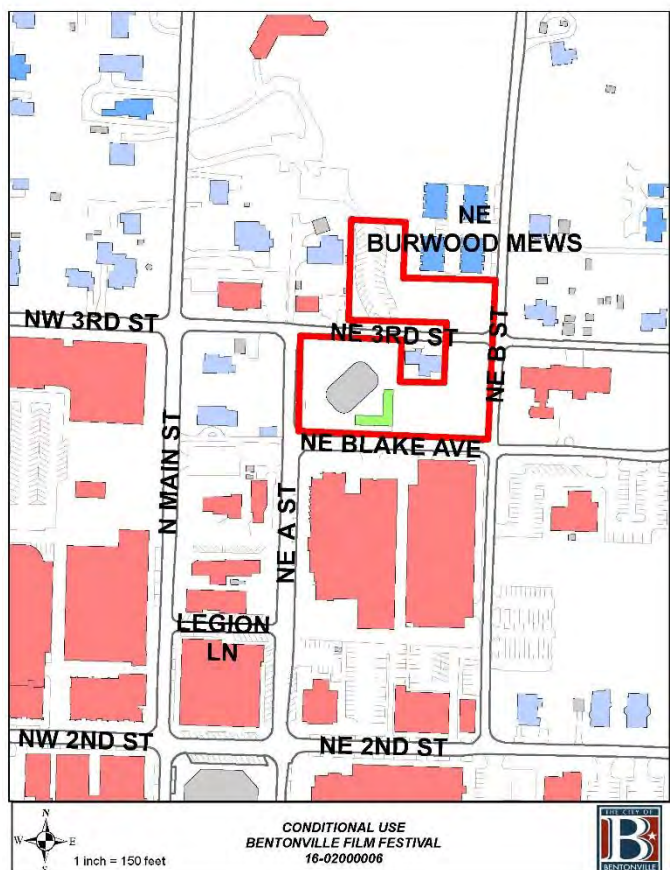
Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-02000006
Applicant / Current Owner	Cindy Springs, LLC MORO Development Co. Buster Properties, LLC Cedar Limited, LLC, Peel Compton House, Arvest Bank, Benton County
Site Area	8.30 acres combine total of all areas
Current Zoning	Varies
Future Land Use Map Designation	Varies
Requested Use	Temporary Use for Film Festival
Protective Covenants	Not Applicable

<http://geo.bentonvilliar.com/mgweb/PZpending/>

Location Map



Property Description

Property descriptions vary.

Proposed Use Description

The applicant has submitted a Conditional Use application for the Bentonville Film Festival (BFF) to be located at the addresses listed in this staff report and depicted in the attached site plan. The BFF is intended to provide ongoing mass distribution opportunities for women and minority owned production companies, independent filmmakers and distributors while celebrating the town of Bentonville. The proposed conditional use is to allow the properties to be used as a sponsor village for the festival. The BFF sponsors will setup temporary products, technology and services for visitors to explore and enjoy.

Included in these temporary structures will be three cinetransformers - self-contained theaters. These will be located in one convenient area at the intersection of NE Blake & NE 'B' Street, just east of Lawrence Plaza.

The applicant is requesting the temporary use from May 1st to May 8th. This timeframe includes setup and takedown. The actual festival activities will begin Tuesday May 2nd and end Sunday May 7th. General hours of operation will be 10 a.m. to 10 p.m. daily. NE 3rd Street will be closed during the event to facilitate pedestrian traffic, which has been approved by the Traffic, Safety and Signage Committee.

Roll-OFF trash receptacles will be placed on the two lots south of Compton Garden's maintenance office on NE 'B' Street. Outdoor lighting will be provided at the park & ride and cinetransformers locations. Attendee & visitor numbers are anticipated to be 1,500 each day, with Saturday and Sunday having the highest attendance. Approximately 500 employees & volunteers are expected for the entire event.

Parking for the event will be provided at various locations including the downtown municipal parking lots. Public on-street parking, the old Nunnally Chevrolet parking lot on S. Walton Blvd and various parking and ride locations.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

On 3/21/2017, a notice was published in the Arkansas Democrat Gazette, Northwest Arkansas Edition and a public hearing notice sign was posted on the property on 3/31/2017. This meets legal noticing requirements and is adequate for the scope of this project. Staff has not been contacted regarding this request.

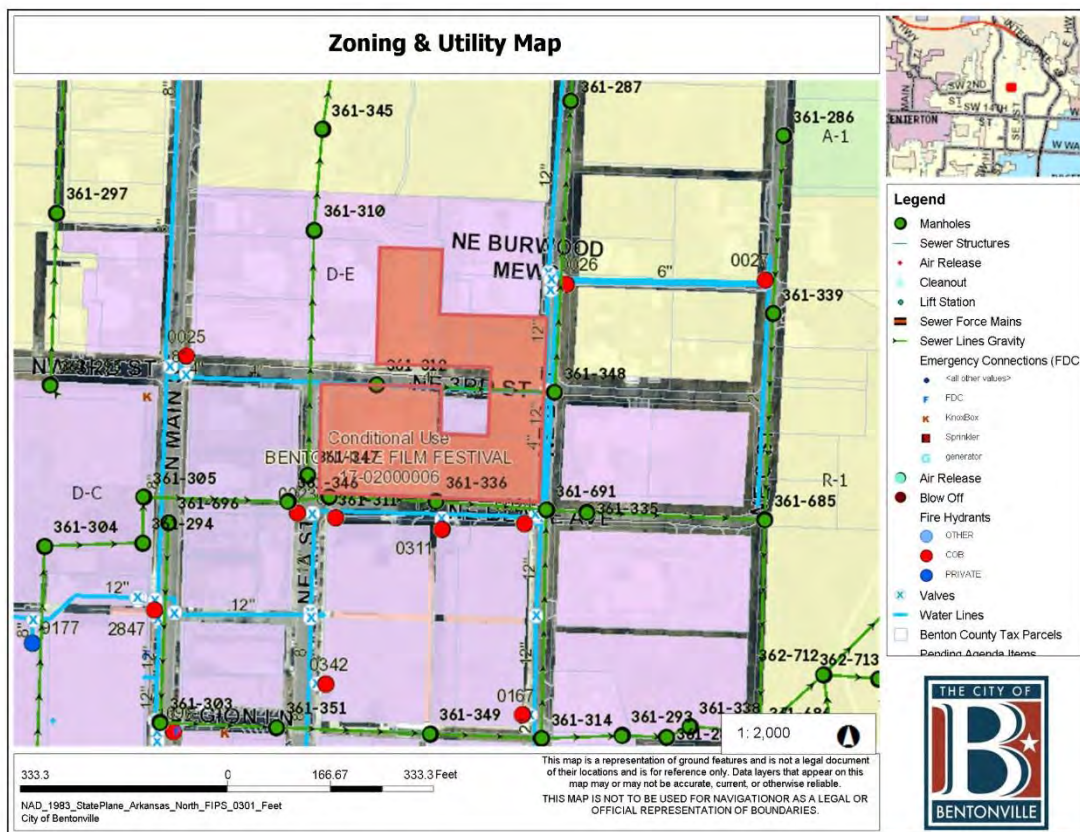
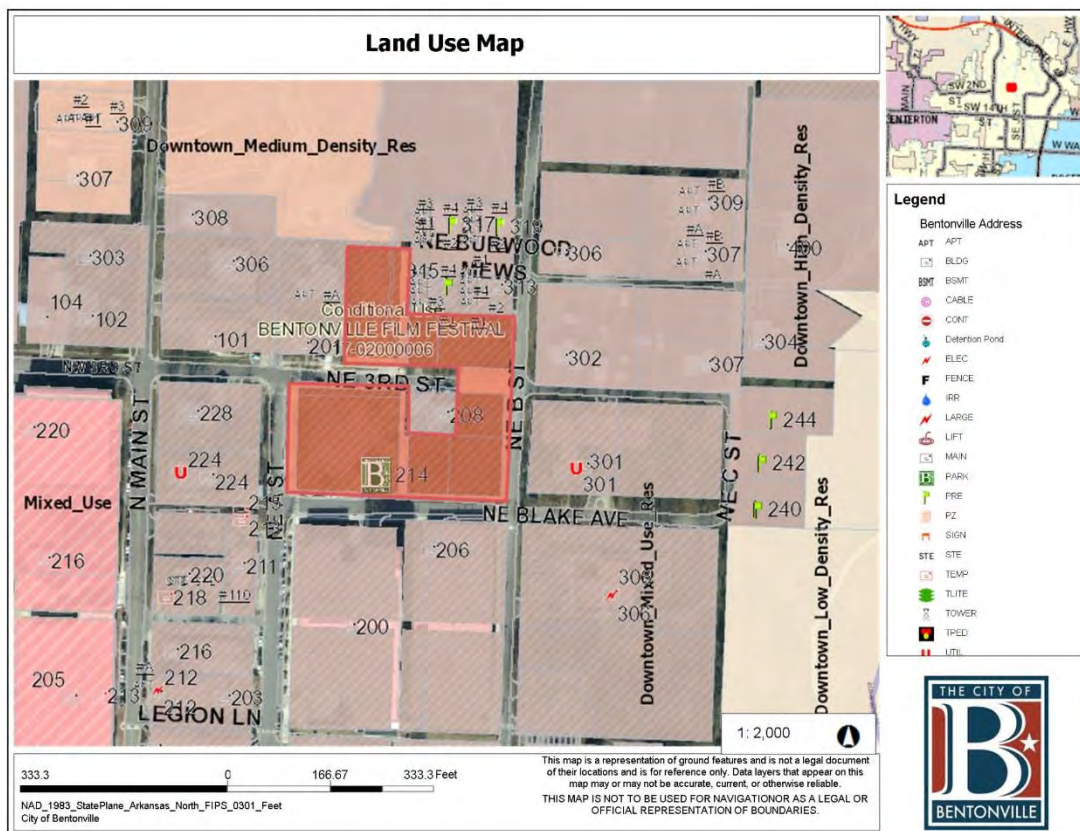
Conditions of Approval

1. All technical review comments must be addressed before a conditional use permit will be issued.

Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

CONDITIONAL USE STAFF REPORT





BENTONVILLE FILM FESTIVAL CONDITIONAL USE PERMIT APPLICATION

EVENT DATE: MAY 2-7, 2017

FESTIVAL FILMING VENUES

- 3 Cinetransformers on RopeSwing Field (see attachments for placement and see below for photo) –one tent on the corner of 3rd and B street). The tents are for “connecting area for the public to meet the producers, visit with other film guests, etc.”
 - o May 3 – 6 – Showings are from 10am – 11pm
 - o Sunday May 7 – Encore viewing from 10am – 5pm
- Walmart Auditorium – Opening Film & Screening
 - o May 4 – Opening Screening from 8pm – 11pm
 - o May 6 – Showings are from 5pm – 11pm
- 21c – Daily screenings
 - o May 3 – 4 – Showings are from 10am – 11pm
 - o May 5 – Showings are from 10am – 8pm
 - o May 6 – Showings are from 10am – 5pm

CINETRANSFORMER





BENTONVILLE FILM FESTIVAL CONDITIONAL USE PERMIT APPLICATION

EVENT DATE: MAY 2-7, 2017

FESTIVAL ANCILLARY VENUES

- Meteor – Evening Music Venue – May 2 – 6 – Music from 10pm – 1am
- Crystal Bridges – Opening Ceremony – May 2 – 5:30pm – 8pm
- Arend Arts Center – Closing Ceremony – May 6 – 7pm – 10:00pm
- Bentonville Parks and Rec DAC – Volunteer Hub – April 29 – May 8 – Occupied 24/7
- Lawrence Plaza – Ball Park Theater Family Movies– May 3 – 5 – 10am – 10pm
- 21c Box Office – Open Air Box Office – April 21 – May 1 – 11am – 4pm
– May 2 – 7 – 9am – 8pm
- Elkins – Filmmaker’s Lounge – May 3 – 6 – 11am – 7pm
- Four Points by Sheraton – Welcome Breakfast May 3 – 9am – 10am & Festival Hotel
- Oven & Tap – Filmmaker’s Luncheon – May 4 – 12pm – 2pm
- Ramo D’Olivo Wine Bar – Filmmaker’s Happy Hour – May 5 – 6pm – 8pm
- Bentonville Public Library – Library Series & Workshops – May 3 & 4 – 3pm – 6pm; May 5 – 4pm – 7pm; May 6 – 11am – 1pm
- 21c Hotel – Pre-Award Show Party – May 6 – 5pm – 7pm

SPONSORSHIP ACTIVATION LOCATIONS (see below for specific times) – These locations will be set up either on May 1 or 2 and open to the public May 3 – 6 with tear down the evening of May 7 and 8

- Jim Walton Field
- Compton Garden Conference Center & Parking Lots
- Arvest Community Room/ Legion St
- Lawrence Plaza

OFFICE SPACE

- BFF Year-Round Office: Haxton District; 222 SE 2nd Street, 3rd Floor
- Telecomp
- Visit Bentonville Conference Room

FESTIVAL COMMUNITY SCREENING EVENTS

- Walmart AMP Concert – May 3
- Arvest Ballpark (Naturals Baseball Stadium) – May 7

FESTIVAL PANEL DISCUSSION VENUES

- Record – May 2 – Diversity & Inclusion Summit – 10am – 3pm
- Record – May 3 – 6 – Panels – 10am – 5pm
- Walmart World Room



BENTONVILLE FILM FESTIVAL CONDITIONAL USE PERMIT APPLICATION

EVENT DATE: MAY 2-7, 2017

FESTIVAL SPONSOR VILLAGE

Utilizing Downtown core and Downtown edge zoned properties (with current usage of Downtown Mixed-Use Residential) owned by Peel-Compton House Foundation, Cindy Springs, LLC, Richip, LLC, Benton County, Arvest Bank, Cedar Limited, LLC, Moro Development Company, LLC, Buster Properties, LLC, as well as Lawrence Plaza a City of Bentonville Parks and Rec property, the Bentonville Film Festival (BFF) will host a free, public Sponsor Village. One exception is the use of Compton Garden's building that is R-1 built is used for offices and is open for public access. This Sponsorship Village will be a place where BFF sponsors setup temporary structures to activate with products, technology and services for the community and visitors to explore and enjoy. BFF has gotten approval from the Transportation and Signage Commission to close NE 3rd Street from NE A Street to NE B Street (for foot traffic only). All venues as well as the sponsor village have been approved by the Police Captain, Fire Chief, Fire Deputy Chief, and are pending approval from the Fire Marshal.

Currently BFF is working with Pinnacle Transportation to manage all Sponsor Village logistics and scheduling, shuttle routes, traffic flow and signage needs.

BFF Sponsor Village will be in operation as follows:

Monday, May 1 – load in/set up

Tuesday, May 2 – Load in/set up

Wednesday, May 3 – from 1pm – 6pm

Thursday, May 4 – from 1pm – 7pm

Friday, May 5 – from 11am – 8pm (due to First Friday)

Saturday, May 6 – from 10am – 8pm (earlier due to Farmer's Market)

Sunday, May 7 – tear down/load out

Monday, May 8 – tear down/load out



BENTONVILLE FILM FESTIVAL CONDITIONAL USE PERMIT APPLICATION
EVENT DATE: MAY 2-7, 2017

MAP OF SPONSOR VILLAGE, DOWNTOWN VENUES, AND CINETRANSFORMER/TENTS

Venue Activation - North



Venue Activation - South





BENTONVILLE FILM FESTIVAL CONDITIONAL USE PERMIT APPLICATION

EVENT DATE: MAY 2-7, 2017

Of the total 8.3 acres contracted for the sponsor village, temporary tent structures will be set up within property lines of the following properties:

- Compton Gardens Building: 01-10281-000 (indoor)
- Compton Gardens parking lot: 01-01975-000 (outdoor) (InsideOut Lounge, Puppy Village & Coke)
- Private lot: 01-00976-000 (outdoor) (RopeSwing Field: Theater Village & Wine Tent)
- Private lot: 01-00977-000 (outdoor) (RopeSwing Field: Theater Village)
- Private lot: 01-00978-000 (outdoor) (RopeSwing Field: Theater Village)
- Private lot: 01-01973-000 (outdoor) (Jim Walton Field: News Area)
- Private lot: 01-01974-000 (outdoor) (Jim Walton Field: News Area)
- Private lot: 01-01005-000 (outdoor) (Behind Arvest Bank Parking Lot: Legion Ln) (STEAM/ Studio Activation)
- Lawrence Plaza: 01-00993-000 (outdoor) (SONY Ballpark)
- Private lot: 01-00990-000 (outdoor) (County Annex for grilling competition)

STORAGE

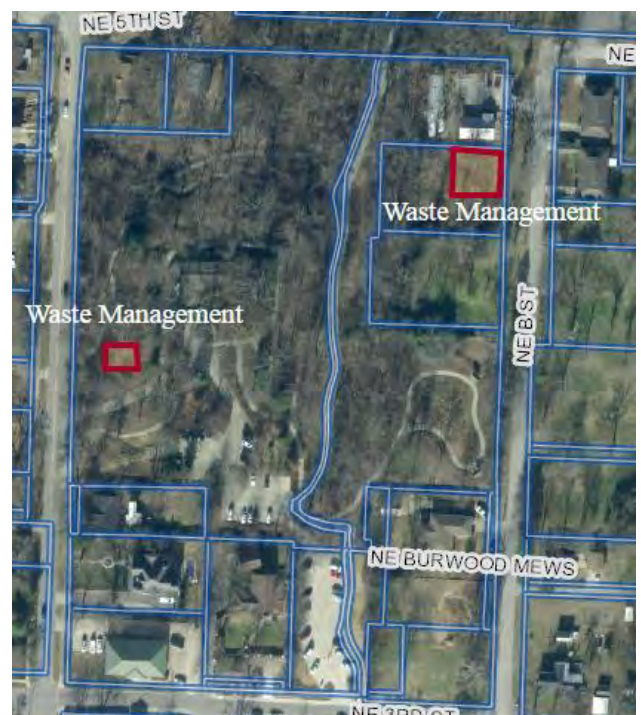
BFF & Roark will utilize the Off-Street Parking Districts Lots on NE B Street and the lower lot at Compton Garden for refrigeration trucks and storage.

WASTE DISPOSAL

Dumpster locations: 1) South of Compton Gardens maintenance facility, on NE B Street 2) Current location of Compton Gardens dumpster in parking lot
Volunteers and dedicated staff will be managing constant clean up around Sponsors Village and Lawrence Park.

SECURITY

Hub for all security services is at Bentonville Fire Department, Station 1. There will be Bentonville Police and Fire/EMT as well as an outsourced security presence around downtown and all aspects of the Festival throughout the week. The Police Captain, Fire Chief, Fire Deputy Chief, Fire Marshal have been involved in the planning to date as well as attended monthly meetings since September 2016.





BENTONVILLE FILM FESTIVAL CONDITIONAL USE PERMIT APPLICATION

EVENT DATE: MAY 2-7, 2017

TRANSPORTATION/ PARKING PLAN

- Old Nunnally Chevrolet Parking lot (park and ride lot) – secured
- 21c Parking Lot, 3rd Floor
- Four Points Sheraton (park and ride lots) – secured
- Public parking lots through downtown

Old Nunnally Lot – 4.39 acres of parking for the public. There may be a small holding tent set up for a shuttle pick up area.

- Parking lot: 01-11093-001 (outdoor)- *awaiting contract*

No permanent structural changes are proposed, only the addition of temporary tent structures.

There will be 2 shuttle stops 1) will be located on the west side of Lawrence Plaza on NE A St and 2) located on SW A St east of Record using 2 parking spots on SW A St which will shuttle attendees from offsite parking locations located at Four Points by Sheraton and the old Nunnally Parking Lot. There will be three shuttles picking up/dropping off every 20 minutes.

Compton Gardens parking will be closed for the event. BFF also anticipates attendees to utilize downtown municipal parking lots and street parking as well, however, park and ride transportation will be encouraged through signage and map designation as directed by Pinnacle Transportation. There are also several lots to the East of Compton Gardens that could possibly be used by attendees without the authorization of the owner. To avoid this, we have engaged conversation with the property owner regarding the correct avenue to take.



BENTONVILLE FILM FESTIVAL CONDITIONAL USE PERMIT APPLICATION

EVENT DATE: MAY 2-7, 2017

MISCELLANEOUS

There are no outdoor lighting changes proposed at this time.

Attendee and vendor numbers are expected to top at 1500 dispersed throughout each day with Saturday's attendance the highest. Employee and volunteer numbers are expected to reach 500 total for the entire event, 150 for the sponsor village.

SIGNAGE

There will be sandwich board signage in public areas in the downtown Bentonville area next to/outside of contracted properties for the festival. Please see an example of that signage below. The list of areas are as follows:

- Shuttle stop on sidewalk next to Lawrence Plaza on NE A St
- Shuttle stop on sidewalk outside Record on SW A St
- Sidewalk outside 21c North Yard Patio by gate for que line- up for movie screenings
- Sidewalk outside Elkins on S Main St
- Sidewalk outside Walmart World Room on W Central Ave
- Sidewalk on corner of NE A St and NE 2nd St to lead attendees to Annex Parking lot for grilling village



LARGE SCALE DEVELOPMENT STAFF REPORT



Arvest Bank

405 N. Walton Boulevard

PC Date: 4/18/2017

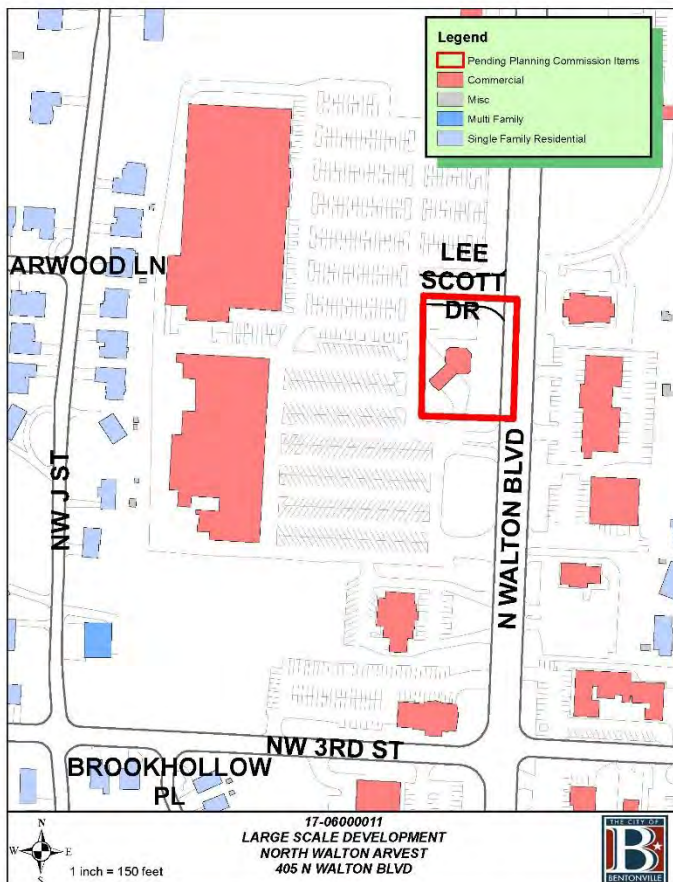
Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-06000011
Applicant / Current Owner	Arvest Bank P.O. Box 1107 Rogers, AR 72757
Site Area	0.87 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Bank with Drive-Through

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of and existing financial facility.

Project Details

The applicant is proposing a large scale development located at 405 N. Walton Boulevard. The project will consist of a single story, 2, 900 sq. ft. financial facility with a drive through and will be known as Arvest Bank. Access to the development will be from two existing curb cuts along N. Walton Boulevard. 12 parking spaces are required and 21 spaces are being provided. A pedestrian connection is being provide to the North Walton Trail, located on the eastern side of the new facility. Storm water detention has been provided in the existing basin located off-site on the adjacent Wal-Mart property. The exterior building elevation depicts brick and EFIS trim.

Projected Traffic Impact

The proposed development will not adversely impact traffic in the area. The project will utilize the two existing curb cuts both of which are adequate ingress/egress points along an arterial street.

Utility Infrastructure

Per the GIS website, water and sewer are available at this location.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

No waivers requested.

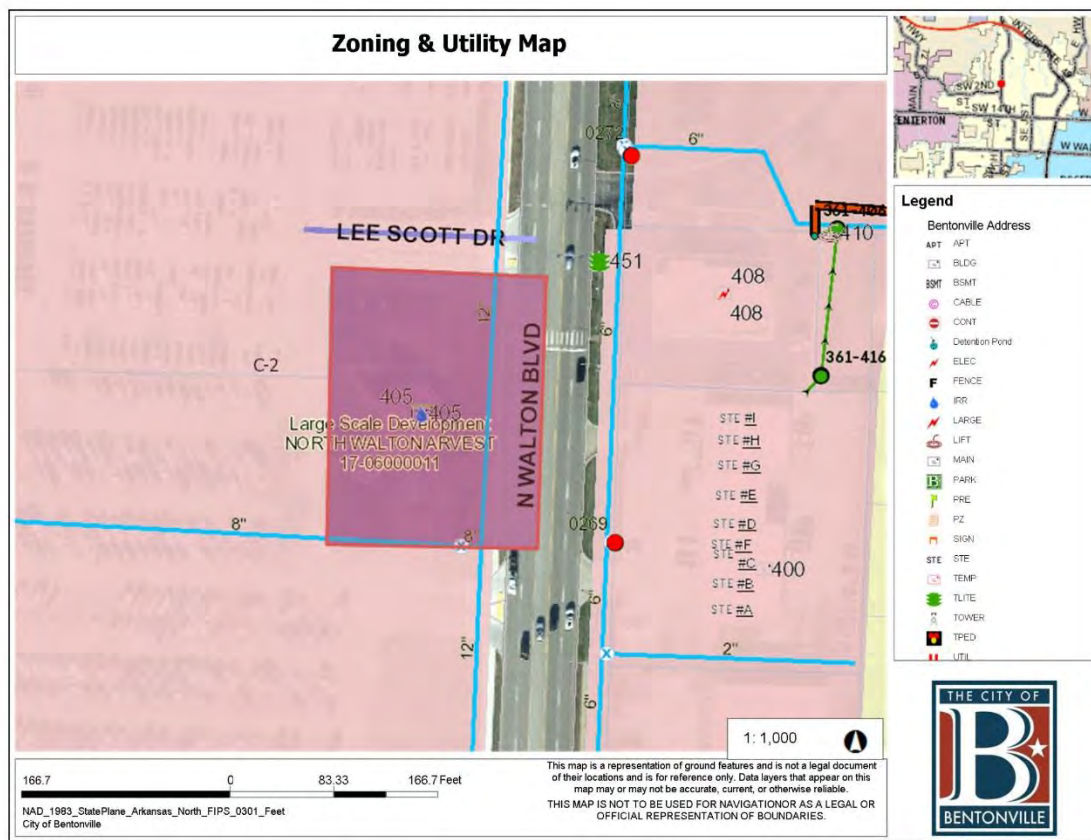
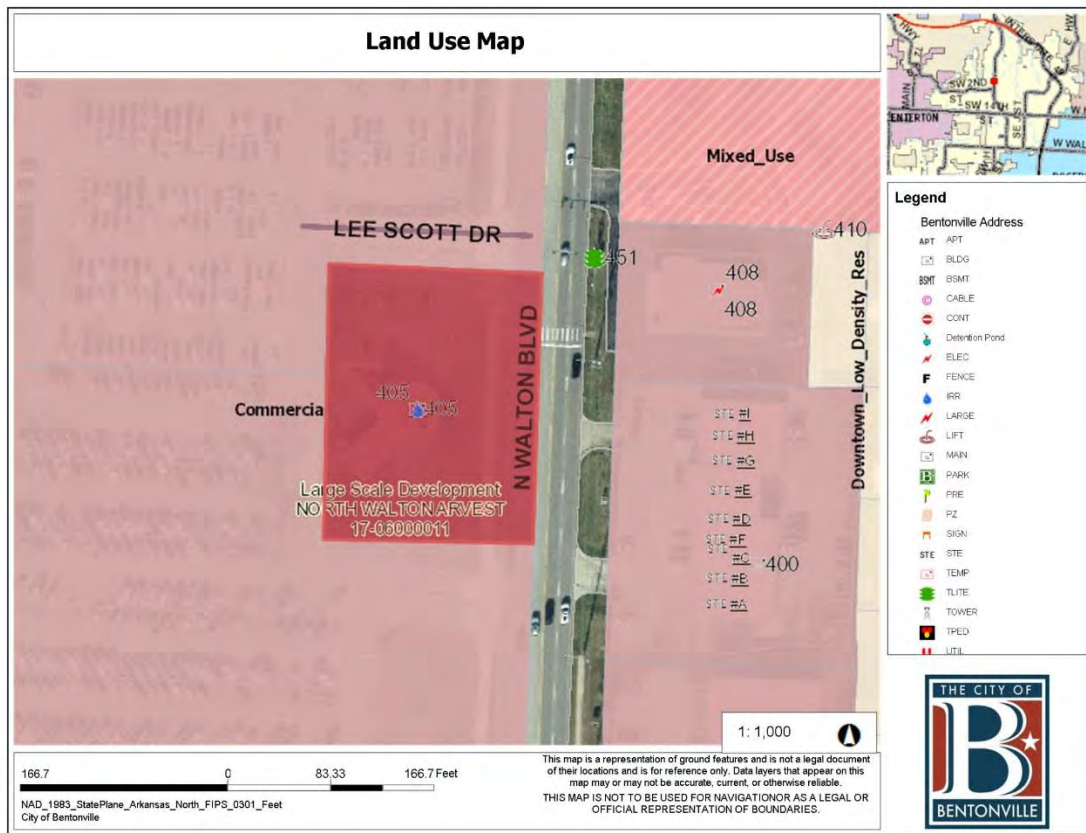
Conclusion

This large scale development does meet the minimum requirements of the subdivision regulations.

Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

LARGE SCALE DEVELOPMENT STAFF REPORT



LANDSCAPE PLAN NOTES:

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND RELATED ITEMS REQUIRED FOR THE COMPLETE INSTALLATION OF LANDSCAPE.
2. ALL PLANT MATERIAL SHALL BE NURSERY GROWN. PLANT MATERIAL SIZES AND GRADING SHALL COMPLY WITH THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
3. ALL PLANT MATERIAL SHALL BE HEALTHY AND FREE FROM ALL VISIBLE SIGNS OF DISEASE OR PEST INFESTATION.
4. CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. PRIOR TO COMMENCING WITH ANY WORK, CONTACT 1-800-482-8998.
5. NO CHANGES TO APPROVED PLANT SCHEDULE WILL BE ALLOWED WITHOUT THE APPROVAL OF THE OWNER AND THE OWNER'S REPRESENTATIVE.
6. ALL TREES SHALL BE INSTALLED, MULCHED, GUYED AND STAKED PER THE DETAILS. ALL SHRUBS SHALL BE INSTALLED AND MULCHED PER THE DETAILS.
7. HARDWOOD MULCH, A MINIMUM OF 2" DEEP, SHALL BE APPLIED TO ALL PLANTING BEDS SHOWN ON THIS PLAN. ARTIFICIALLY COLORED MULCH NOT ACCEPTABLE.
8. THE CONTRACTOR SHALL PROVIDE A ONE YEAR MINIMUM WARRANTY FOR ALL PLANT MATERIALS AND INSTALLATION FROM THE DATE OF ACCEPTANCE.
9. THE CONTRACTOR SHALL SPOIL ANY EXCESS TOPSOIL LOCATED ON THE SITE THAT IS NOT REQUIRED TO PERFORM LANDSCAPE OPERATIONS. IF SUFFICIENT TOPSOIL IS NOT PRESENT ON SITE, THE CONTRACTOR SHALL IMPORT TOPSOIL TO THE SITE IN ORDER TO COMPLETE THE LANDSCAPE OPERATIONS. THE CONTRACTOR SHALL PERFORM A SOIL TEST ON THE EXISTING AND IMPORTED TOPSOIL AND APPLY LIME AND FERTILIZER AS RECOMMENDED BY THE TESTING AGENCY.
10. IN ALL PLANTING BEDS SOIL SHALL BE AMENDED WITH TWELVE INCHES OF TOPSOIL AND A MINIMUM OF SIX INCHES OF COMPOST TILLED INTO THE BEDS.
11. NOTHING SHALL BE PLACED OR PERMITTED BETWEEN 30" AND 60" IN HEIGHT IN THE SHADED SIGHT TRIANGLE AREAS.
12. ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES.
13. ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED.
14. TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
15. HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF THE ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
16. LIVING MATERIALS, SUCH AS LAWN, GRASS, OR HERBACEOUS GROUNDCOVERS LIKE JUNCUR OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED.
17. ALL TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY SHALL BE 4" CALIPER AND THE LOWEST LIMB SHALL BE 60" OR HIGHER FROM FINAL GRADE AT TIME OF PLANTING.

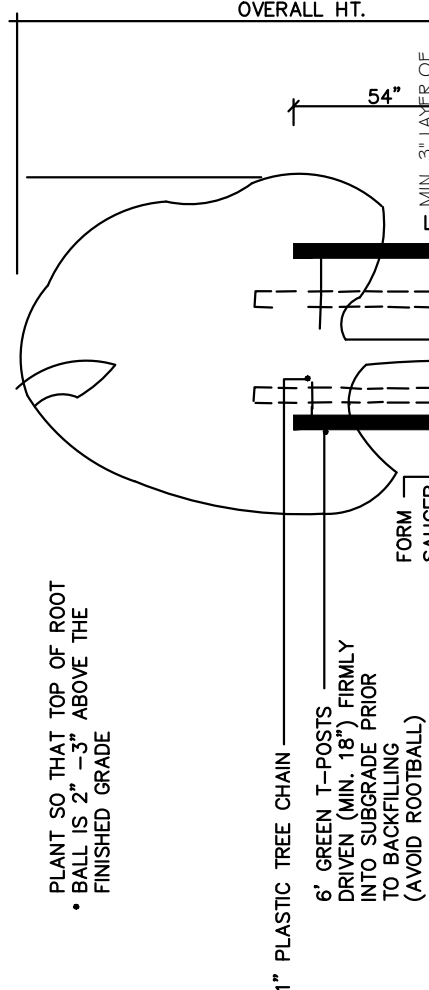
SEEDING AND SODDING NOTE:

ALL DISTURBED AREAS UNDER A 10% SLOPE SHALL BE TOPSOILED TO A MINIMUM DEPTH OF 4". FERTILIZED AT A RATE OF 250 POUNDS PER ACRE AND SEEDED WITH ANNUAL RYE GRASS AT A RATE OF 3-4 POUNDS PER 1000 SQUARE FEET AND WITH TURF-TYPE FESCUE AT A RATE OF 8 POUNDS PER 1000 SQUARE FEET, OR SODDED IF THE AREA IS DESIGNATED FOR SOD. THE AREA MUST ALSO BE MULCHED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE GRASS UNTIL A HEALTHY PERMANENT STAND IS ESTABLISHED.

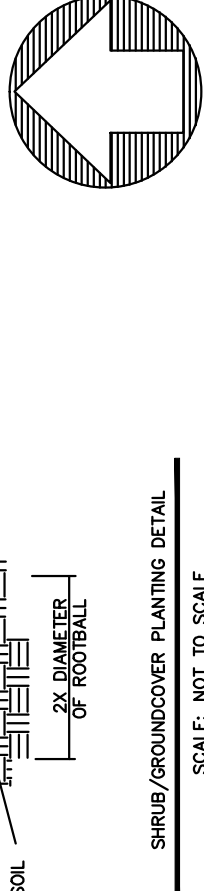
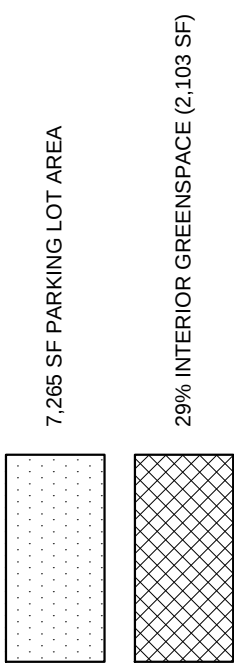
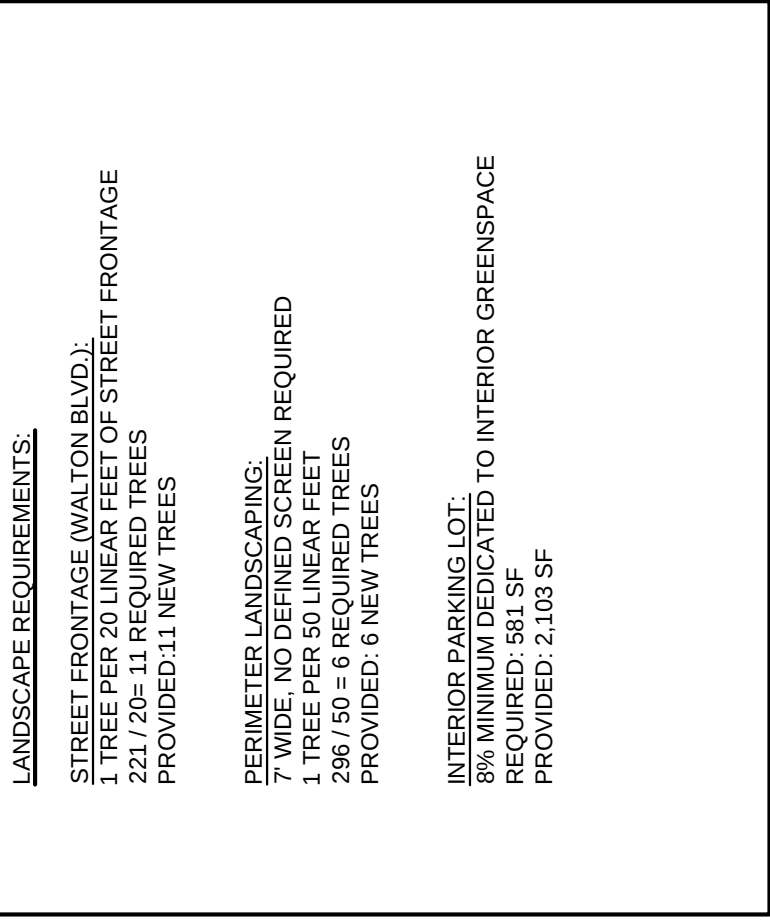
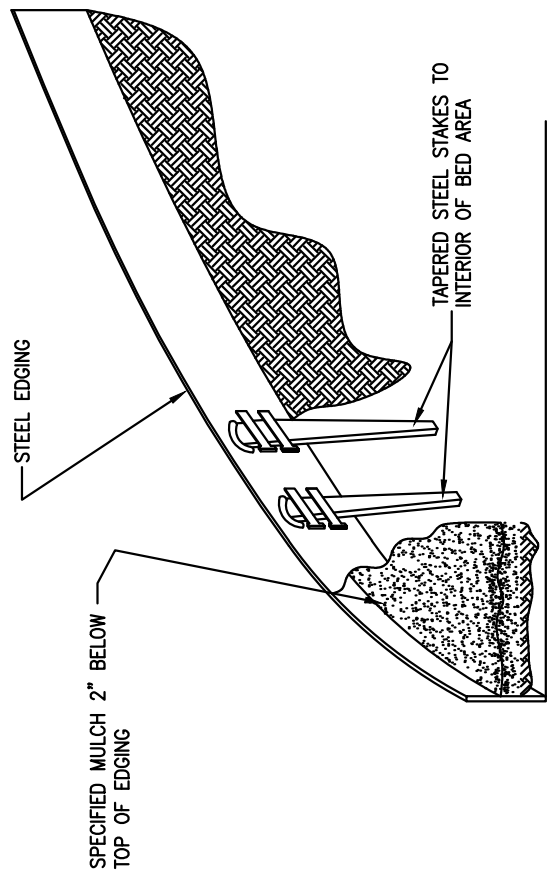
ALL DISTURBED AREAS WITH A 10% TO 15% SLOPE SHALL BE TOPSOILED TO A MINIMUM DEPTH OF 4". FERTILIZED AT A RATE OF 250 POUNDS PER ACRE AND SODDED AND STAKED WITH ZOYSIA GRASS (SEE PLAN FOR AREAS). IF ANY OTHER SLOPES ARE CREATED BY THE CONTRACTOR ABOVE 10%, THEY SHALL ALSO BE TREATED IN THIS MANNER.

ALL AREAS OVER 15% SHALL BE PLANTED AS ABOVE, BUT SHALL ALSO BE COVERED WITH EROSION CONTROL FABRIC.

AREAS TO BE SODDED ARE DESIGNATED BY THE DOTTED HATCH AS SHOWN IN THE LEGEND ON THE PLAN.



NOTE:
STAKING AS REQUIRED



LANDSCAPE PLAN

CITY OF BENTONVILLE #17-06000011

0 20' 40'
SCALE : 1" = 20 FEET



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SHEET
C6.0

REVISION DATE

PROJECT NO.

04/03/2017

DATE

MDT

DAG

17-204

FILE NO.

A NEW BRANCH BANK FOR

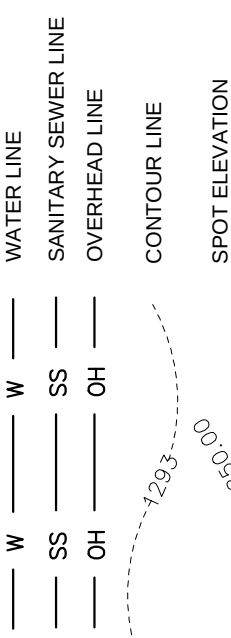
Arvest - Branch #104

BENTONVILLE, AR

HIGHT - JACKSON
ARCHITECTS
P.O. Box 765, Rogers, Arkansas 72756
phone - 479.664.8665



EXISTING LEGEND



DECIDUOUS TREE

PROPOSED LEGEND

== == (2) SCHEDULE 40 PVC IRRIGATION SLEEVES

PLANT SCHEDULE

NO.	SYMBOL	COMMON NAME	REMARKS
		RIVER ROCK	AS SHOWN
		ZOYSIA SOD	AS SHOWN
		ANNUALS	4" CONTAINER 8" O.C.
		BOULDER	AS SHOWN
6		TROPICAL BLACK CANINA Canina indica 'Lordi'	1 GALLON 3" O.C.
8		RED CREEPING PHILOX Phlox subulata 'Scarlet Flame'	1 GALLON AS SHOWN
27		STELLA DE ORO DAYLILY Lilium spp. 'Stella de Oro'	1 GALLON 2" O.C.
44		VARIEGATED LIRIOPE Ophiopogon japonicus 'variegata'	1 GALLON AS SHOWN
60		MEXICAN FEATHERGRASS Stipa tenuifolia	1 GALLON 2" O.C.
3		CRANE WILLOW Ligustrum indica 'Dynamite'	5 GALLON AS SHOWN
5		PEE WEE OAKLEAF HYDRANGEA Hydrangea quercifolia 'PeeWee'	5 GALLON 4" O.C.
8		WINTER GEM BOXWOOD Buxus sempervirens 'Winter Gem'	5 GALLON 3" O.C.
8		FALSE CYPRESS Chamaecyparis platensis 'Golden Hope'	5 GALLON 4" O.C.
9		DWARF YAUPOON HOLLY Ilex verticillata 'nana'	5 GALLON AS SHOWN
31		GULF STREAM MANDARIN Nandina domestica 'Gulf Stream'	5 GALLON 3" O.C.
14		DWARF MAIDEN GRASS Miscanthus sinensis 'Little Kitten'	5 GALLON 4" O.C.
20		GOLDMOUND SPIREA Spirea X 'Goldmound'	5 GALLON 3" O.C.
71		BLUE PACIFIC JUNIPER Juniperus conferta 'Blue Pacific'	5 GALLON AS SHOWN
3		RED LACELEAF JAPANESE MAPLE Acer palmatum dissectum atropurpureum	5" 6" BAB
3		DWARF BLUE ATLAS CEDAR Cedrus atlantica 'glauca 'Nostalgia'	8-10" BAB AS SHOWN
12		HERITAGE RIVER BIRCH Betula nigra 'Heritage'	2 1/2" CAL BAB MULTI-TRUNK AS SHOWN
8		OCTOBER GLORY MAPLE Acer rubrum 'October Glory'	2 1/2" CAL BAB AS SHOWN
11		NORTHERN RED OAK Quercus rubra	2 1/2" CAL BAB AS SHOWN



H10
North Elevation
1/8" = 1'-0"

H1
East Elevation
1/8" = 1'-0"

B10
South Elevation
1/8" = 1'-0"

B1
West Elevation
1/8" = 1'-0"

PRELIMINARY
REVIEW SET

Height Jackson
ASSOCIATES
5201 W Village Parkway, Suite 300 | Rogers, Arkansas 72758 | (479) 464-4965 | www.hjarch.com

A NEW BRANCH FOR
Arvest - Branch 104
601 N WALTON BLVD, BENTONVILLE, AR 72712

DRAWN BY: JH
CHECK BY: LS
ISSUE DATE: 00/00/0000
PROJECT NO: 1702
REVISIONS:

S H E E T
A2.1A
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ELEVATIONS

LARGE SCALE DEVELOPMENT STAFF REPORT



Cadence Apartments

517 SW 'B' Street

PC Date: 4/18/2017

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-06000010
Applicant / Current Owner	Cadence Group, LLC 101 SE 'G' Court Bentonville, AR 72712
Site Area	0.54 acres
Current Zoning	DC, Downtown Core
Future Land Use Map Designation	Mixed Use (MU)
Development Type / Use	Multi-Family Residential

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

The property is vacant and located in a rapidly redeveloping mixed-use area in southwest downtown.

Project Details

The applicant is proposing a large scale development that consists of a three story, 33 unit multi-family residential building located at 517 SW 'B' Street. The project will be constructed in a single phase. Thirty-seven parking spaces are required and are being provided. Ingress/egress will be from a proposed public alley along the northern property line and the existing alley along the eastern property line, providing access to both SW 'B' Street and SW 6th Street. An 8' wide sidewalk will be constructed along SW 'B' Street. Storm water is being detained along the southern portion of the site. The exterior elevations depict brick, Hardie Board siding and metal panel.

Projected Traffic Impact

The proposed development will not adversely affect traffic in the area.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

The applicant has submitted a waiver to Article 501, Off-Street Parking & Loading, Section 501.7, Surfacing of Parking Lots. The applicant is proposing to use a gravel pave system in the parking stalls.

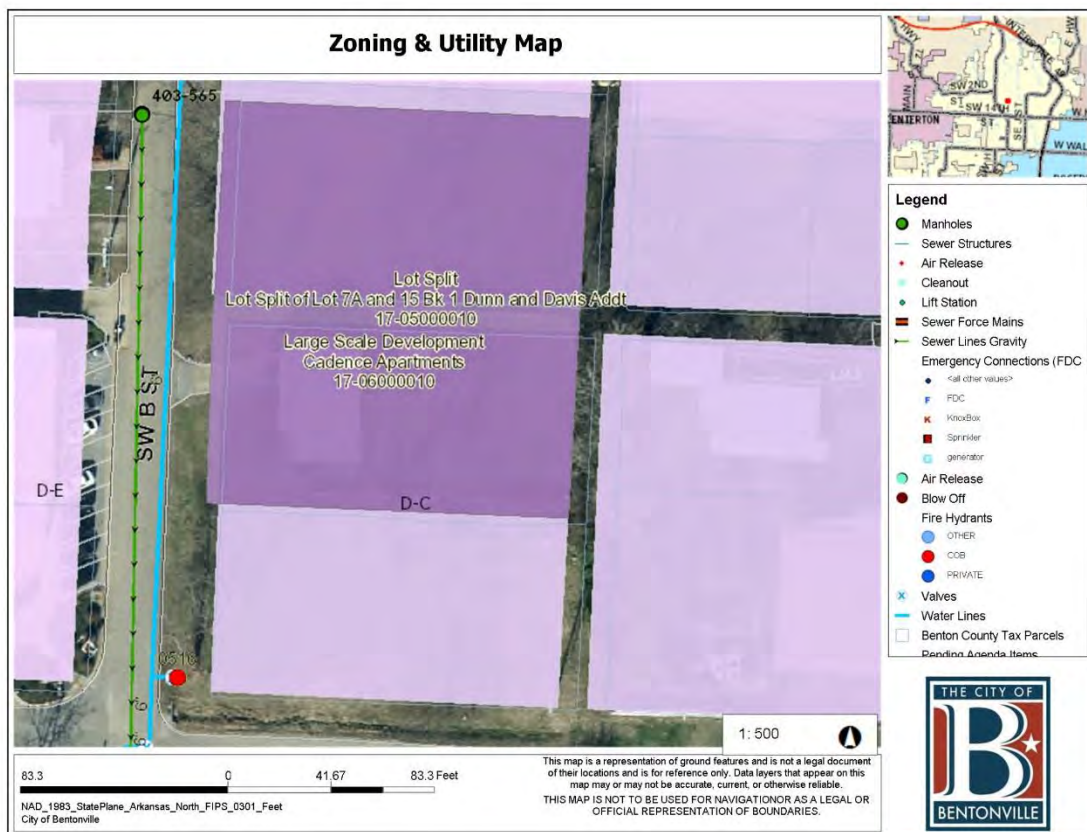
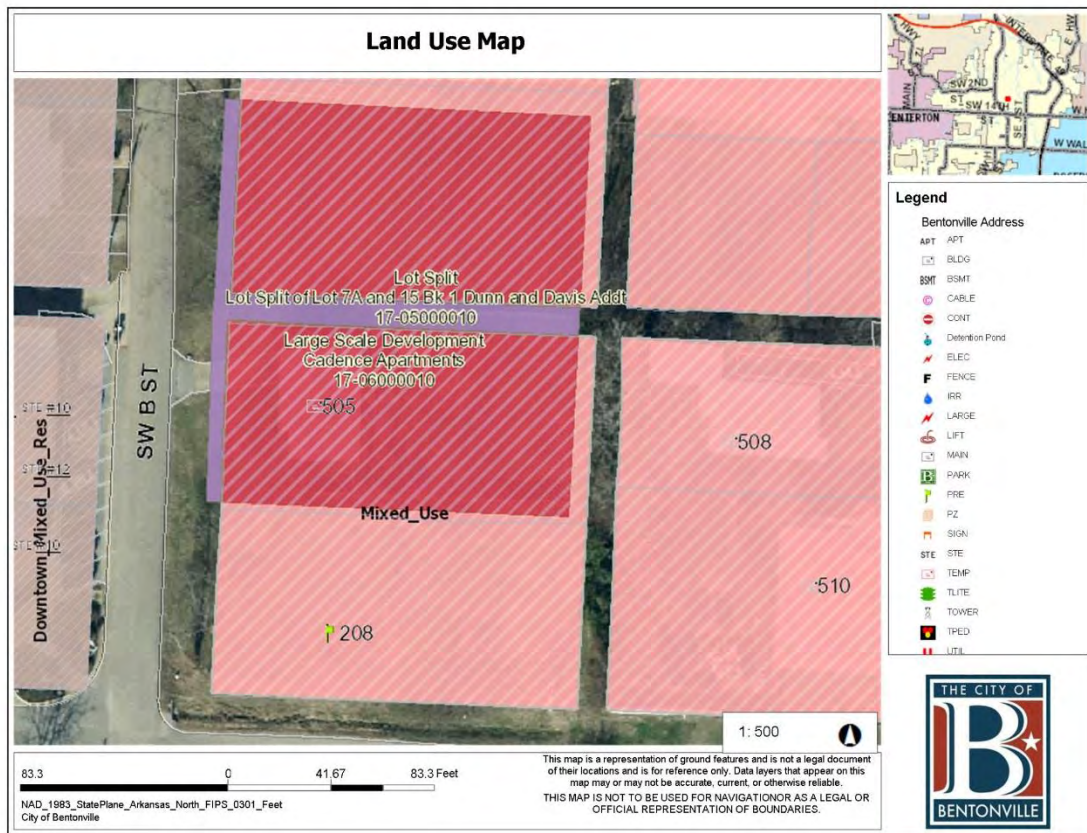
Conclusion

This large scale development does not meet the minimum requirements of the subdivision regulations due to the waiver request.

Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

LARGE SCALE DEVELOPMENT STAFF REPORT



ECOLOGICAL DESIGN GROUP, INC.

314 S. 3rd Street
Rogers, AR 72756



March 28, 2017

Planning Commissioners
City of Bentonville
305 SW A Street
Bentonville, Arkansas 72712

RE: Request for Waivers – Cadence Apartments - City Project # 17-06000010

Description:

On behalf of Cadence Group, LLC, Ecological Design Group is requesting the following waivers.

~~Waiver #1 – Article 1400.8 Interior Parking Lot Landscaping Percentage:~~

~~In order to provide the required number of parking spaces for the development, the project was unable to meet the 8% interior greenspace requirement. The interior greenspace that is provided consists of 5 shade trees that provide shade for all of the parking spaces along the center. The building provides shade for the western parking spaces during the afternoon. Additionally, the proposed use of gravel pave as the parking surface will help to reduce the heat island effect by providing a lighter colored surface that reflects less heat than a typical asphalt parking lot. The drive aisles will also be concrete which will aid in reducing the heat island effect. One additional street tree is provided along SW B Street to help offset the reduced interior greenspace. The project is providing public amenities at the north end of the parking lot that connect to the existing public alley and then to the existing trail.~~

Waiver # 2 – Article 501.7 Surfacing of Parking Lots

This development is proposing to use a gravel pave system for the parking stalls that will also provide a portion of the stormwater management for the project. The drive aisles will consist of concrete. The proposed parking stall surfacing consists of a plastic grid system that is set on top of open graded aggregate. The plastic grid/cell system is filled with pea gravel to create a solid surface that is durable, but is porous and allows stormwater to flow through to the gravel storage below. This material is used all over the country as an alternative to impervious asphalt and concrete. This system was used successfully at the Lake Atlanta park in Rogers, AR if the commissioner's would like to see a local example. Also, since the aggregate used for this system is clean washed graded rock, there is no issue with dust as described in the ordinance. Additionally, there will be a 1/4 inch grade differential between the concrete drive surface and the gravel pave to keep the gravel from migrating into the public alley. The parking striping will be created using NDS ez markers that define the parking stalls. A detail for this is provided on Sheet C5.01.

Please let us know if you need any additional information in regard to the Waiver requests. We appreciate your review and consideration of this project. If you need any additional information or have any questions, please do not hesitate to contact me at 479-935-4826 or via email at bdriver@ecologicaldg.com.

Sincerely,

ECOLOGICAL DESIGN GROUP, INC.

Brahm Driver, PE
Civil Engineer

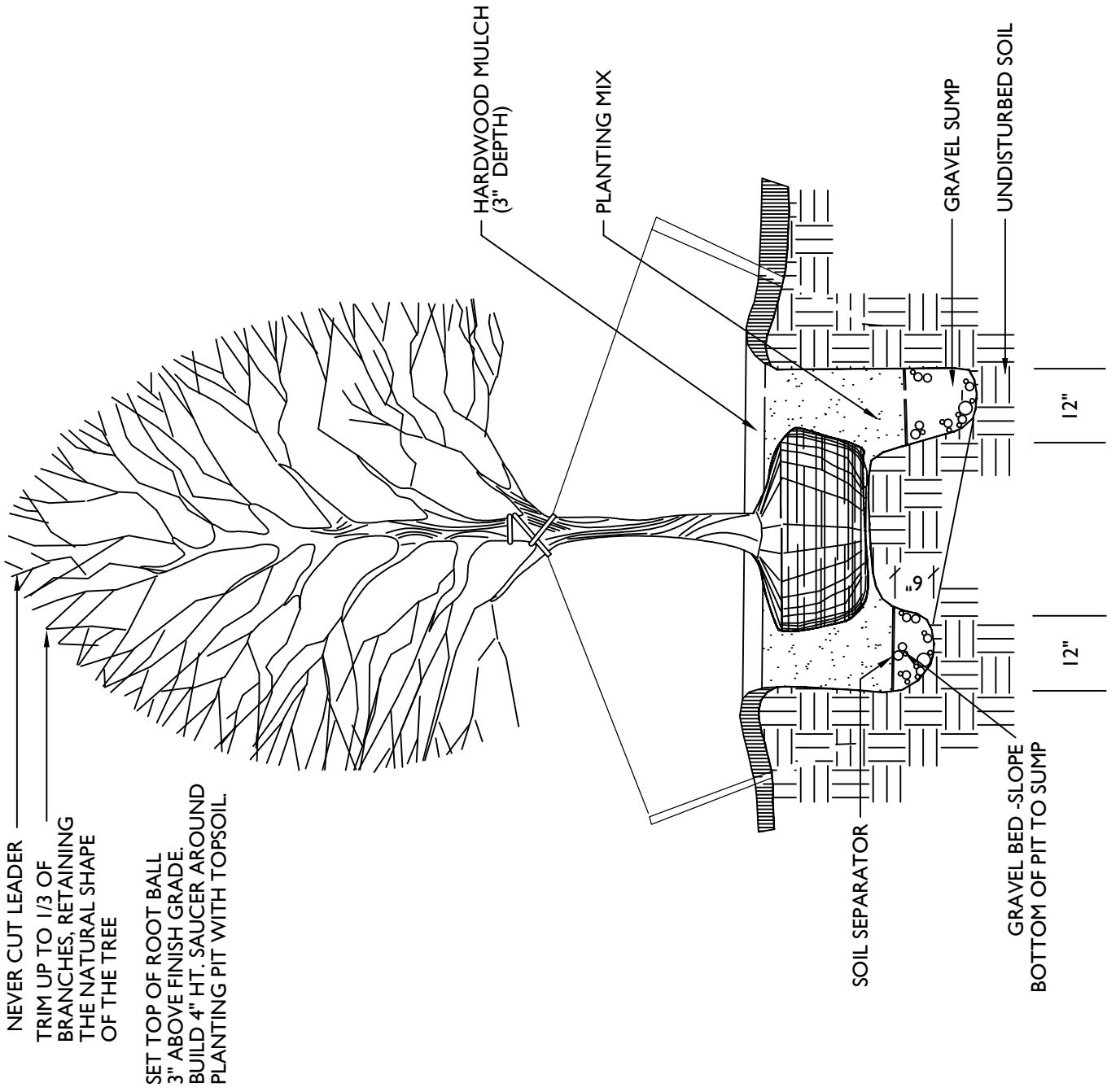
GENERAL NOTES:

- EXISTING SURVEY DATA WAS OBTAINED FROM A TOPOGRAPHIC & BOUNDARY SURVEY PERFORMED BY CASTER & ASSOCIATES LAND SURVEYING, INC. AND DATED JANUARY 4, 2017.
- SURVEY DATA IS BASED UPON NAD 83, STATE PLANE, ARKANSAS NORTH FEET COORDINATE SYSTEM.
- ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, STATE, AND FEDERAL REGULATIONS AND CODES AS WELL AS OSHA STANDARDS. SITE CONTRACTOR SHALL MEET OR EXCEED ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL MEASURES.
- THE APPROXIMATE LOCATION OF KNOWN UTILITIES & SUBSURFACE STRUCTURES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND VISIBLE STRUCTURES & RECORD DRAWINGS PROVIDED. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF THESE & ALL OTHER SUBSURFACE AND/OR LATENT FACILITIES PRIOR TO BEGINNING WORK. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE & THE COST OF SUCH REPAIRS NECESSARY SHALL BE BORNE BY THE CONTRACTOR.
- ALL WORK PERFORMED WITHIN THE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE CITY OF BENTONVILLE ENGINEERING DEPARTMENT AND TRAFFIC DEPARTMENT.
- ALL STREETS, DRIVES, WALKS, DRAINAGE STRUCTURES, FENCES, ETC. THAT ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION USING LIKE MATERIALS. COST OF SUCH REPAIRS SHALL BE BORNE BY THE CONTRACTOR UNLESS PROVISION FOR PAYMENT IS MADE IN THE PROPOSAL.
- THE CONTRACTOR IS REQUIRED TO NOTIFY THE ONE CALL CENTER AT 1-800-482-8998 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
- THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN IMPLEMENTED, AND THE SWPPP, EROSION CONTROL PLAN, AND SIGNED AUTOMATIC NOTICE OF COVERAGE IS POSTED ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AS DESCRIBED IN THE SPECIFICATIONS (INCLUDING BUT NOT LIMITED TO COMPACTION DENSITY TESTING, ETC.) AND SHALL PROVIDE RESULTS TO ENGINEER, AND MAINTAIN RECORDS AND RESULTS OF ALL TESTS PERFORMED DURING CONSTRUCTION. TESTING BY THE CONTRACTOR SHALL BE INCLUDED IN THE BID.
- EXISTING FACILITIES AND FEATURES ARE SHOWN LIGHT-LINED AND/OR SCREENED. NEW FACILITIES AND FEATURES ARE SHOWN SOLID AND HEAVY-LINED.
- SLOPES AND GRADES SHOWN ARE IN UNITS OF FT/FT UNLESS OTHERWISE NOTED.
- ALL PAVEMENT AND CURB MEASUREMENTS ARE TAKEN FROM FACE OF CURB OR EDGE OF PAVEMENT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

LANDSCAPE NOTES:

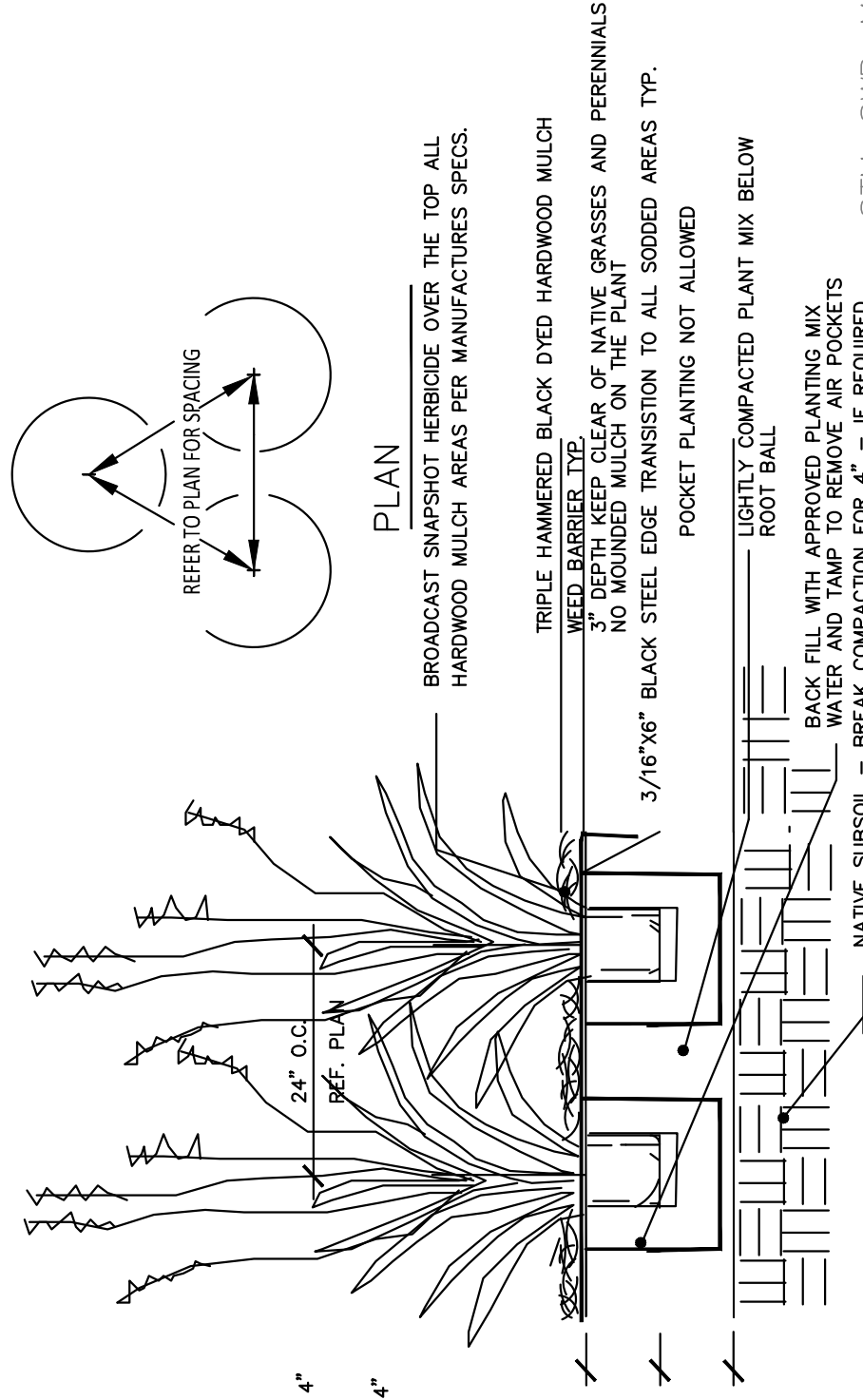
- ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED. (SEC 1400.5 C-10)
- TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 'STANDARDS FOR TREE CARE' SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC 1400.5 C-11)
- HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 'STANDARDS FOR TREE CARE' SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC 1400.5 C-12)
- LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS PLANTCOVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED. (SEC 1400.6 A-8 & SEC 1400.8 G-7)
- ALL TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY SHALL BE 4" CALIBER AND THE LOWEST LIMB SHALL BE 60" OR HIGHER FROM FINAL GRADE AT TIME OF PLANTING.
- ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES

PLANT LIST					ALL PLANT QUANTITIES TO BE VERIFIED BY THE CONTRACTOR	
TREES						
QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION	SPACING		
7	Red Maple 'October Glory'	Acer rubrum 'October Glory'	3" Caliper, 8' Ht., 2' Spread	As Shown		
5	Honey Locust	Gleditsia triacanthos 'V. Verrillii 'Moraine'	3" Caliper, 8' Ht., 2' Spread	As Shown		
SHRUBS						
QTY.	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION	SPACING		
195	Soft Rush	Juncus effusus	1 gallon	24" O.C.		
168	Gulf Muhly Grass	Muhlenbergia capillaris	3 gallon	As Shown		
195	Swamp Coneflower	Rudbeckia maxima	1 gallon	As Shown		
Miscellaneous						
QTY.	DESCRIPTION	REMARKS				
Ref. Plan	Planting Mix	Reference Detail, Landscape Architect shall approve all prepped planting beds				
Ref. Plan	Filter Fabric/Weed Mat	All planting bed areas				
Ref. Plan	Hardwood Mulch	3" Depth All Planting Beds - Keep clear 6" around all tree trunks v.p.				



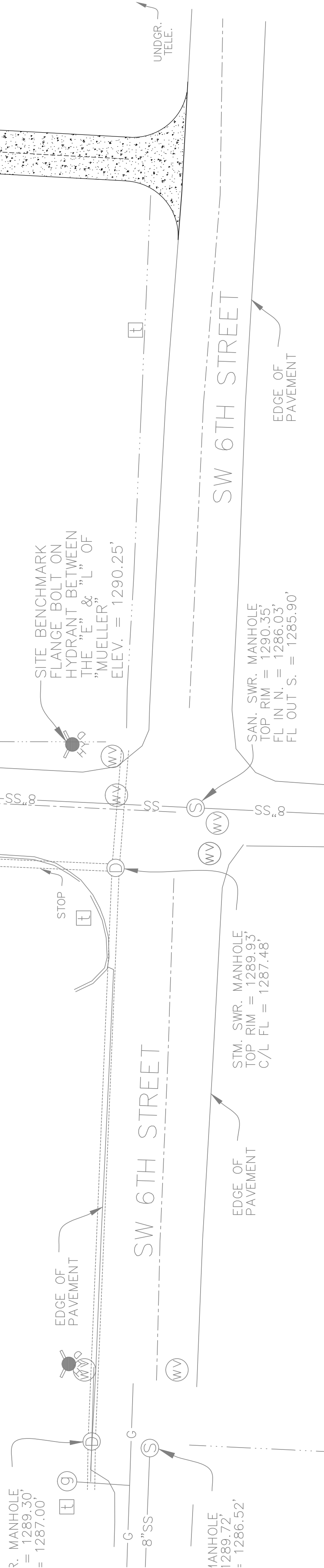
1 CANOPY TREE PLANTING/STAKING

SCALE: NTS



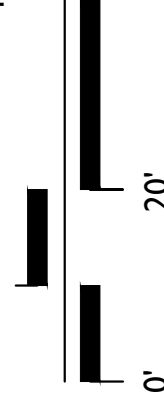
2 NATIVE GRASS & PERENNIAL PLANTING

SCALE: NTS



1 PLANTING PLAN

SCALE: 1\"/>

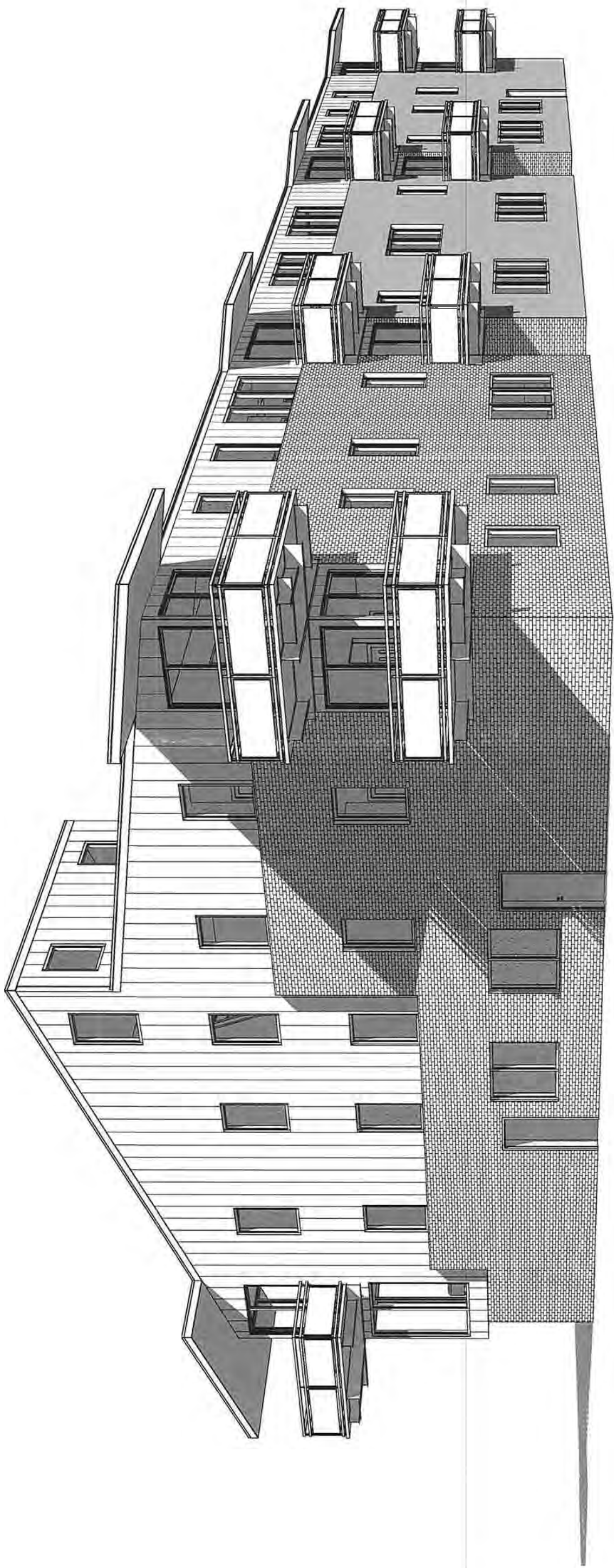


Know what's below.
Call before you dig.

SHEET TITLE PLANTING PLAN
ISSUE DATE 4-10-17
SHEET NO. L1.00

REVISIONS	





VIEW FROM NORTHWEST

CADENCE
NEWELL
DEVELOPMENT

**CROMWELL**

2016-335
A0
2-24-2017

505 union street, 2nd flr jonesboro, ar 72401
870.336.0536
101 south spring street little rock, ar 72201
501.372.2900 cromwell.com



WEST ELEVATION - SW B STREET

1" = 10'-0"

CADENCE

NEWELL
DEVELOPMENT

CROMWELL

2016-335

A5

2-24-2017

505 union street, 2nd flr jonesboro, ar 72401
870.336.0536

101 south spring street little rock, ar 72201
501.372.2900 cromwell.com

Northeast 'J' Street

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-08000005
Applicant / Current Owner	Roddey Residential Properties, LLC 704 S. Main Street Bentonville, AR 72712
Site Area	13.50 acres
Current Zoning	PUD, Planned Unit Development
Future Land Use Map Designation	Medium Density Residential (MDR)
No. of Lots	31 single family & 2 multi-family = 33
Subdivision Name	North Village

Location Map



This property is the location of undeveloped residential land located in an area that is designated for medium-density residential development.

The applicant has submitted a preliminary plat for a 33 lot subdivision to be known as North Village. Thirty-one of these lots are for single-family home development and the two remaining lots will be for multi-family development. The single-family lots range in size from 3,800 to 13,000 sq. ft. Full width street improvements to NE 'J' Street will be constructed with the development. A traffic choker will be installed north of the secondary connection to NE Benjamin Greens. The subdivision will have a minimum of five acres of common space dispersed throughout. The developer will install the sidewalk along NE 'J' Street and along all common area properties that have public street frontage. Storm water detention is being provided on site. Public water, sewer and electric will serve each lot under the approved plan.

The proposed preliminary plat will not adversely affect traffic in the area. The primary access will be Northeast 'J' Street located to the east. This street will be improved with the development of the land and is adequate for the anticipated increase in trips per day. The secondary access to Northeast Benjamin Greens is necessary to provide fire and emergency services access.

Per the GIS website, water and sewer are available to this site.

A drainage report was submitted and tentatively approved by the city engineer.

No waivers requested.

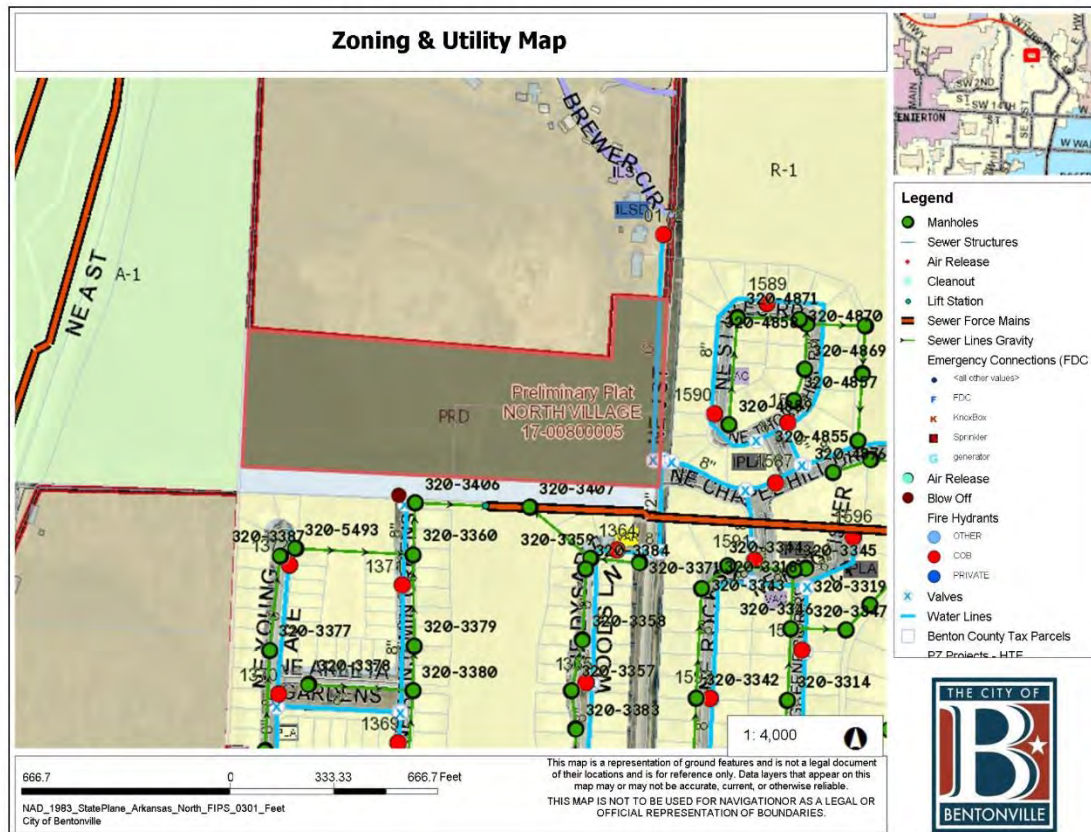
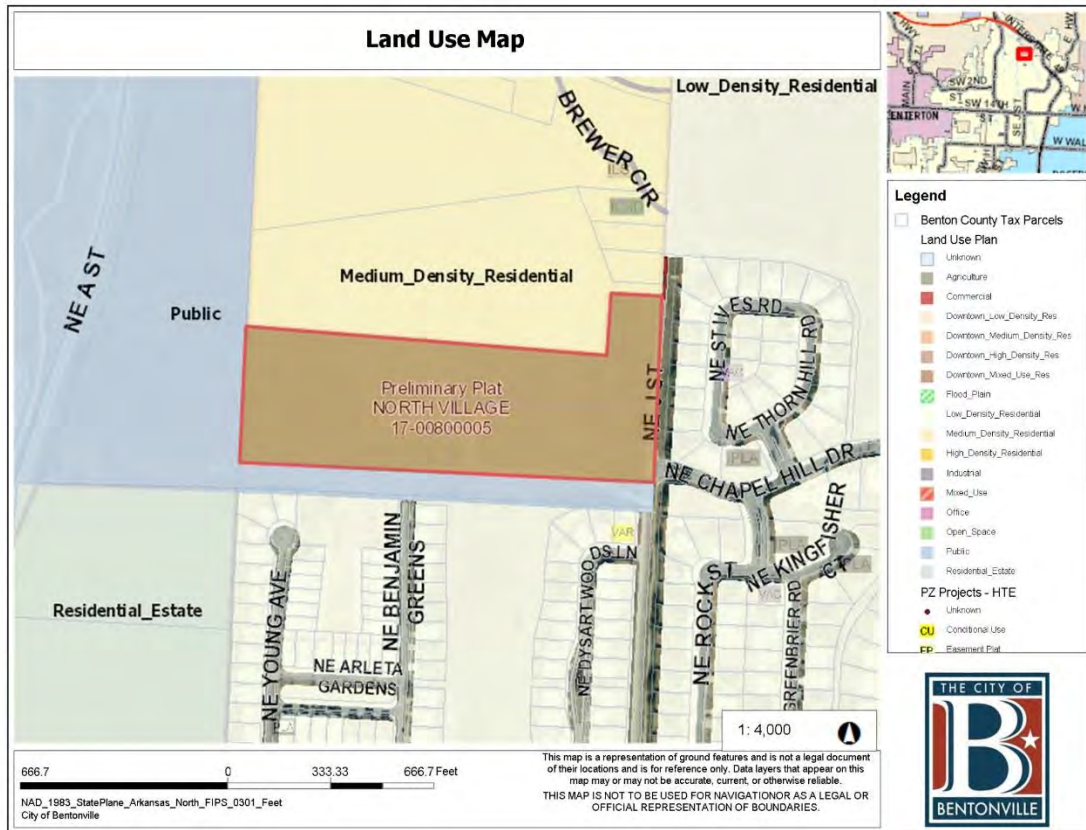
This preliminary plat does meet the minimum requirements of the subdivision regulations.

1. Provide a digital copy of the plat.

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

- **Street Names:** All street names are preliminary and are for planning purposes only. Street names are not finalized until Final Plat approval.
- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.
- **Conceptual Approval.** Staff approval of final detailed plans, specifications and calculations (where applicable) for grading, drainage, water, sewer and streets. The information submitted for the preliminary plat review process was reviewed for general concept only.

PRELIMINARY PLAT STAFF REPORT



LARGE SCALE DEVELOPMENT STAFF REPORT



Project Maple

5800 SW Regional Airport Blvd.

PC Date: 4/18/2017

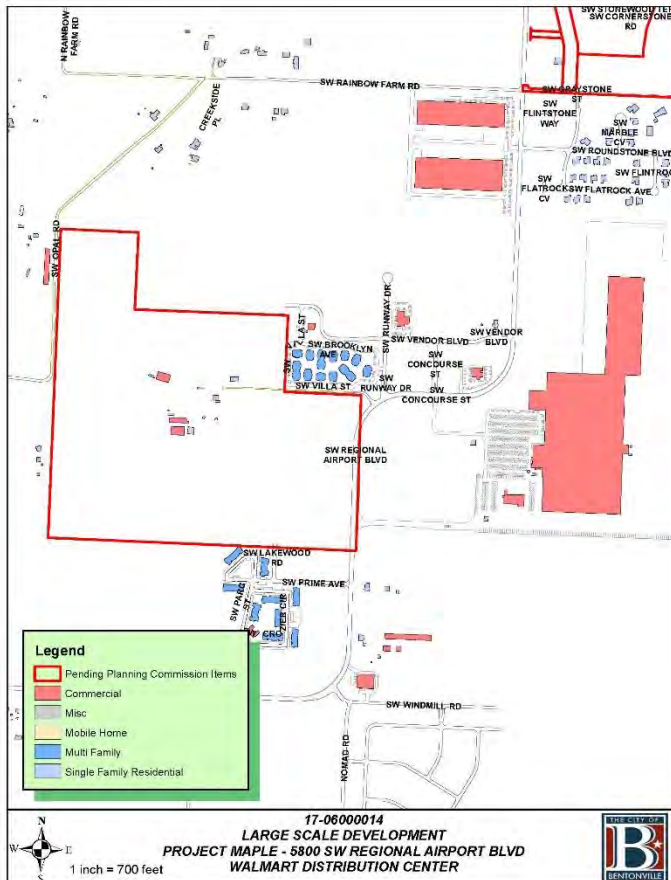
Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	17-06000014
Applicant / Current Owner	Ft. Scott Property 234 E. Millsap, Suite 200 Fayetteville, AR 72703
Site Area	120+/- acres
Current Zoning	I-1, Light Industrial
Future Land Use Map Designation	Industrial (I)
Development Type / Use	Warehouse/Shipping/Office Facility

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is vacant industrial land located in the southwest part of the city due east of the existing Walmart Distribution Center along State Highway 12.

Project Details

The applicant is proposing a large scale development that consists of a 1,269,057 sq. ft. warehouse/shipping/office facility. The project will be constructed as a single phase. Four hundred seventy-five associate parking spaces will be provided. One thousand thirty trailer parking spaces are being provided. Ingress/egress will be from two proposed curb cuts on SW Regional Airport Blvd. Storm water is being detained on-site. SW Vendor Blvd. will be extended to SW Opal Rd. A 6' wide sidewalk will be constructed along SW Regional Airport Blvd and a 5' wide sidewalk will be constructed along the north side of the proposed SW Vendor Blvd. extension. The exterior building elevations depict split face CMU, concrete panel and metal trim for the front facing east façade and ribbed metal panels for all other facades.

Projected Traffic Impact

The proposed development will not adversely affect traffic in the area.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

2 waiver request.

- The applicant has submitted a waiver to Article 1100, Design Standards, Section 1100.E.1 Building Design, Materials.
- The applicant has submitted a waiver to Article 1200, Off-Site Improvements, Section 1200.2 Determining Necessity for Off-Site Improvements (for SW Opal Rd and connectivity to the south). The applicant is providing an east to west extension of SW Vendor Blvd. to Opal Rd. in lieu of the full length improvements to SW Opal Rd.

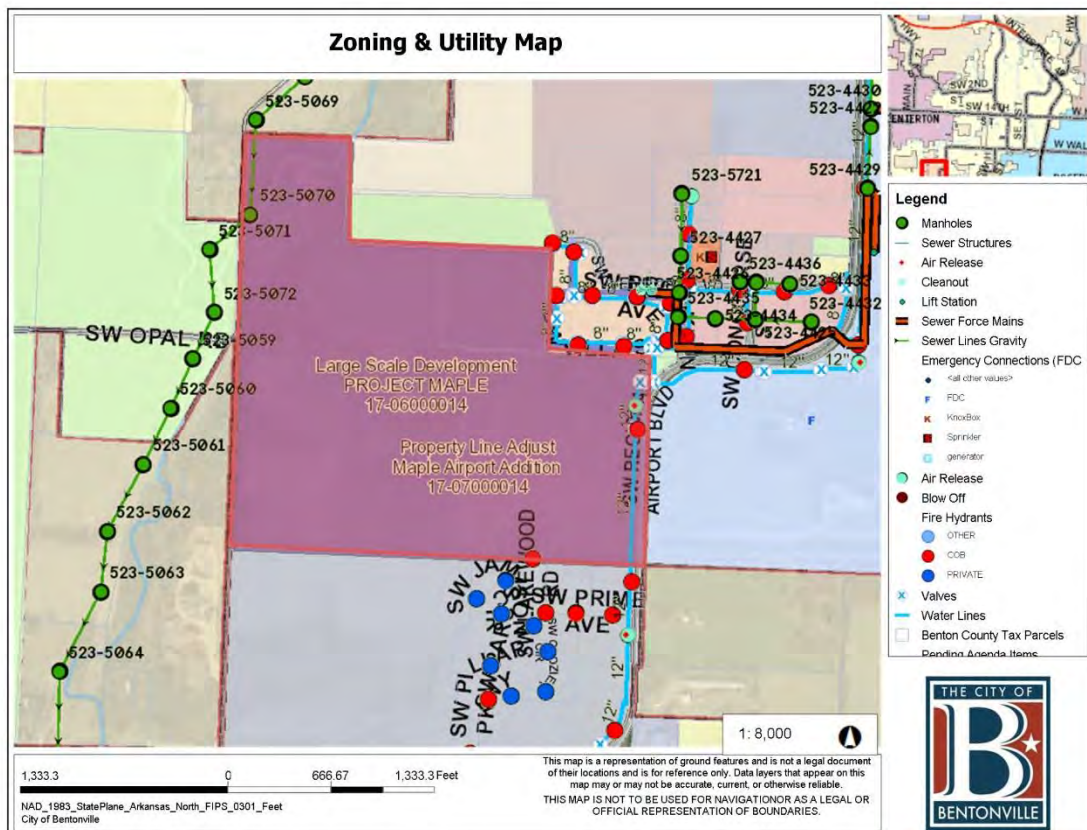
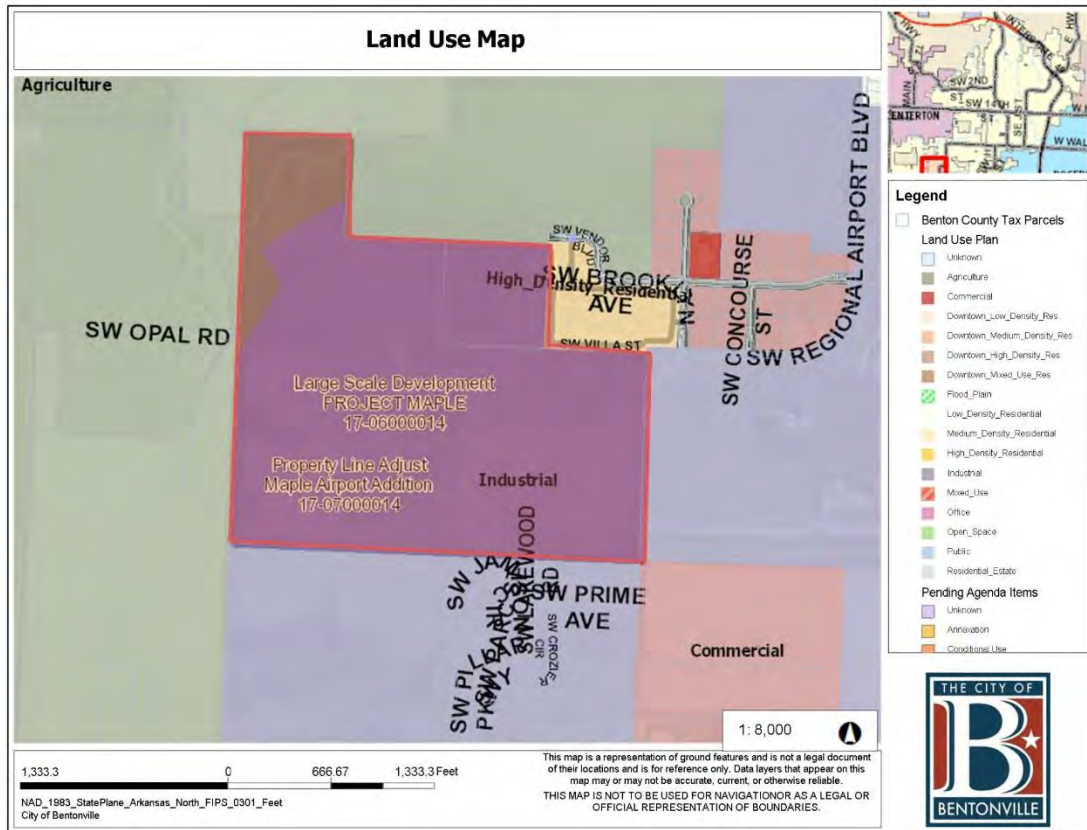
Conclusion

This large scale development does not meet the minimum requirements of the subdivision regulations due to the waiver requests.

Recommendation

Staff has reviewed this application and based on the findings presented in this report, staff recommends approval.

LARGE SCALE DEVELOPMENT STAFF REPORT





CSO Architects

April 3, 2017

City of Bentonville Planning Commission
Community Development Building
305 SW A St.
Bentonville, AR 72712

Re: LSD – Project Maple – Waiver Request
5800 SW Regional Airport Boulevard

To the City of Bentonville Planning Commission:

This is a formal request for a waiver of the City of Bentonville Subdivision Code Articles 1100.13.E.1 and 1100.13.E.5. The said code articles require that the primary exterior façade material consist of a combination of brick, textured concrete block or natural stone and also requires wall articulations a minimum of 2' deep no greater than 100' apart.

In lieu of providing one of the three exterior materials allowed by the code, we propose using an architectural metal panel across the entire east façade of the distribution center. The architectural metal panels proposed consist of prefinished metal skins bonded to a polyisocyanurate insulation core. The panel edges are formed integral with the wall panels allowing for larger panels, concealed fastener attachment and interlocking architectural reveals at each panel joint. The panels are custom fabricated for each project allowing for the reveals and joint spacing to be complimentary to the façade. While not specifically allowed by the article 1100.13.E.1, similar panels have been used on some projects within the City of Bentonville.

We propose locating the façade projections aligned with the structural elements of the building. This would place the offsets at a maximum of 113' apart, greater than the Code allowed 100'. With the size of the building, and length of the East façade being in excess of 650', the requested increase of 13' over the spacing allowed by code will not be perceivable, especially when viewed from the property line, over 500' away. Additionally, several other projections on the facade are well below the 100' threshold.

It is important to note that the east façade being constructed initially is an expansion wall and is located 500' from the property line. Should an expansion occur in the future, the east façade would need to be removed in its entirety to allow for the internal function of the building to extend into the building expansion. In addition to utilizing the architectural metal panels on the east façade, we propose wrapping the architectural metal panels around the north and south facades approximately 27'-6" from the east façade, creating an upgraded architectural corner. The Code only regulates the materials along the east façade.

We appreciate your consideration of this request. If you have any additional questions or would like to discuss these items further, please do not hesitate to contact me at 317-848-7800.

Respectfully submitted,

Aaron Haschel, AIA
Principal
cc: File



CEI Engineering Associates, Inc.

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2
Bentonville, AR 72712
(479) 273-9472 Fax (479) 273-0844
www.ceieng.com

April 3, 2017

City of Bentonville Planning Commission
Community Development Building
305 SW "A" Street
Bentonville, AR 72712

RE: LSD - Project Maple - Waiver Request
5800 SW Regional Airport Boulevard
Project #17-06000014

To the City of Bentonville Planning Commission:

This is a formal waiver request of the following Bentonville Codes:

Article 1200 OFF-SITE IMPROVEMENTS:

- Section 1200.2 Determining Necessity for Off-site Improvements

The said code requires that when a proposed subdivision has direct access to, or fronts on, an existing road or street which is below current standards, the sub-divider shall be responsible for contributing his proportionate share of the cost of improving said street or road to existing city standards.

SW Opal Road Improvement

The backside (west side) of the Project Maple site fronts on SW Opal Road, which is currently a two-lane dirt road. The owner/developer is requesting a waiver to not improve SW Opal Road. In lieu of those improvements, we are proposing to extend Vendor Boulevard from its current dead end near the Flagstone Creek Apartments to SW Opal Road. This would include full right-of-way (ROW) dedication for the proposed road extension. Both the developer/owner and City Planning Staff agree that the connectivity gained by the proposed construction of Vendor Boulevard will benefit City residents more than improvements to SW Opal Road.

In addition to the dedication and construction of the Vendor Boulevard extension, the owner/developer is proposing to place a chip seal surface on SW Opal Road from the proposed Vender Boulevard connection point south to the existing end of pavement. This would result in approximately 500 feet of chip seal improvements.

Articles 1100 DESIGN STANDARDS & 1400 LANDSCAPING:

- Section 1100.5.B Streets, Right-of-Way Dedication
- Section 1100.6 Sidewalks
- Section 1400.6.A.1 Street Frontage Buffer Landscaping

The said codes require local road classifications to provide a total right-of-way width of 52', and roadway paving width of 30' back of curb to back of curb as noted in the Master Streets Plan Requirements table, with sidewalks on both sides of the street and a 20' wide landscape buffer.

Providing Consolidated Land Development Services

CALIFORNIA ■ TEXAS ■ ARKANSAS ■ MINNESOTA ■ PENNSYLVANIA

Vendor Boulevard Right-of-Way Width

The owner/developer is requesting a waiver to reduce the ROW width from 52' to 42' for the proposed Vendor Boulevard extension.

In order to extend Vendor Boulevard along the northern edge of the property, the owner/developer is requesting the ROW width be reduced from 52' to 42' to accommodate the proposed onsite development and meet existing grades along the northern edge of the property without the need for retaining walls. The site constraints (extreme grade slopes) will not allow for a ROW width greater than 42' without significant impacts to the site and building, which will have a detrimental effect to the operation of this facility. Where possible, the full 52' ROW width will be provided.

Vendor Boulevard Street Width

The owner/developer is requesting a waiver to reduce the street paving width from 30 feet to 24 feet back-of-curb to back-of-curb.

The ROW width limits the space available for a typical Local Street Classification. In order to provide space for underground utilities, pedestrian connectivity, and street trees along Vendor Boulevard, the owner/developer is requesting the above noted 6-foot reduction in paving width. The reduced road width will still provide adequate room for two lanes of travel and accommodate electrical infrastructure, sidewalk, and greenspace/trees within the ROW.

Vendor Boulevard Sidewalk

The owner/developer is requesting a waiver to reduce the required sidewalk from both sides of the street to just the north side of the proposed Vendor Boulevard extension.

In order to accommodate the extension of Vendor Boulevard, the owner/developer is requesting to waive the requirement for sidewalks to be located on both sides of the road. Site constraints limit space available for pedestrian connectivity typically located in the ROW. The owner/developer is proposing to provide a single 5-foot wide sidewalk along the north side of Vendor Boulevard to accommodate pedestrian access.

Vendor Boulevard Frontage

The owner/developer is requesting a waiver to reduce the required street frontage buffer width from 20-foot to 8-foot along the south side of the proposed Vendor Boulevard extension.

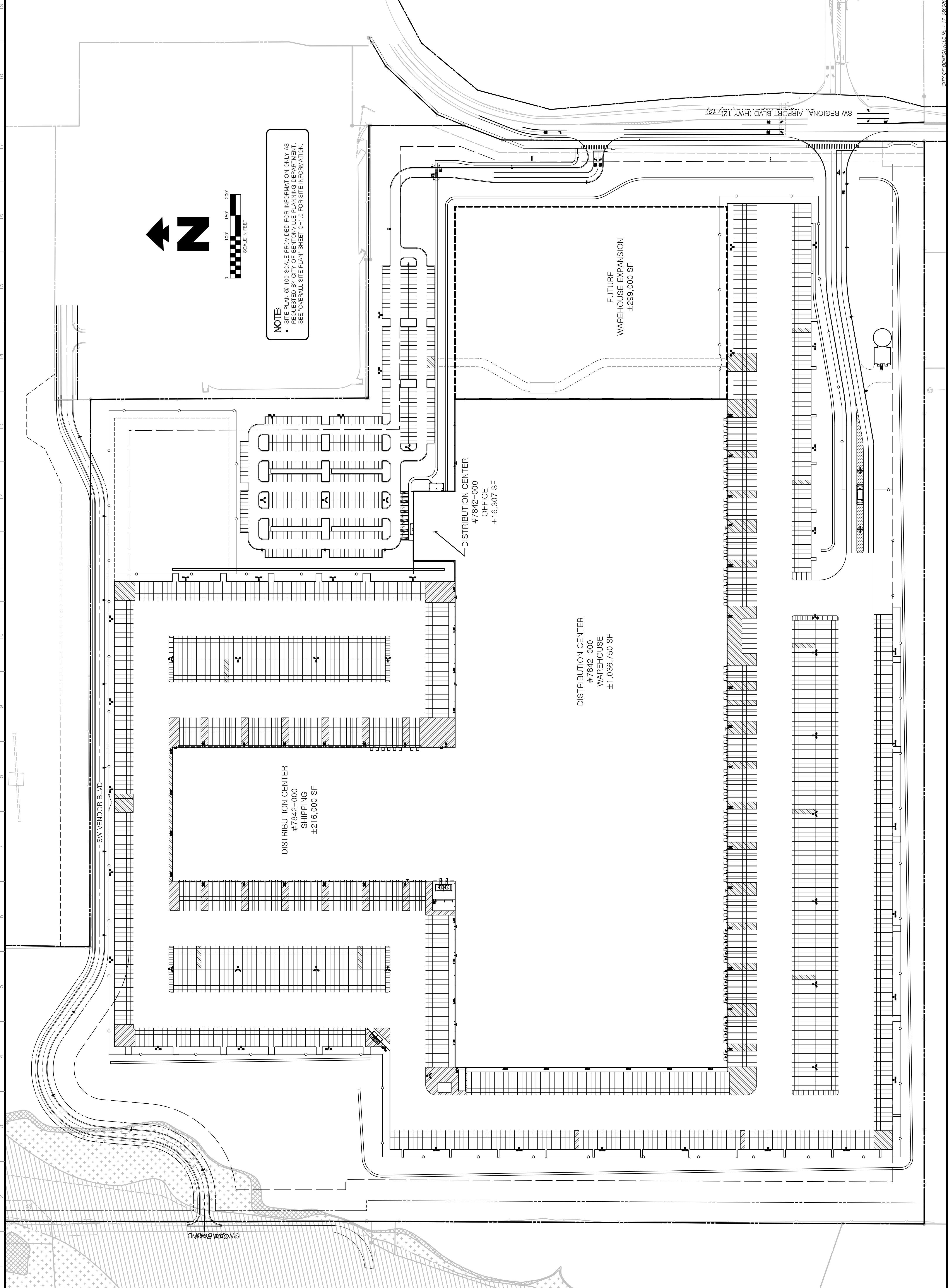
In order to accommodate the extension of Vendor Boulevard along the northern edge of the Project Maple property, the owner/developer is requesting the buffer width be reduced from 20 feet to 8 feet. Due to limited ROW width, 8 feet is the maximum achievable buffer width without major impacts to the owner's operations and adjacent property owners. In lieu of providing a 20-foot wide landscape buffer, we are proposing an 8-foot buffer with evergreen trees provided as for screening. The number of trees provided will still comply with code requirements for street frontage.

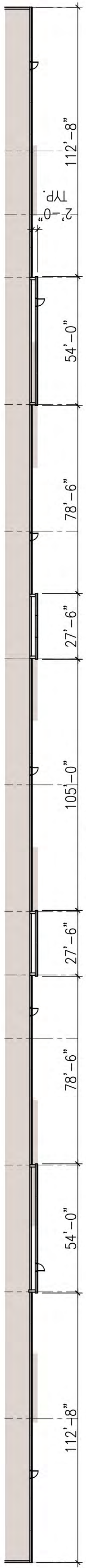
We appreciate your consideration of this request. If you have any questions or need additional information, please contact me via phone at (479) 273-9472 or email at jtrahan@ceieng.com.

Respectfully submitted,
CEI Engineering Associates, Inc.

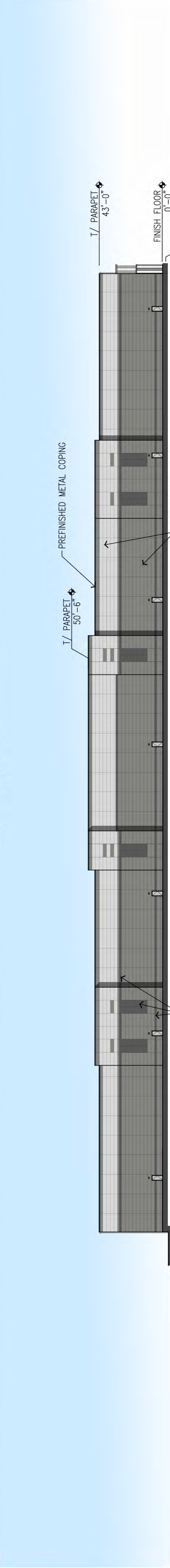


John Trahan
Project Manager

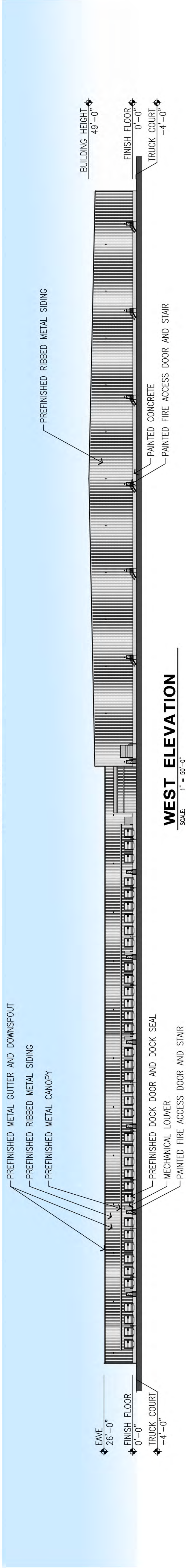




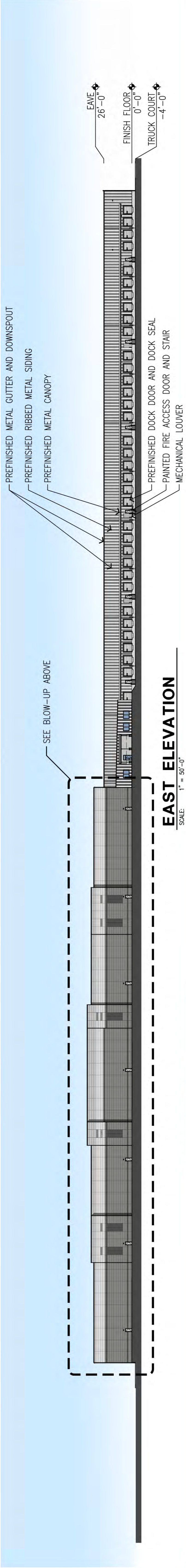
PARTIAL EAST PLAN
SCALE: 1" = 30'-0"



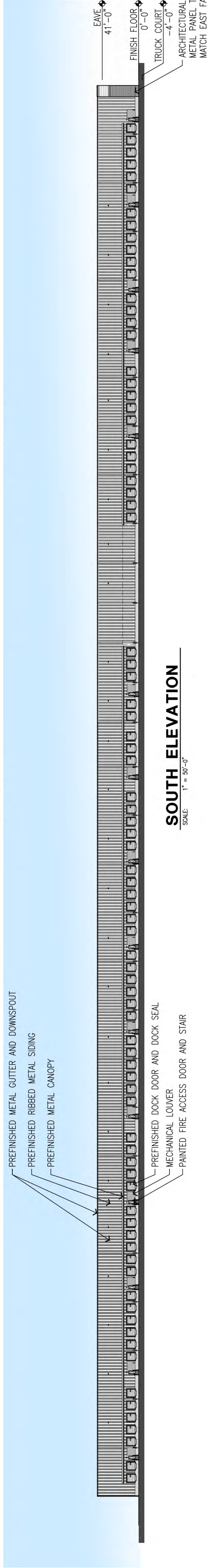
PARTIAL EAST ELEVATION
SCALE: 1" = 30'-0"



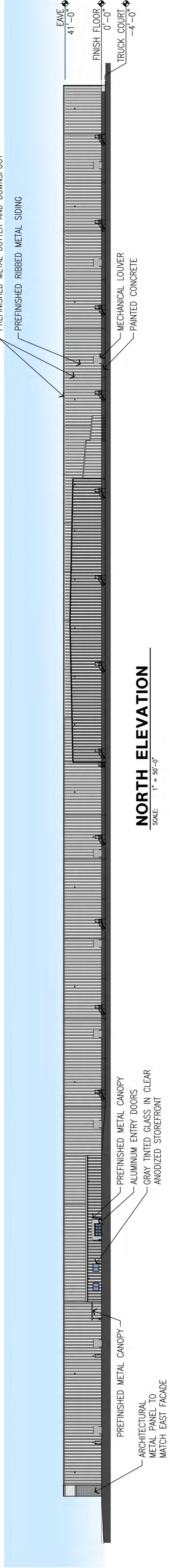
WEST ELEVATION
SCALE: 1" = 50'-0"



EAST ELEVATION
SCALE: 1" = 50'-0"



SOUTH ELEVATION
SCALE: 1" = 50'-0"



NORTH ELEVATION
SCALE: 1" = 50'-0"