



**Planning Commission
Agenda
August 15, 2017**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**
 - 1. Lots 1 & 2, Block 3, El Contento Addition** **Lot Split**
NW 3rd Street & SW 2nd Street
 - 2. Best Joy Office** **Large Scale Development**
3005 SE 'J' Street
 - 3. Club Tan** **Large Scale Development**
1301 South Walton Boulevard
- IV. New Business**
 - 1. Aurora Development, LLC** **Rezoning***
(C-2 to C-3)
1118 SW 2nd Street
 - 2. Mathias** **Rezoning***
(R-1, to DN-2)
NW 5th Street
 - 3. Bowser Shattuck Group, LLC** **Rezoning***
(R-1, to DN-2)
NW 'A' Street
 - 4. Bentonville Islamic Center** **Conditional Use**
1801 SW 2nd Street
 - 5. The Neighborhood Church** **Conditional Use**
2702 SW 'I' Street
 - 6. Lots 27 & 28 Straube Business Park** **Property Line Adjustment**
5300 SW Regional Airport Blvd.
 - 7. Gateway Park Warehouse 4** **Large Scale Development**
5300 SW Regional Airport Blvd.
 - 8. Helen R. Walton Children's Enrichment Center** **Large Scale Development**
309 NE 'J' Street
- V. Other Business**
 - a. Planning Commission Training, September 27th from 8:30am to 4:30pm @ the Arvest Conference Center.**
 - b. Election of Officers**
- VI. Planner's Report**
- VII. Adjournment**

Planning Commission
Minutes
August 1, 2017

Meeting called to order at 5:00 p.m. by Greg Matteri, Chairman.

Present: Joe Haynie, Jim Grider, Tregg Brown, Greg Matteri, Richard Binns, and Rod Sanders
Absent: Scott Eccleston
Staff: Brian Bahr, Beau Thompson, and Jon Stanley

Motion by Mr. Haynie, seconded by Mr. Grider to approve the minutes of July 18, 2017 as written
Approved 6-0

New Business

Item #1

Radio Tower/SCADA: Conditional Use, 3200 Southwest Municipal Drive

Jon Stanley reads the staff report.

Opened public hearing

No public comments

Closed public hearing

Approved 6-0

Item #2

Northwest Prairie Addition Gym: Large Scale Development, 801 Southwest 14th Street

Jon Stanley reads the staff report.

Approved 6-0

Old Business

Item #1

Cindy Springs LLC (Crystal Flats): Planned Unit Development, Northeast John DeShields Boulevard and Northeast Legacy Parkway, Expired Planned Unit Development to Planned Unit Development

Motion by Mr. Sanders, seconded by Mr. Brown to remove item from table

Approved to take off table 6-0

Opened public hearing

Matt O'Reilly, owner, speaks. He discusses the community meeting that was held stating that 118 citizens attended, 33% supported the PUD while 67% were against it. He states that he did not receive any ideas about what to change. He then discusses the impact on the park, traffic/safety, and density. He states that Phase 1 will be 500 units. Once Phase 1 is leased, Phase 2 will start.

Mr. Matteri states that after the Planning Commission meeting, it will go to City Council and the developer will have 30 days to appeal the decision.

Mr. Bahr explains the expired PUD, stating it is not valid and they have 5 years to complete a PUD.

Mr. Matteri then urges the citizens wishing to speak during the public hearing to discuss the PUD zoning, not traffic concerns.

*A full recording of this meeting can be obtained from the City of Bentonville Planning Department.

Closed public hearing

Denied 3-3

Motion by Mr. Grider, seconded by Mr. Haynie to adjourn
Meeting adjourned

Ali Worley

*A full recording of this meeting can be obtained from the City of Bentonville Planning Department.

LOT SPLIT STAFF REPORT



Lots 1 & 2, Block 3, El Contento Addition

NW 3rd Street & SW 2nd Street

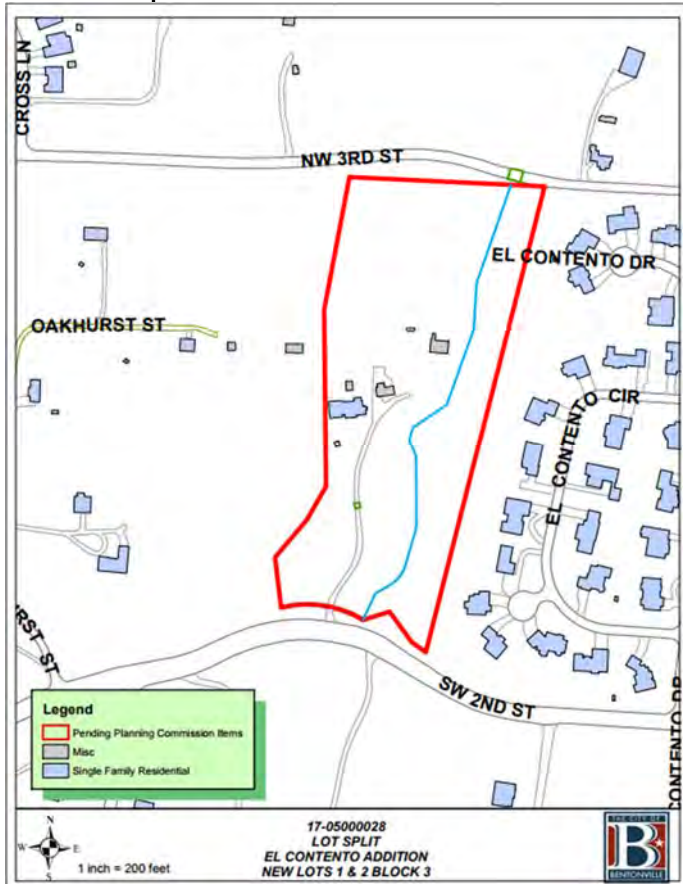
PC Date: 8/15/2017

Reviewer: Beau Thompson, AICP, Senior Planner

Project Number	17-05000028
Applicant / Current Owner	El Contento Properties, LLC PO Box 1860 Bentonville, AR 72712
Site Area	10.81 acres
Current Zoning	A-1, Agricultural
Future Land Use Map Designation	Low Density Residential (LDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of two A-1, Agricultural zoned parcels situated between SW 2nd Street and NW 3rd Street. Adjacent properties are zoned A-1 to the west and north, R-1 to the north and east, and PUD to the south. Coler Creek runs through this property.

Project Details

The applicant has submitted a proposal for a lot split that will create 2 new lots from un-platted section land. The new lots will be known as Lots 1 (7.67 acres) and Lot 2 (2.89 acres) of Block 3, El Contento Addition. Lot 2 will be utilized for the trail system and is indicated as "Reserved Property" on the plat. Per the requirements of the Master Street Plan, right-of-way will be dedicated along NW 3rd Street. Right-of-way along SW 2nd Street is sufficient. Both lot shave access to public utilities and a public street.

Projected Traffic Impact

The proposed lot split will not adversely impact traffic in the area.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required.

Waivers

No waivers requested.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

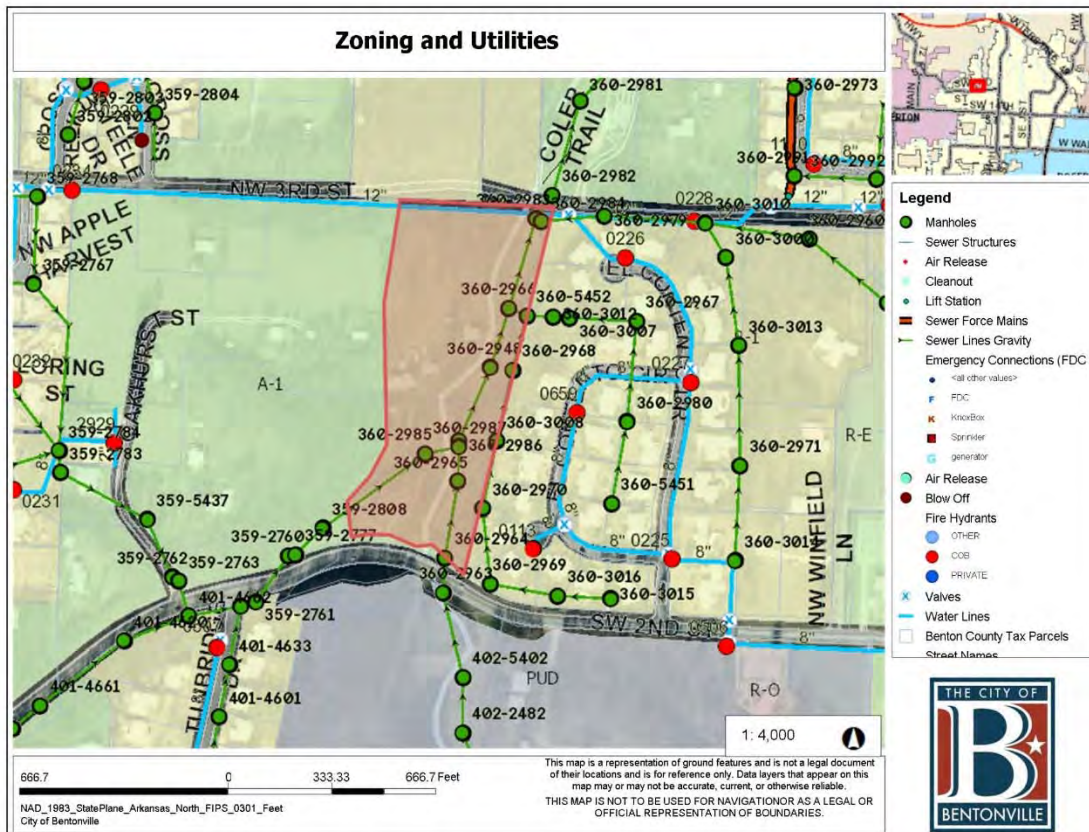
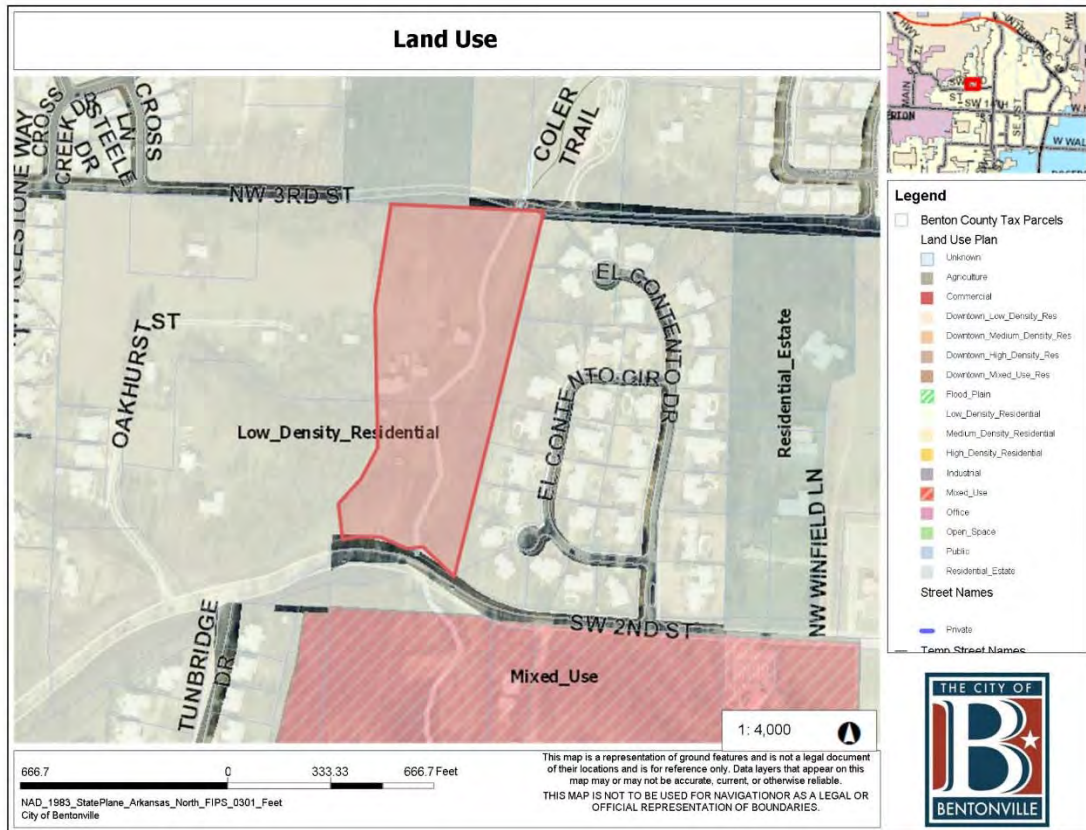
Standard Conditions of Approval

1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT



LARGE SCALE DEVELOPMENT STAFF REPORT



Best Joy Office

3005 SE 'J' Street

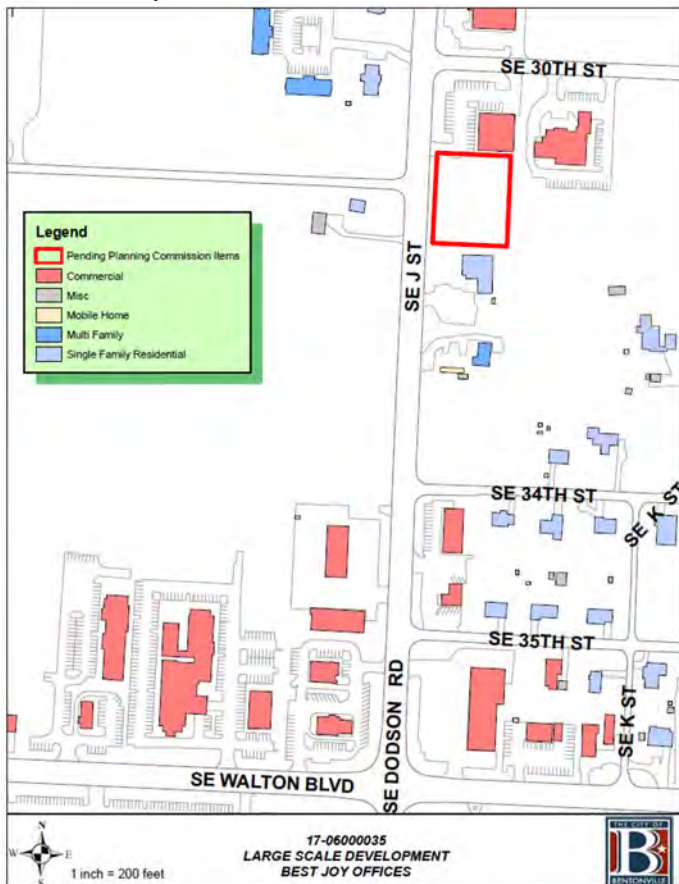
PC Date: 8/15/2017

Reviewer: Jon Stanley, Planner

Project Number	17-06000035
Applicant / Current Owner	Best Joy, LLC 430 Park Ave. 10 th Floor New York, NY 10022-3528
Site Area	0.98+/- acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Office/Vendor

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of a commercially zoned lot along the east side of SE 'J' Street.

Project Details

The applicant is proposing a large scale development for a two story, 7,000 sq. ft. office building located at 3005 SE 'J' Street. Twenty-eight (28) parking spaces are being provided. A single new curb cut is being proposed onto SE 'J' Street. Cross access will be provided to the west to accommodate future development. Sidewalk is existing along the street frontage. On-site storm water detention will be provided along the eastern portion of the property. The primary materials depicted for the exterior elevations include modular brick, flat metal panel trim and glass.

Projected Traffic Impact

The proposed development will not adversely impact traffic in the area.

Utility Infrastructure

Per the GIS website, Water and sewer are available.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

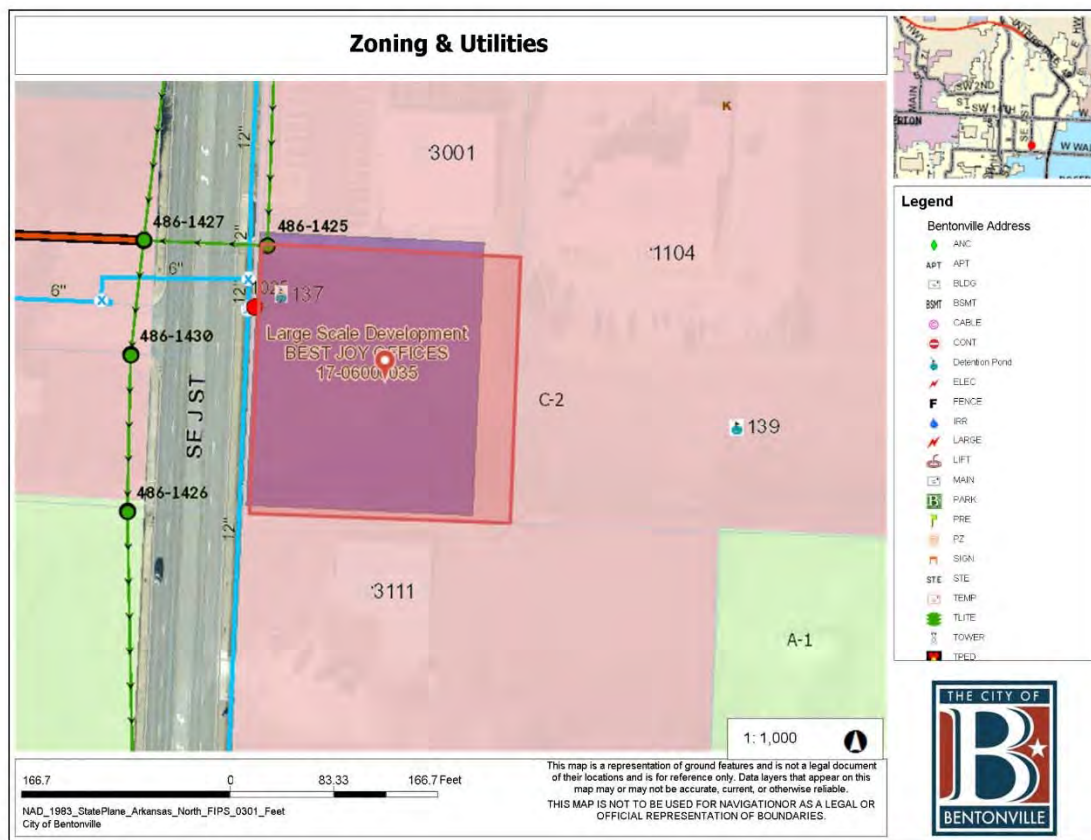
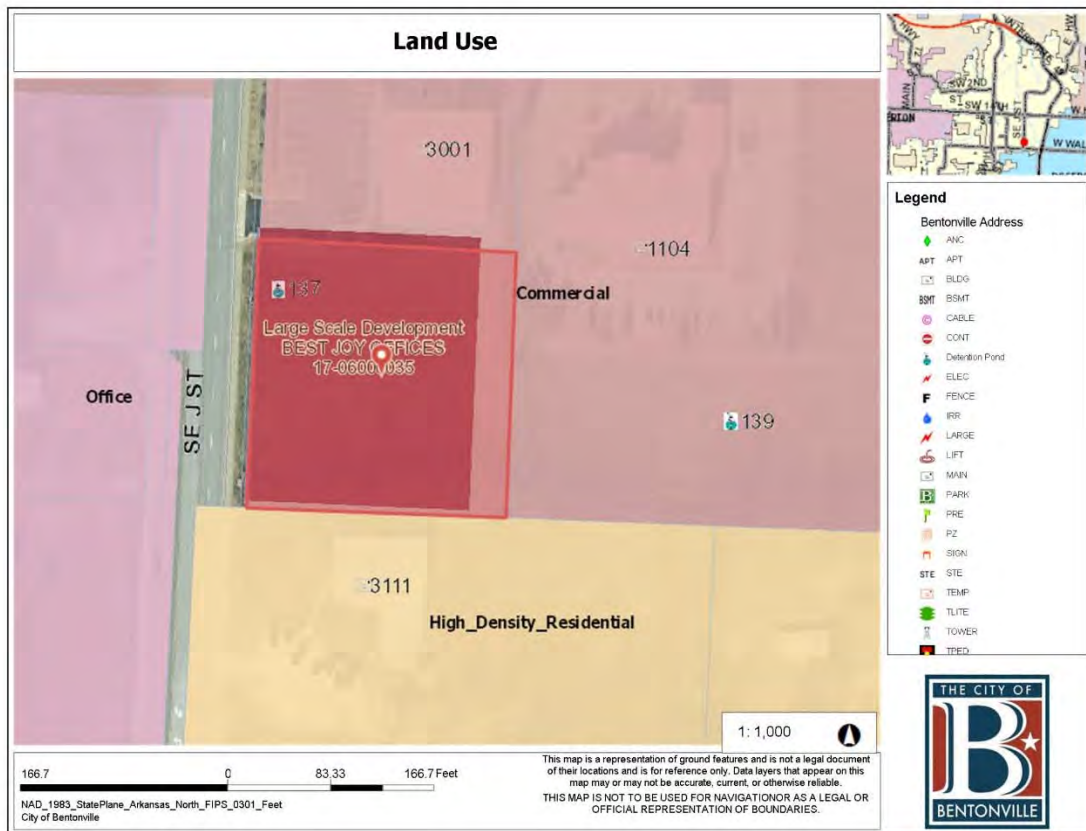
Waivers

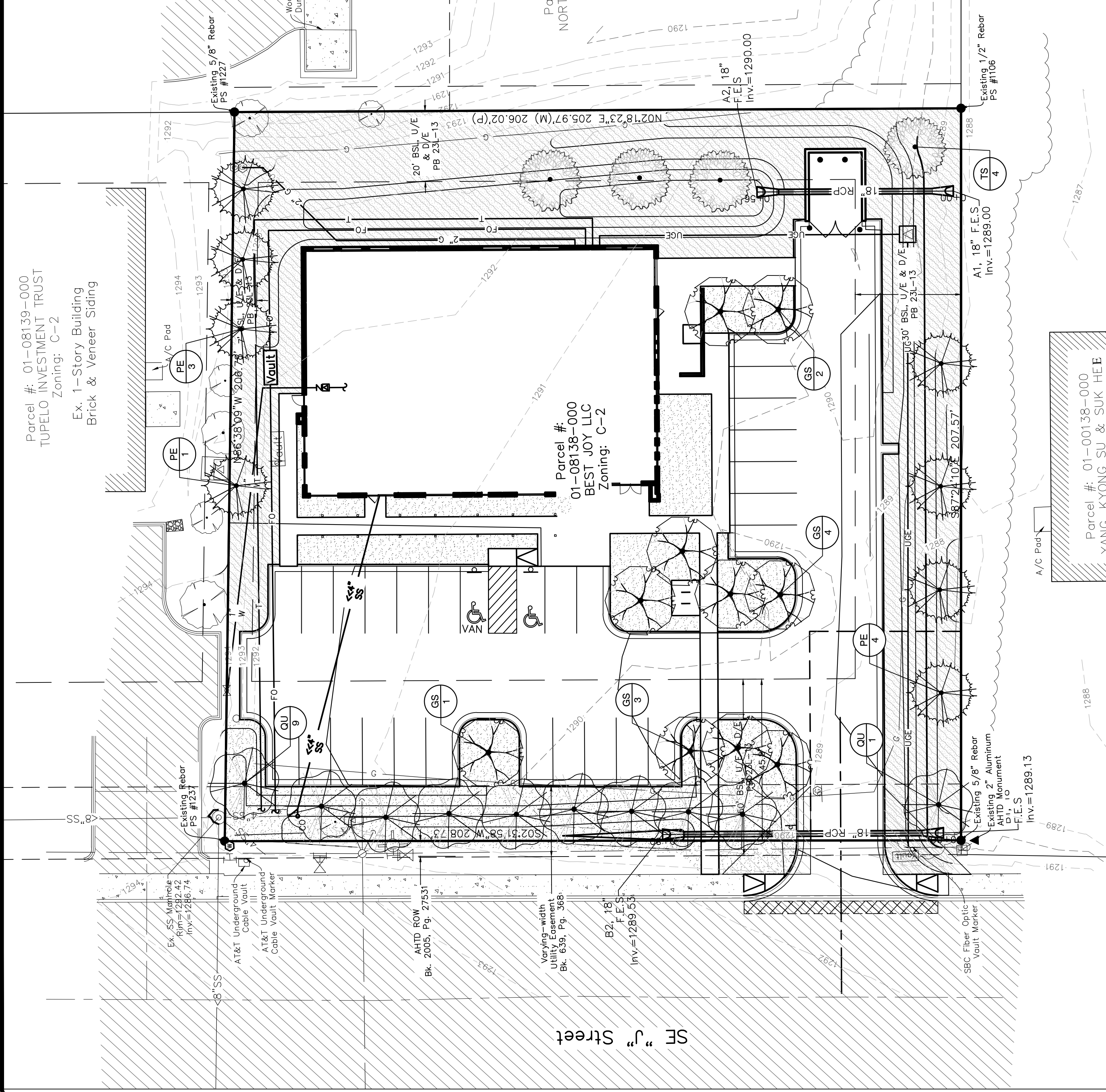
No waivers requested.

Conclusion

This large scale development does meet the minimum requirements of the subdivision regulations.

LARGE SCALE DEVELOPMENT STAFF REPORT



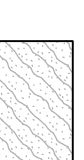


NOTE:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. AS SUCH, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC., AND THEIR DEPTHS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.

SF "J" Street

Parcel #: 01-08139-000
TUPELO INVESTMENT TRUST
Zoning: C-2
Ex. 1-Story Building
Brick & Veneer Siding

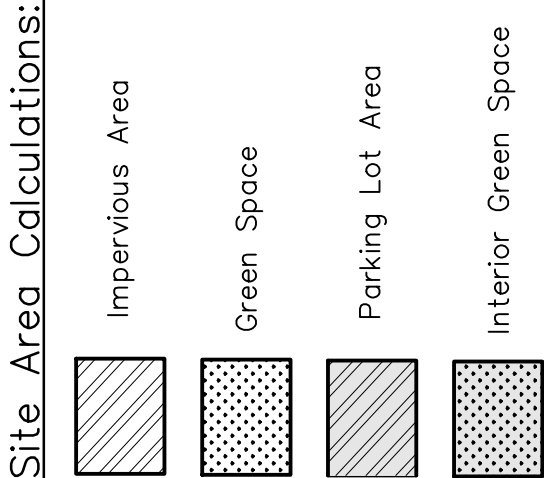
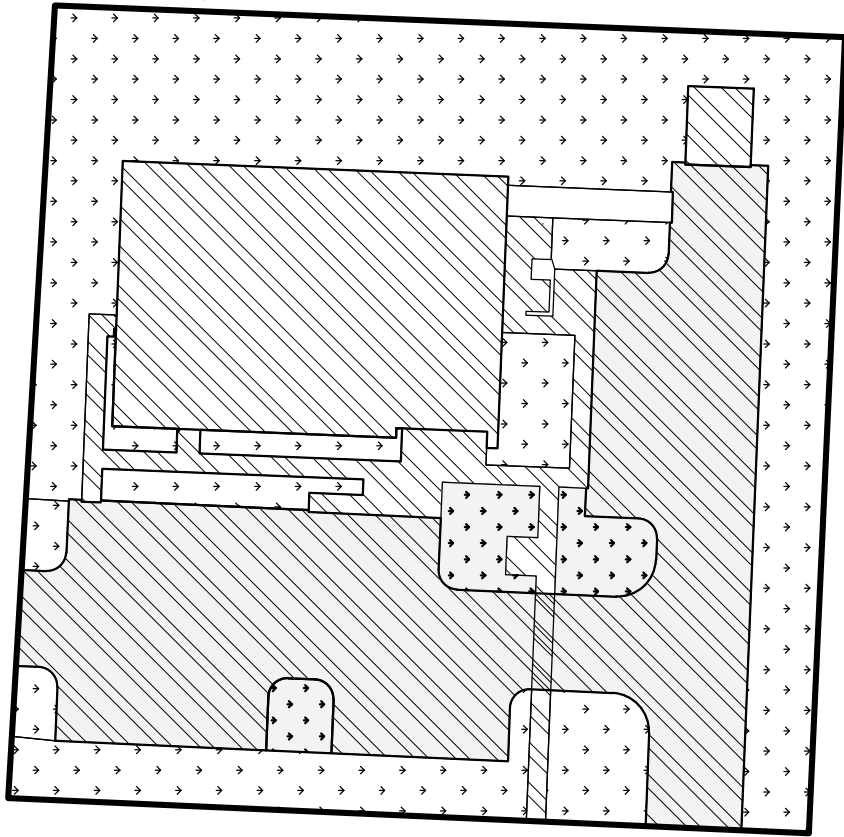
PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	QTY
	GS	Gledisia triacanthos inermis 'Shademaster'™ / Shademaster Locust	B & B	2.5"Cal		10
	PE	Pinus echinata / Short Leaf Pine	B & B	2.5"Cal	8' minimum	8
	QU	Quercus macrocarpa 'Urban Pinnacle' / Urban Pinnacle Oak	B & B	2.5"Cal		10
	TS	Taxodium distichum 'Shawnee Brave'™ / Bald Cypress	B & B	2.5"Cal		4
SOD/SEED	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING QTY		
	CD	Cynodon dactylon / Bermuda Grass	hydromulch			13,154 sf
	CT	Cynodon dactylon 'Tif 419' / Bermuda Grass	sod			6,788 sf

LANDSCAPE PLAN GENERAL NOTES:

- ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH MOIST SOIL. CONTRACTORS SHALL HAVE UNDERGROUND UTILITIES LOCATED, LEGIBLY MARKED, AND SHALL REPAIR ANY AND ALL DAMAGE WHICH MAY OCCUR AS A RESULT OF LANDSCAPE INSTALLATION. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATED, AND SHOULD BE VERIFIED ON THE CIVIL UTILITY PLAN AND IN THE FIELD.
- UNDERGROUND UTILITIES WILL LANDSCAPE WORK BE APPROVED FOR PAYMENT IF PLANT SIZE AND GENERAL HEALTH ARE NOT AS REQUIRED ON PLAN.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED ON PLANT LIST.
- ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS AS SPECIFIED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE OWNER BEFORE, DURING AND AFTER INSTALLATION.
- THE LANDSCAPE ARCHITECT MUST APPROVE ANY ALTERATIONS OR REVISIONS TO THE LANDSCAPE PLAN.
- THE CONTRACTOR SHALL PROTECT EXISTING FEATURES ON SITE.
- ALL DISTURBED LANDSCAPE AREAS NOT DESIGNATED TO BE SODDED SHALL BE SEEDED WITH A GRASS SEED MIX OF 75% PERENNIAL RYE AND 25% BERMUDA GRASS SEED AT A RATE OF 4# PER 1000 SF.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.
- THE LANDSCAPE CONTRACTOR SHALL FULLY MAINTAIN ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.
- ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED.
- HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 STANDARDS FOR TREE CARE SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FINISHED GRADING ALL LANDSCAPE PARKING ISLANDS. FINISHED GRADE IN ISLANDS IS TO BE CROWNED, APPROXIMATELY 12'-18" ABOVE THE TOP OF CURB. SOIL IN ISLANDS IS TO BE FREE OF UNSUITABLE MATERIAL AND DEBRIS I.E. GRAVEL OR ASPHALT.
- IF CONTRACTOR IS UNABLE TO DIG PLANT PITS TO A DEPTH THAT WILL PROVIDE THE AREA OF SOIL AROUND THE ROOT BALL DUE TO ROCK, CONTACT ARCHITECT, CIVIL ENGINEER, AND CITY HORTICULTURIST IMMEDIATELY.
- THE PROPOSED IRRIGATION METHOD FOR THIS SITE IS FROST PROOF WATER HYDRANTS.
- ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED BY THE CONTRACTOR. PUBLIC UTILITIES TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI.
- A300 STANDARDS FOR TREE CARE SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
- IN THE SIGHT TRIANGLE AT THE FRONT DRIVE THERE CANNOT BE ANYTHING BETWEEN 30' AND 60' IN HEIGHT WITHIN THE SHADED AREA.
- LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED.
- ALL TREES SHALL MAINTAIN A 5' OF SEPARATION FROM PUBLIC UTILITIES.

Overall Site Area Calculations:
Total Site Area: 42,954 S.F.
Total Impervious Area: 23,627 S.F. (55.0%)
Total Green Space Area: 16,679 S.F. (38.8%)
Total Building Area: 7,000 S.F. (16.3%)
Interior Green Space Calculations:
Total Parking Lot Area: 13,923.60 S.F.
Total Interior Green Space Required: 1,114 S.F. (8%)
Total Interior Green Space Provided: 1,496 S.F. (10.7%)



LANDSCAPE REQUIREMENTS

STREET FRONTAGE	ONE CANOPY TREE PER 20 LINEAR FEET OF FRONTAGE	REQUIRED	PROVIDED
209' LF STREET FRONTAGE SE 'J' STREET.	209' / 20 = 10.4 (10 TREES)	11	11
PERIMETER LANDSCAPE SOUTH 207 LF EAST 206 LF NORTH 207 LF	ONE CANOPY TREE PER 50 LINEAR FEET OF PERIMETER 207' / 50 = 4 TREES 207' / 50 = 4 TREES 207' / 50 = 4 TREES	4 4 4	4 4 4
PARKING LOT REQUIREMENTS	ONE SHADE TREE PER 125 SQ FT OF INTERIOR PARKING LOT LANDSCAPES AREA (1,114 / 25 = 8.9 = 9 TREES)	9	9



2407 SE Cottonwood Street • Bentonville, AR 72712 • 479.273.2206 • morrisonshipley.com



BEST JOY OFFICE
SE 'J' STREET

Bentonville, Benton County, Arkansas

LANDSCAPE PLAN

PROJECT # 17-06000035

Issued for Review

Sheet No:

L1

L2

of

PRELIMINARY
NOT FOR CONSTRUCTION

BEST JOY OFFICE
3003 SW J STREET
BENTONVILLE, AR

Burris
Architecture
820 Tiger Blvd, Suite 4, Bentonville, AR 72712
479-319-6045

DATE 6-28-17
JOB NO. 17012
REVISIONS

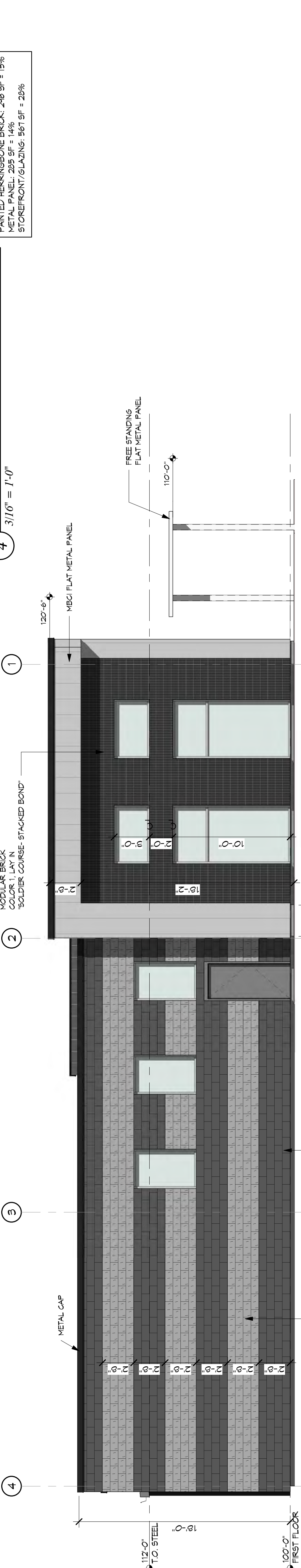
X1.0
COLOR ELEVATIONS

EXTERIOR MATERIALS LEGEND

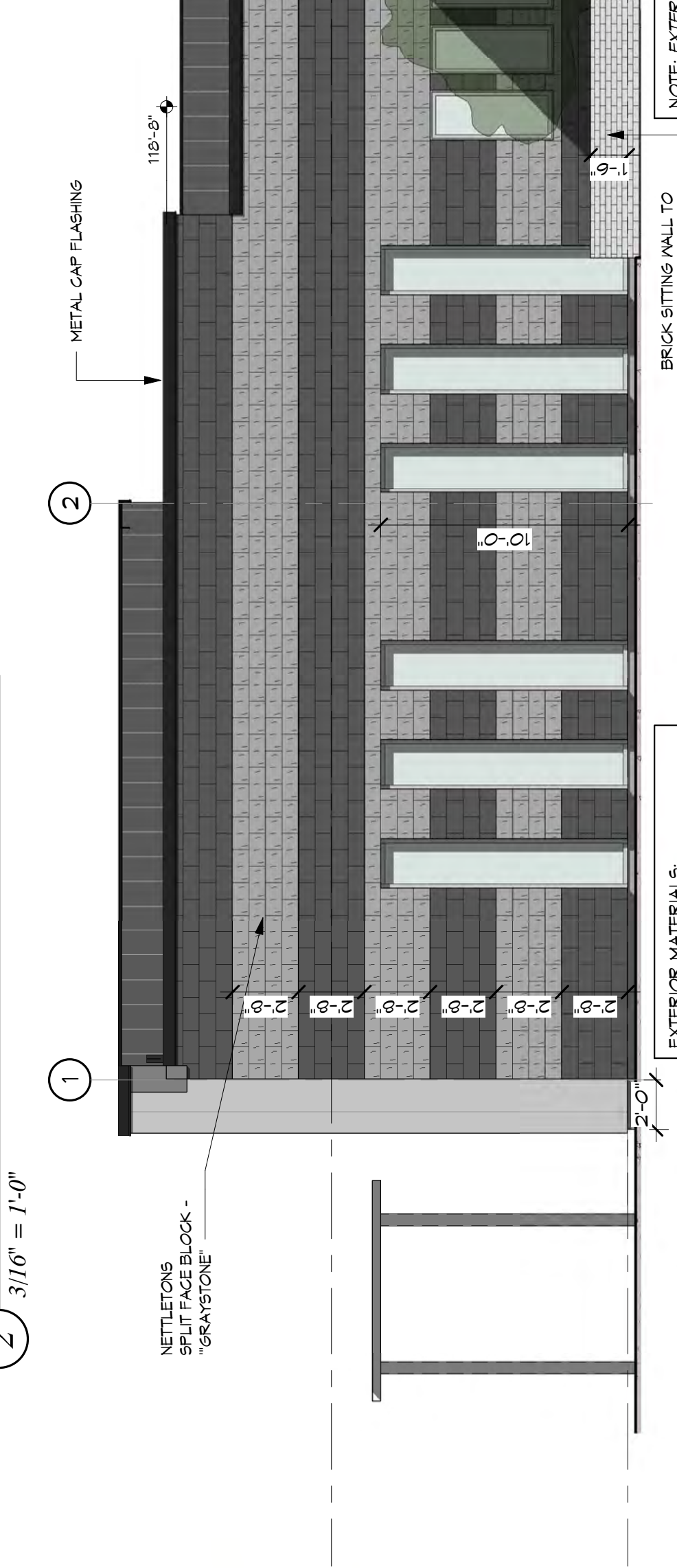
- MODULAR FACE BRICK - ACME 'ONYX' DVP110, 114286
LAY IN 'SOLDIER COURSE - STACKED BOND'
- MODULAR FACE BRICK - ACME - PANT GRADE
BRICK - PAINTED WHITE
- ACME - NETTLETON SPLIT FACE BLOCK -
GRAYSTONE
- ACME - NETTLETON BURNISHED FACE BLOCK -
'SLATE BLACK'
- MBC1 METAL WALL PANEL - DESIGNER SERIES-
FLAT - 'SILVER METALLIC'
- RAKE TRIM METAL GUTTERS
CAPFLASHING AND R PANEL PARAPET
BACKING TO BE COLORED 'CHARCOAL'
FROM CENTRAL STATES MFG
- WINDOW MILLIONS TO BE CLEAR COAT
ANODIZED ALUMINUM
- FREE STANDING CANOPY AND COLUMNS
TO BE PAINTED WHITE

EXTERIOR MATERIALS:
SOLDIER STACKED BRICK: 880 SF = 43%
PAINTED HERRINGBONE BRICK: 296 SF = 15%
METAL PANEL: 285 SF = 14%
STOREFRONT/GLAZING: 561 SF = 28%

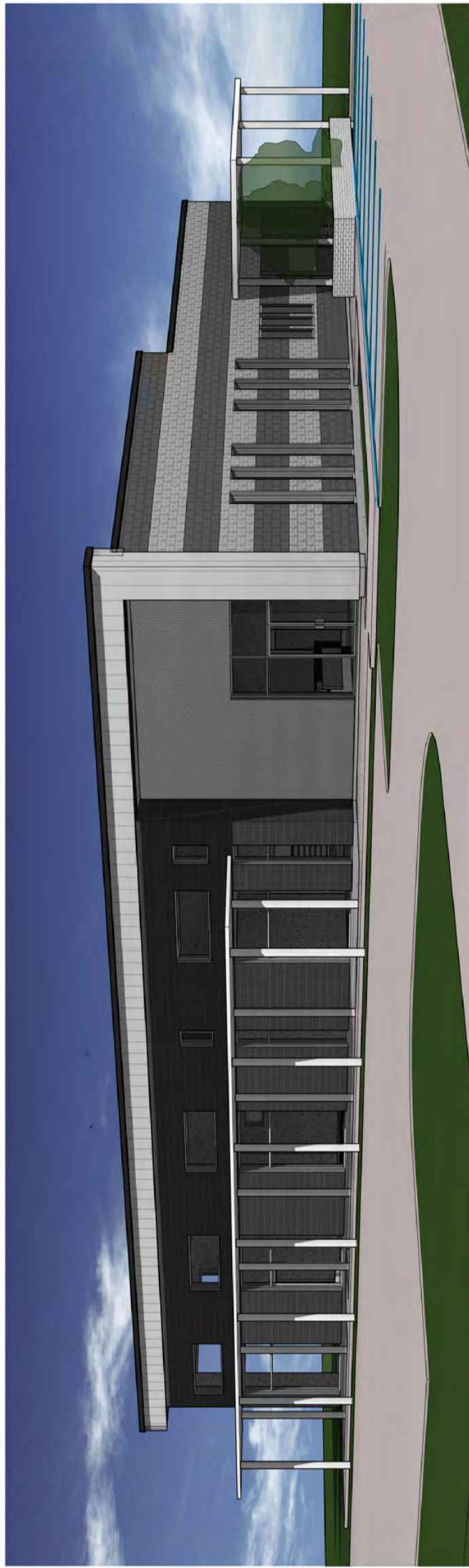
WEST ELEVATION - COLOR
1/31/16" = 1'-0"



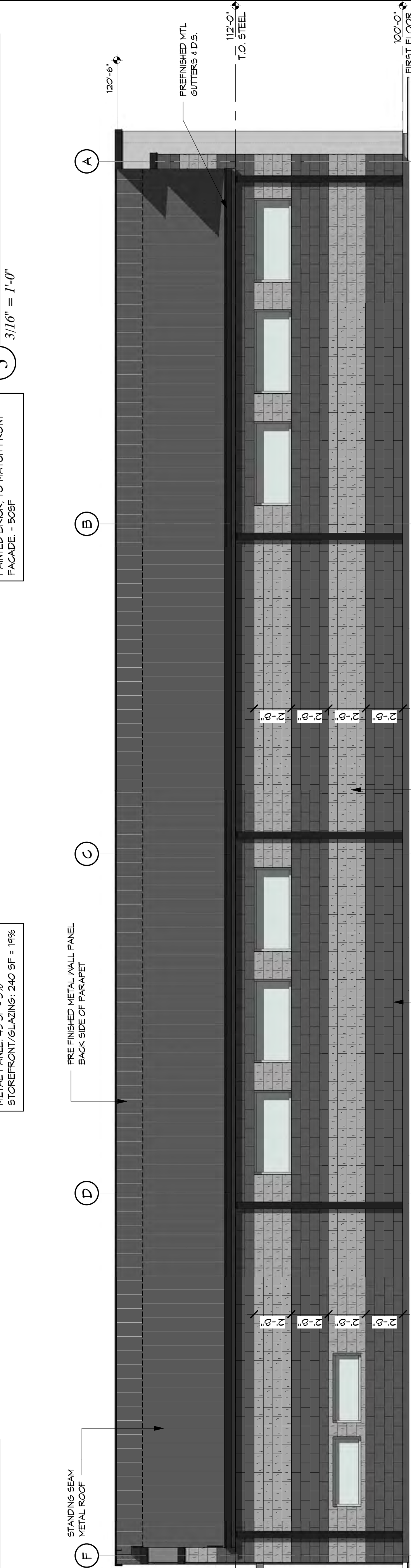
NORTH ELEVATION - COLOR
1/31/16" = 1'-0"



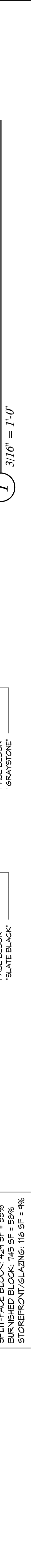
CONCEPT VIEW 1



SOUTH ELEVATION - COLOR
1/31/16" = 1'-0"



EAST ELEVATION - COLOR
1/31/16" = 1'-0"



CONCEPT VIEW 2



LARGE SCALE DEVELOPMENT STAFF REPORT



Club Tan

1301 South Walton Boulevard

PC Date: 8/15/2017

Reviewer: Jon Stanley, Planner

Project Number	17-06000036
Applicant / Current Owner	Randy Burleson 9743 Hammer Road Neosho, MO 64850
Site Area	0.6 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Tanning Salon

Property Description

This property is the location of a vacant commercial building along a commercial corridor.

Project Details

The applicant has submitted a large scale development consisting of a parking lot expansion and the renovation of an existing 4,500 square feet single story commercial office building located at 1301 South Walton Boulevard.

Ingress/egress to the development will be from an existing curb cut onto South Walton Boulevard and a proposed curb cut onto Razorback Drive. A 6' wide sidewalk will be constructed along South Walton Boulevard and a 5' wide sidewalk will be constructed along Razorback Drive. The exterior elevations depict the existing CMU blocks to be painted and new brick, stone and windows to be added.

Projected Traffic Impact

The proposed development will not adversely impact traffic in the area.

Utility Infrastructure

Water and sewer are available.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

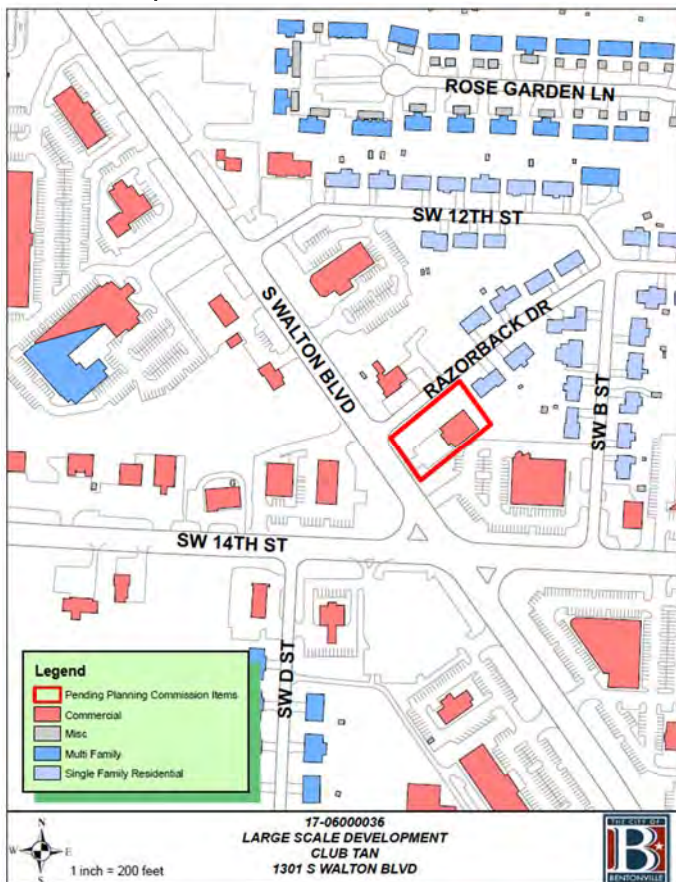
No waivers requested.

Conclusion

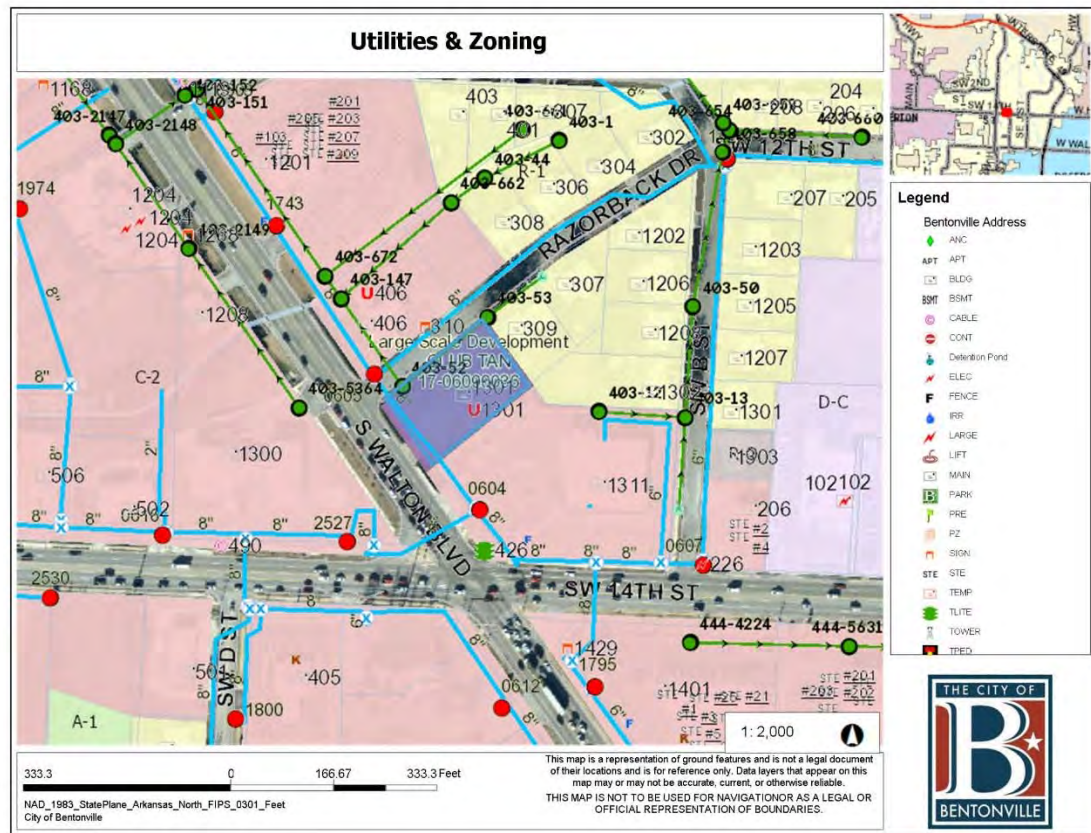
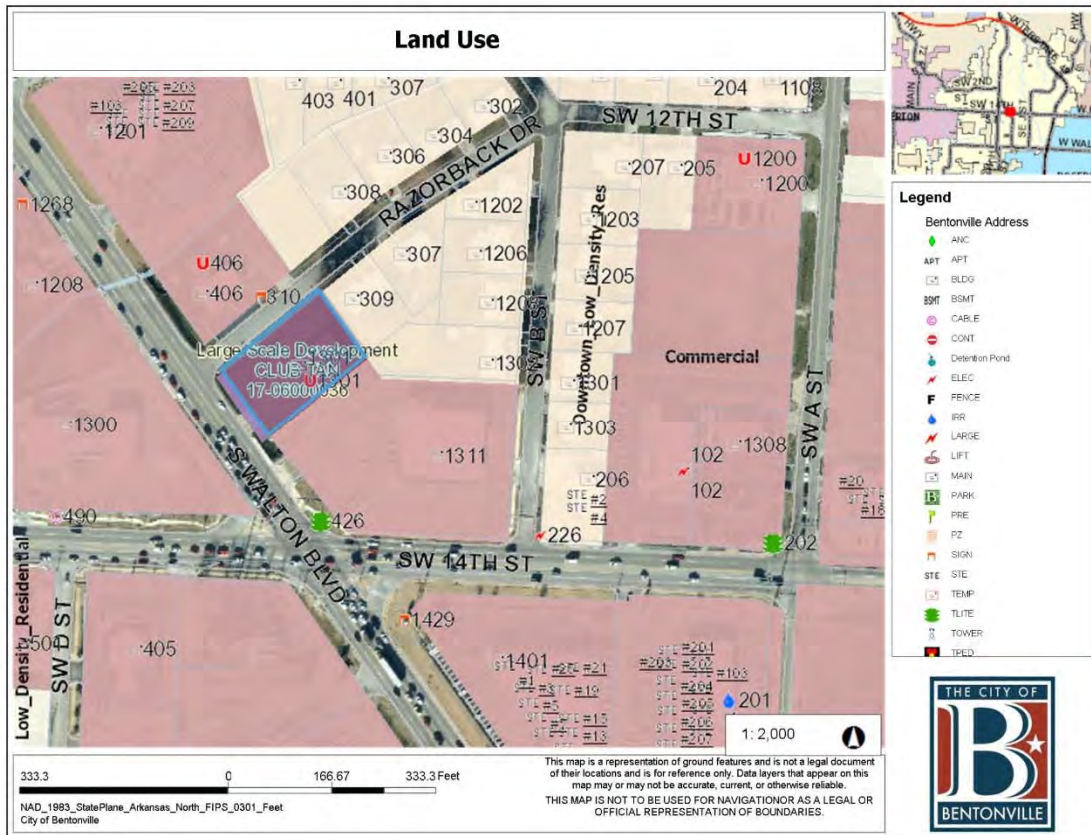
This large scale development does meet the minimum requirements of the subdivision regulations.

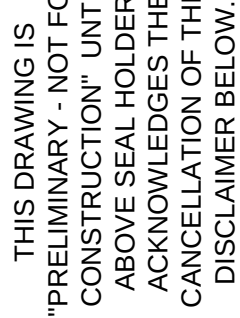
<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



LARGE SCALE DEVELOPMENT STAFF REPORT



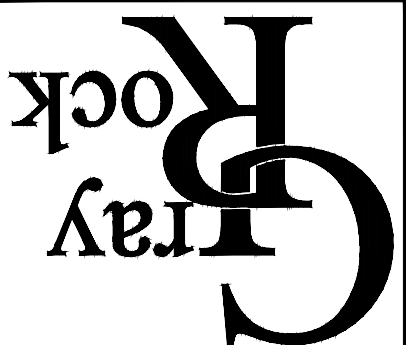


DATE _____

[illegible]

CLUB TAN
1301 SOUTH WALTON BOULEVARD
BENTONVILLE, AR

GRAY ROCK, LLC.
5204 Village Parkway, Suite 11
Rogers, Arkansas 72758
www.grayrockconsulting.com
479.250.9131 office
800.887.7685 fax



PROJECT NO. 16-212	SCALE 1"=20'
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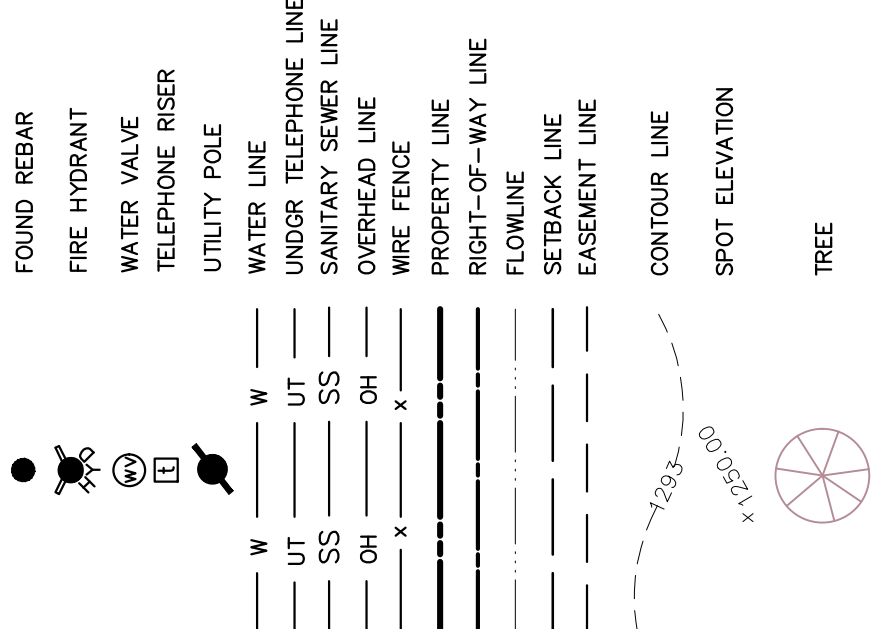
DATE: JUL 31 2017

LANDSCAPE PLAN

SHEET NO.

C4.0

EXISTING LEGEND



PROPOSED LEGEND

NO.	SYMBOL	COMMON NAME Botanical Name	SIZE (GALLONS) REMARKS
181		BERMUDA SOD	1 GALLON AS SHOWN
32		GRASS WORM LIRIOPE MUSCARI DWARF YALPOON HOLLY Ilex vomitoria 'nana'	5 GALLON 5 O.C.
7		WHITE ANE PRINUS SPINOSA	6 1/2 BAG AS SHOWN
8		CHINESE PISTACHE Pistacia chinensis	2 1/2 BAG AS SHOWN
15		OCTOBER GLORY MAPLE Acer rubrum 'October Glory'	2 1/2 BAG AS SHOWN

LANDSCAPE REQUIREMENTS:

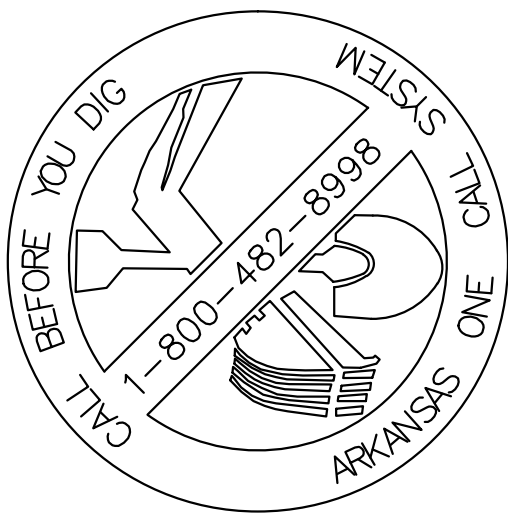
STREET FRONTAGE (WALTON BLVD.):
1 TREE PER 20 LINEAR FEET OF STREET FRONTAGE
130 / 20= 7 REQUIRED TREES
PROVIDED: 7 NEW TREES

STREET FRONTAGE (RAZORBACK):
 1 TREE PER 20 LINEAR FEET OF STREET FRONTAGE
 200 / 20= 10 REQUIRED TREES
 PROVIDED: 10 NEW TREES

PERIMETER LANDSCAPING:

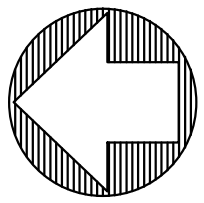
7' WIDE, NO DEFINED SCREEN REQUIRED
1 TREE PER 50 LINEAR FEET
330 / 50 = 7 REQUIRED TREES
PROVIDED: 7 NEW TREES

INTERIOR PARKING LOT:
8% MINIMUM DEDICATED TO INTERIOR GREENSPACE
REQUIRED: 833 SF
PROVIDED: 846 SF



*** CAUTION ***

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. NEITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



COMMUNITY PROJECT

BENTONVILLE PROJECT # 17-06000036

SHRUB/GROUND COVER PLANTING

W.T.S.

LANDSCAPE EDGING

W.T.S.

TREE PLANTING AND STAKING

W.T.S.

LANDSCAPE PLAN NOTES:

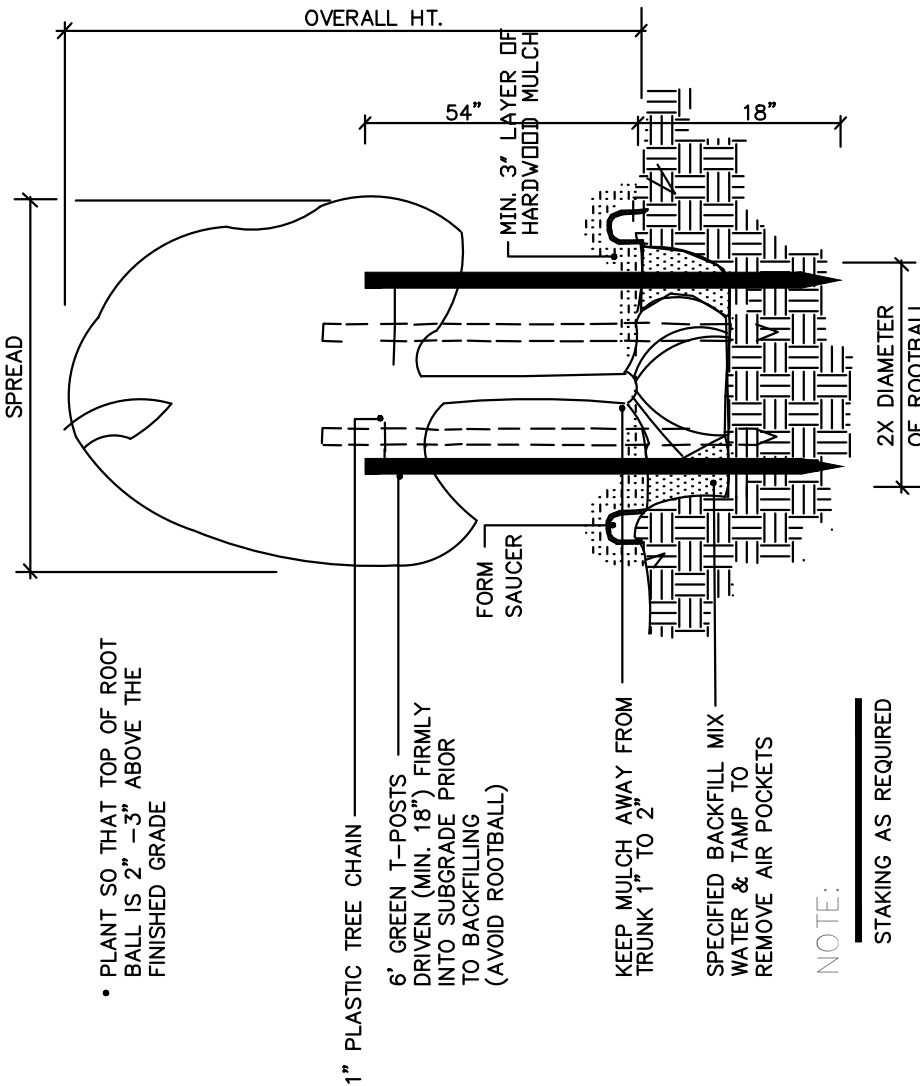
1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND RELATED ITEMS REQUIRED FOR THE COMPLETE INSTALLATION OF LANDSCAPE
2. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, PLANT MATERIAL SIZES AND GRADING SHALL COMPLY WITH THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSEY AND LANDSCAPE ASSOCIATION.
3. ALL PLANT MATERIAL SHALL BE HEALTHY AND FREE FROM ALL VISIBLE SIGNS OF DISEASE OR PEST INFESTATION.
4. CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. PRIOR TO COMMENCING ANY WORK, CONTACT 1-800-482-6998.

5. NO CHANGES TO APPROVED PLANT SCHEDULE WILL BE ALLOWED WITHOUT THE APPROVAL OF THE OWNER.
6. ALL TREES SHALL BE INSTALLED, MULCHED, GUYED AND STAKED PER THE DETAILS. ALL SHRUBS SHALL BE INSTALLED AND MULCHED PER THE DETAILS.
7. 2-INCH BROWN RIVER ROCK MULCH, A MINIMUM OF 7"DEEP INSTALLED OVER LANDSCAPE WEED BARRIER FABRIC, SHALL BE APPLIED TO ALL PLANTING BEDS SHOWN ON THIS PLAN.
8. THE CONTRACTOR SHALL PROVIDE A ONE YEAR MINIMUM WARRANTY FOR ALL PLANT MATERIALS AND INSTALLATION FROM THE DATE OF ACCEPTANCE.
9. THE CONTRACTOR SHALL SPOIL ANY EXCESS TOPSOIL LOCATED ON THE SITE THAT IS NOT REQUIRED TO PERFORM LANDSCAPE OPERATIONS. SUFFICIENT TOPSOIL IS NOT PRESENT ON SITE, THE CONTRACTOR SHALL IMPORT TOPSOIL TO THE SITE IN ORDER TO COMPLETE THE LANDSCAPE OPERATIONS. THE CONTRACTOR SHALL PERFORM A SOIL TEST ON THE EXISTING AND IMPORTED TOPSOIL AND APPLY LIME AND FERTILIZER AS RECOMMENDED BY THE TESTING AGENCY.
10. IN ALL PLANTING BEDS, SOIL SHALL BE REMOVED ENTIRELY AND SOIL SHALL BE AMENDED WITH TWELVE INCHES OF TOPSOIL AND A MINIMUM OF SIX INCHES OF COMPOST FILLED INTO THE BEDS.
11. NO PROPOSED IRRIGATION. HOSE BIBS ARE LOCATED ON THE EXTERIOR WALLS OF THE BUILDING AND ARE WITHIN 100' OF ALL PLANT MATERIAL.
12. NOTHING SHALL BE PLACED OR PERMITTED BETWEEN 30' AND 60" IN HEIGHT IN THE SHADED SIGHT TRIANGLE AREAS.

SEEDING AND SODDING NOTE:

ALL DISTURBED AREAS UNDER A 10% SLOPE SHALL BE TOPSOILED TO A MINIMUM DEPTH OF 4", FERTILIZED AT A RATE OF 250 POUNDS PER ACRE AND SEEDED WITH ANNUAL RYE GRASS AT A RATE OF 3-4 POUNDS PER 1000 SQUARE FEET AND TURF-FESCUE AT A RATE OF 8 POUNDS PER 1000 SQUARE FEET, OR SODDED WITH BERMUDA GRASS. IF THE AREA IS DESIGNATED FOR SOOD, THE AREA MUST ALSO BE MULCHED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE GRASS UNTIL A HEAVY PERMANENT STAND IS ESTABLISHED.

ALL AREAS OVER 15% SHALL BE PLANTED AS ABOVE, BUT SHALL ALSO BE COVERED WITH EROSION CONTROL FABRIC. EDGES OF SOD LOCATED ON SLOPES OVER 15% SHALL BE PINNED.





Natural Blend Cultured Ledge Stone



Window Frames, Match Existing: Drak Bronze

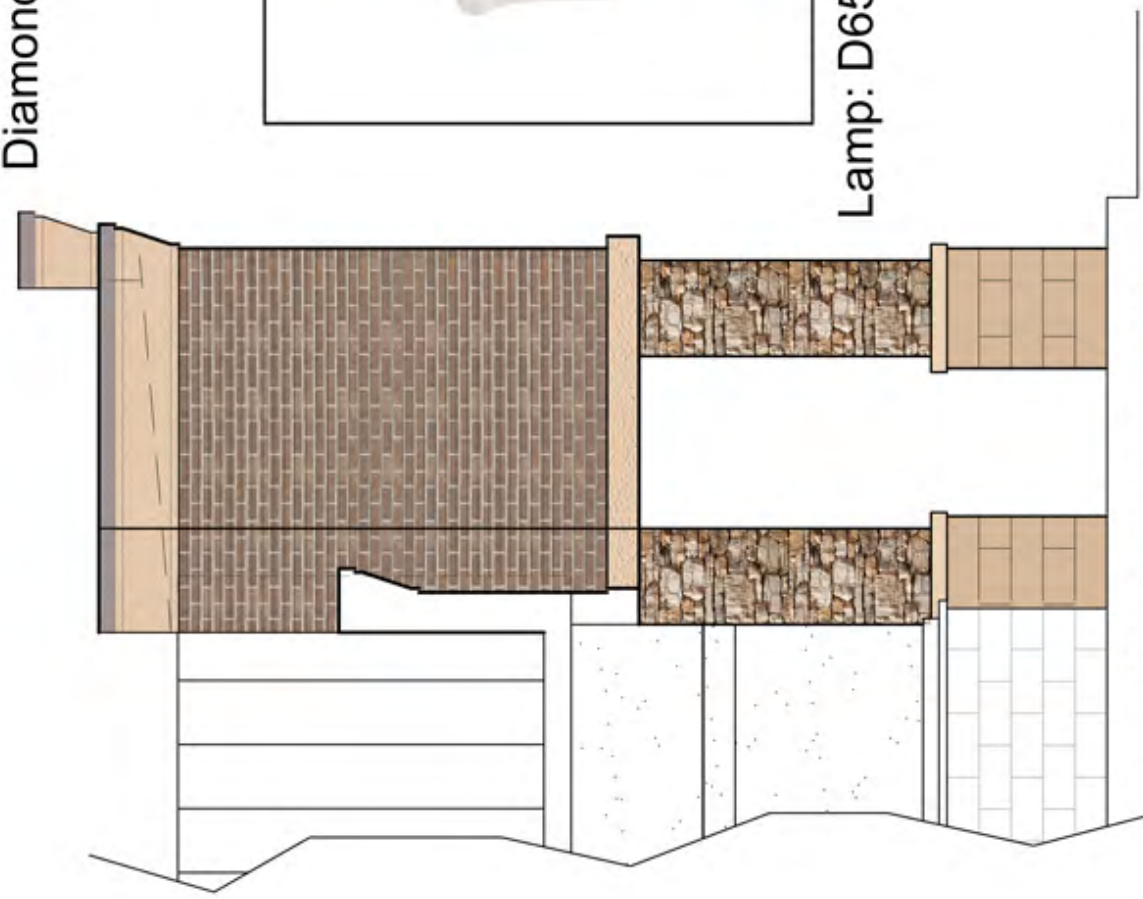


Club Tan Signage

Diamond Light: OW1730 Southridge

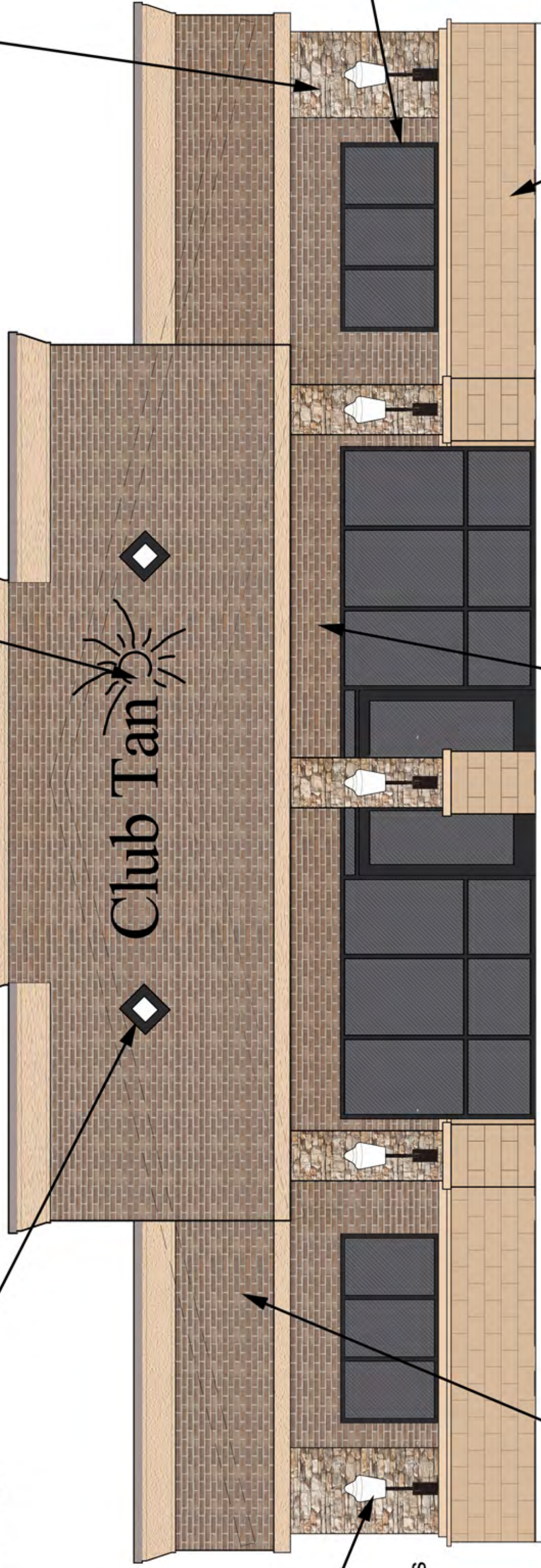


Lamp: D650 Boulevard Series



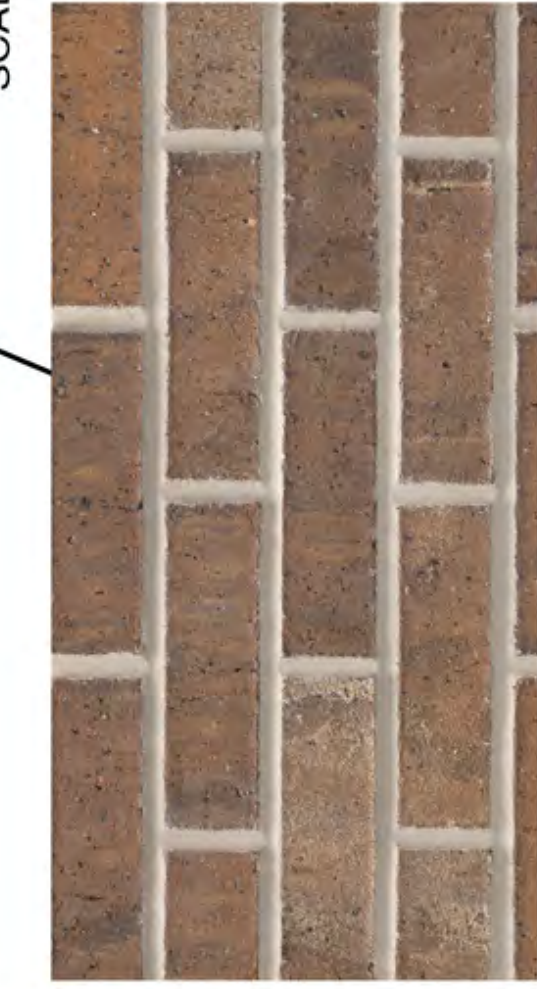
Proposed Side Elevation

SCALE: NTS



Proposed Front Elevation

SCALE: NTS



Cedar Valley Thin-Set Heritage Brick



Solomon H-Series Mortar Color 10H Light Buff



Paint Existing CMU, Color: SW6120 Believable Buff



Existing North Side Elevation



Existing Front Elevation

REZONING STAFF REPORT



Aurora Development, LLC

1118 SW 2nd Street

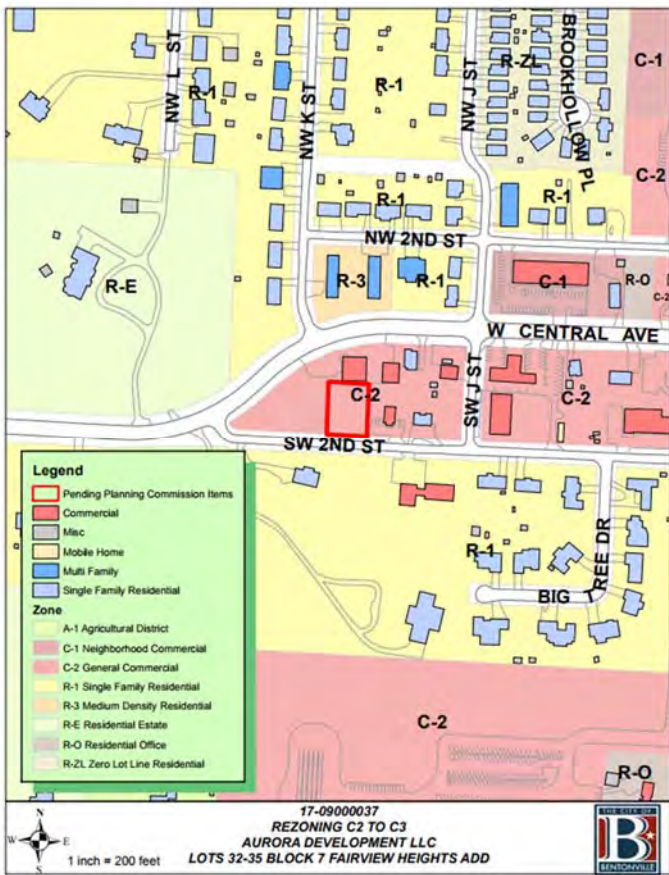
PC Date: 9/15/2016

Reviewer: Jon Stanley, Planner

Project Number	17-09000037
Applicant / Current Owner	Aurora Development, LLC PO Box 761 Bentonville, AR
Site Area	0.3 acres
Current Zoning	C-2, General Commercial
Requested Zoning	C-3, Central Commercial
Future Land Use Map Designation	Commercial (C)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of a vacant lot on SW 2nd Street. Adjacent zonings are C-2 (General Commercial) to the north, east and west, and R-1 (Single Family Residential) to the south.

Projected Traffic Impact

The proposed zoning designation will not adversely impact traffic in the area.

Utility Infrastructure

Per the GIS website, water and sewer are available.

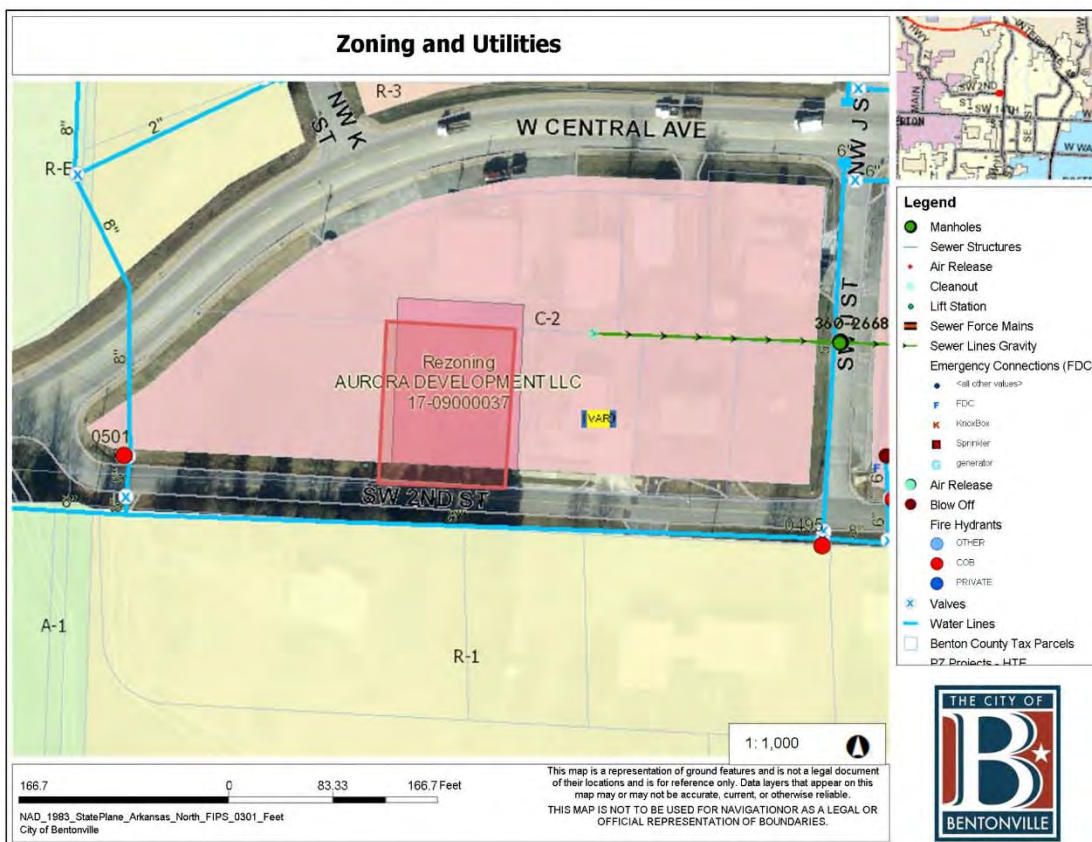
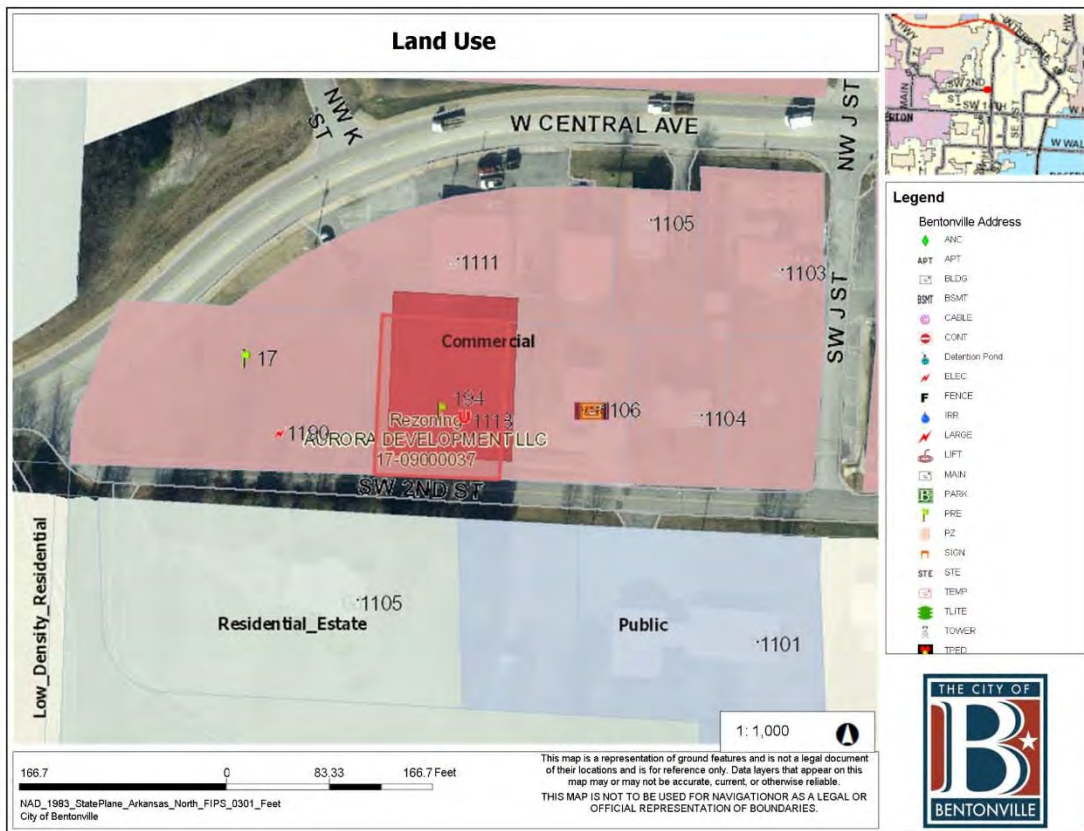
Relationship to the General Plan

The Future Land Use Plan depicts this property as Commercial (C). The C-3, Central Commercial zoning is an appropriate zoning district for this designation and is consistent with the General Plan.

Conclusion

The C-3, Central Commercial zoning designation is an appropriate zoning district for the Commercial land use designation and is consistent with the General Plan. The C-3 zoning classification allows for a mix of uses which according to the General Plan will decrease traffic congestion while increasing public amenities. The proposed zoning district will also increase vitality in the area by employing the characteristics of mixed use development. The nearby intersection of North Walton Blvd. and SW 2nd Street is identified as an activity node within the General Plan. The C-3 zoning and mixed uses are an important component to creating these nodes.

REZONING STAFF REPORT



July 10th, 2017

Narrative for Parcel # 01-02666-000

-Legal Description – “Lots 32,33,34,35, Block 7 of Fairview Heights Addition Found in Plat Record “D”, Page 18 of the Benton County Records”

-Current Zoning C-2

-Proposed Zoning C-3

Aurora Development LLC would like to request rezoning the above property from a C-2 to a C-3 Central Commercial Zone. Granting this rezoning request would allow the owner to develop the unique potential of the specific site's access to amenities and proximity to large employer offices and the Bentonville City Square. Rezoning to a C-3 would increase the buildable area of the small existing lots allowing for any design to efficiently use the site. The rezoning will ensure any development on the site would maintain the design integrity of the area generally referred to as 'downtown.' The site's location, while not inside the denser 'downtown' area, holds a position at the end of W. Central Ave that could serve as a 'gateway' to the downtown's architectural character from the west.

The planned use for the site, following rezoning, is a development consisting of 4 townhouses in 2 buildings. The current parcel is split into 4 lots of a 25' width and 125' depth, making townhouses a good use for the existing narrow lots. The additional traffic with new residential development at this location would add a miniscule load to the adjacent infrastructure. There will be no signage requirement for the proposed development. The scale, bulk, and aesthetics of the possible development will relate to the 'residential' appeal of the surrounding properties and bolster the 'neighborhood' feel of the small but distinct area of the city. City infrastructure is easily accessible from the site. There is an 8" water line (according to Bentonville G.I.S.) and overhead power along SW 2nd St. Sewer and gas access is at the back of the site in an apparent utility easement that runs east to west on adjacent properties. The public sewer must be extended around 100' to reach the site.



Benjamin J Bendall

BRYAarchitecture

214 S. 2nd Street
Rogers, AR 72756
[479 636 5550](tel:479-636-5550)

REZONING STAFF REPORT



Mathias

NW 5th Street

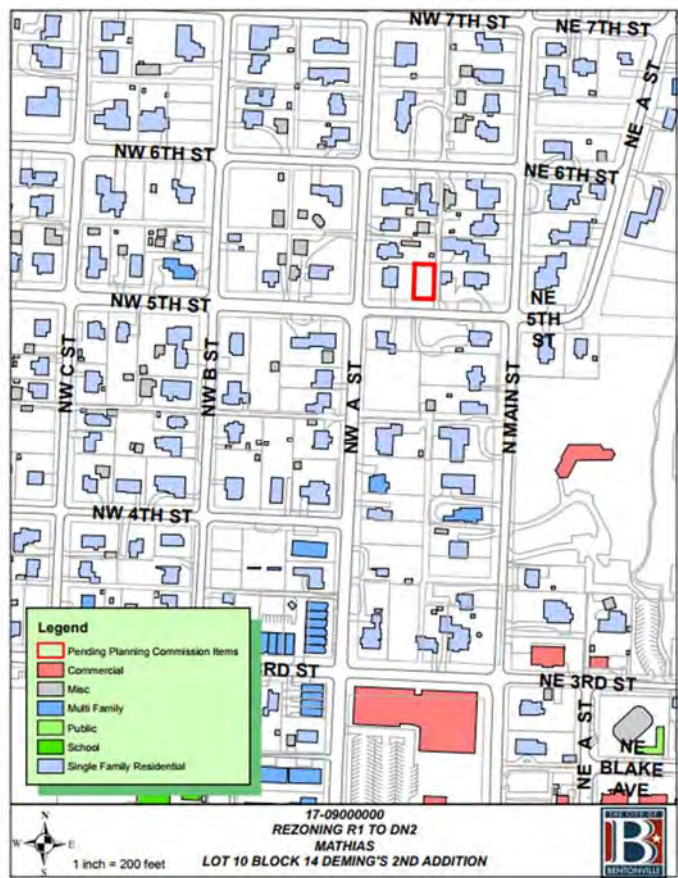
PC Date: 8/15/2017

Reviewer: Jon Stanley, Planner

Project Number	17-09000039
Applicant / Current Owner	Mark Mathias 1902 N. Dixieland Rd Rogers, AR 72756
Site Area	0.09 acres
Current Zoning	R-1, Single Family Residential
Requested Zoning	DN-2, Downtown Medium-Density Residential
Future Land Use Map Designation	Downtown Medium-Density Residential (D-MDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of a single family home that fronts onto NW 5th Street. All adjacent zonings are R-1, Single Family Residential.

Projected Traffic Impact

The proposed zoning designation will not adversely impact traffic in the area. The property is located within the downtown area where the existing street grid network will provide adequate options for ingress and egress.

Utility Infrastructure

Per GIS website, water and sewer are available.

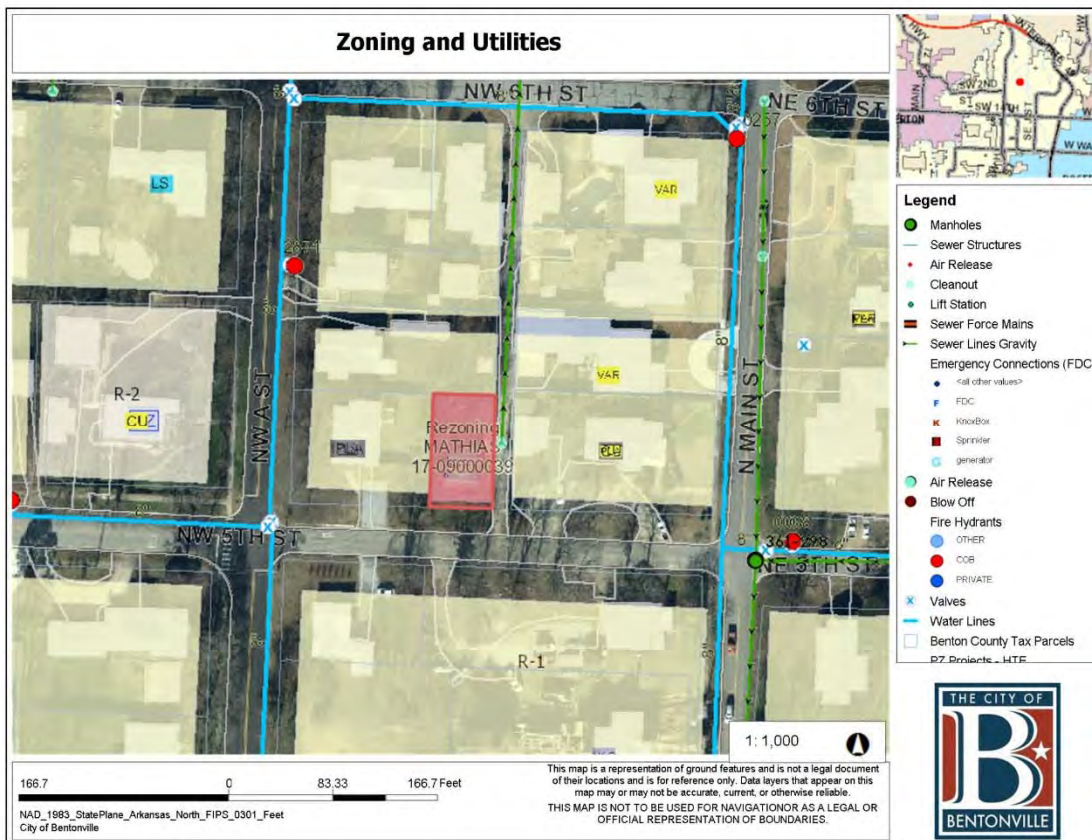
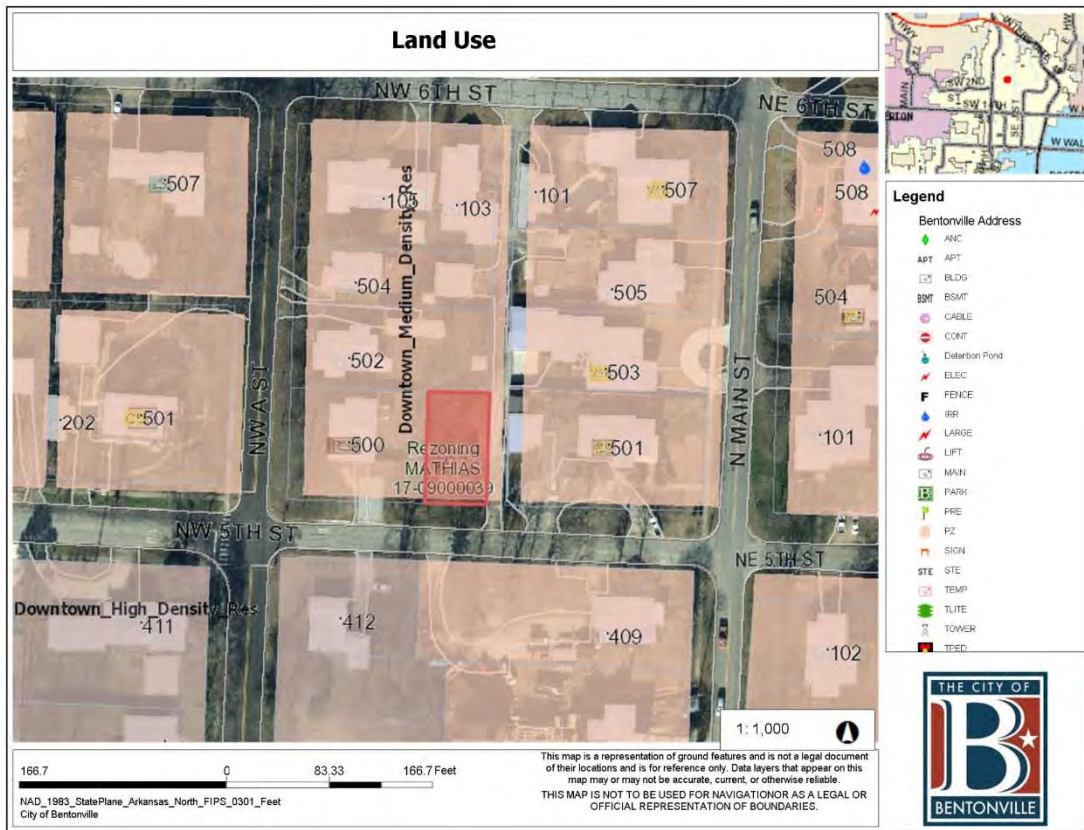
Relationship to the General Plan

The Future Land Use Plan depicts this property as Downtown Medium-Density Residential (D-MDR). The DN-2, Downtown Medium-Density Residential zoning is an appropriate zoning district for this designation. The DN-2 zoning designation will allow single-family or block-end townhomes to be built.

Conclusion

The DN-2, Downtown Medium-Density Residential zoning designation is consistent with the Future Land Use Plan that depicts this property as Downtown Medium Density Residential and is compatible with the existing and adjacent uses.

REZONING STAFF REPORT





James Layout Services, LLC

PO Box 611 Farmington, Arkansas 72730

(479) 445-7731

jameslayoutservices@yahoo.com

*July 6th, 2017
Planning Department
City of Bentonville
315 S.W. "A" St.
Bentonville, AR 72712*

***Re: 106 NW 5TH St.
Bentonville, AR 72712
Rezoning Request***

We are representing a request by Mark Mathias to rezone the properties located at 106 NW 5th Street. The property currently has home that owner will demolish the existing home to make the lot buildable. Please find below the narrative addressing the required items on the Rezoning Checklist.

- The property is currently zoned R-1 Single Family Residential. The proposed zoning is DN-2 Down Town Medium Residential.*
- The rezone is requested so that the client can build a new 2170 square foot home with a 1200 square foot print within a fifty foot wide lot.*
- The proposed rezone will allow a new home to fit within the building DN-2 setback. Based on the land use plan this property is planned DN-2 so the new lots will meet the cities expectations.*
- Access for the property will use the alley on the east side of the property.*
- An 8" Sewer line on the east side of the property runs north and an 8" Water line runs North and South along NW A Street and N Main Street. Sincerely,*

James Layout Services, LLC

Nick Rumancik, Field Operation Manager

REZONING STAFF REPORT



Bowser Shattuck Group, LLC

NW A Street

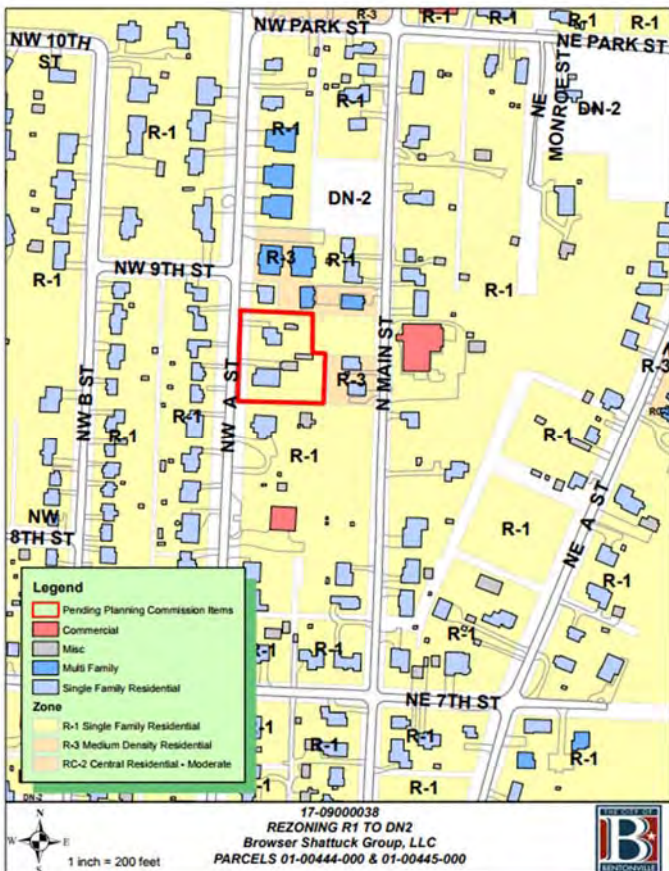
PC Date: 8/15/2017

Reviewer: Jon Stanley, Planner

Project Number	17-09000038
Applicant / Current Owner	Bowser Shattuck Group, LLC 1402 SW Susana St. Bentonville, AR 72712
Site Area	0.40 & 0.58 acres
Current Zoning	R-1, Single Family Residential
Requested Zoning	DN-2, Downtown Medium-Density Residential
Future Land Use Map Designation	Downtown Medium-Density Residential (D-MDR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of two medium density residential parcels that front onto NW A Street. Adjacent zonings include R-1, Single Family Residential on all adjacent sides and R-3, Medium Family Residential to the northeast and east.

Projected Traffic Impact

The proposed zoning designation will not adversely impact traffic in the area. The property is located within the downtown area where the existing street grid network will provide adequate options for ingress and egress.

Utility Infrastructure

Per the GIS website, water and sewer are available.

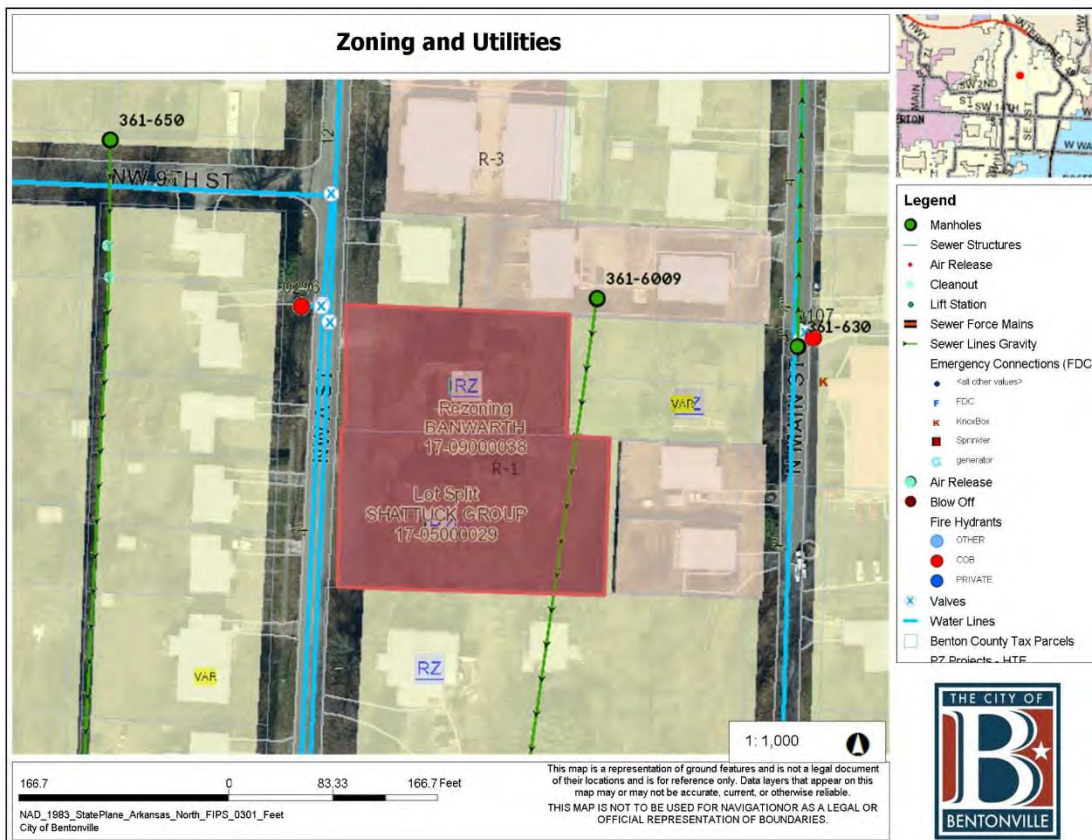
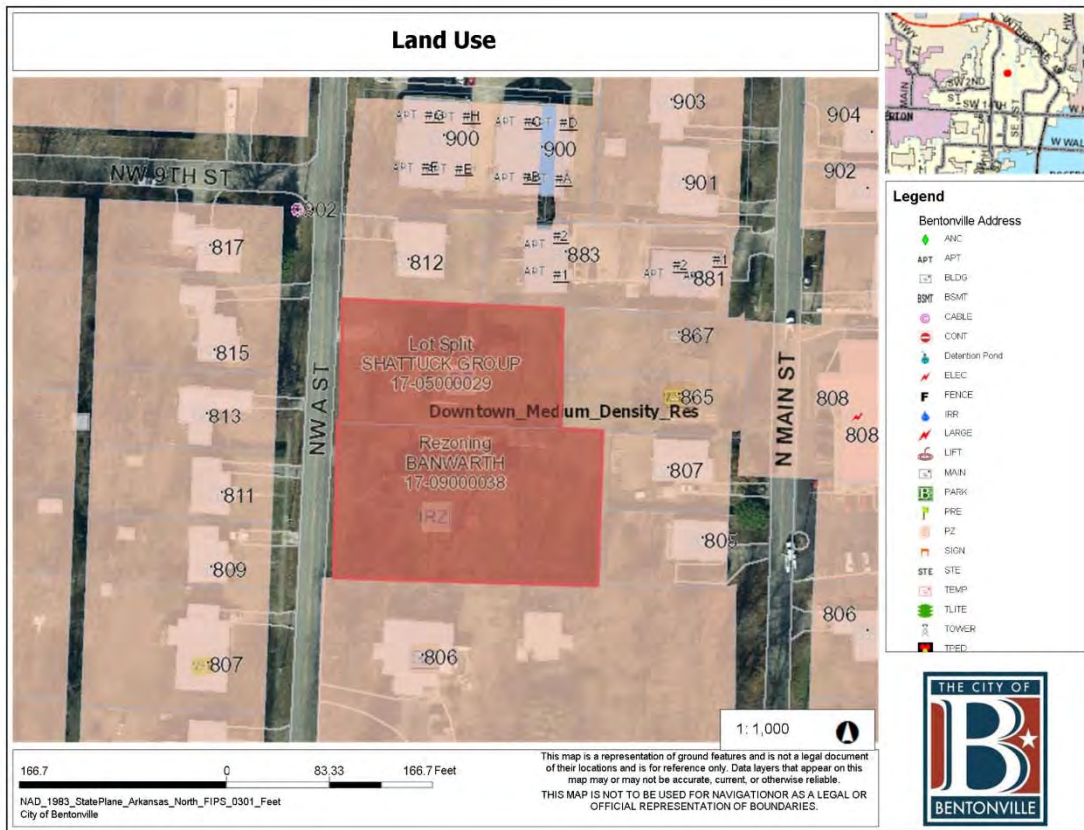
Relationship to the General Plan

The Future Land Use Plan depicts this property as Downtown Medium-Density Residential (D-MDR). The DN-2, Downtown Medium-Density Residential zoning is an appropriate zoning district for this designation. The DN-2 zoning designation will allow single-family or block-end townhomes to be built.

Conclusion

The DN-2, Downtown Medium-Density Residential zoning designation is consistent with the Future Land Use Plan that depicts this property as Downtown Medium Density Residential and is compatible with the existing and adjacent uses.

REZONING STAFF REPORT





James Layout Services, LLC

PO Box 611 Farmington, Arkansas 72730

(479) 445-7731

jameslayoutservices@yahoo.com

*July 6th, 2017
Planning Department
City of Bentonville
315 S.W. "A" St.
Bentonville, AR 72712*

***Re: 808 & 810 NW "A" St.
Bentonville, AR 72712
Rezoning Request***

We are representing a request by Bowser Shattuck Group LLC. to rezone the properties located at 808 & 810 NW A Street. The properties currently have a home on each lot and the owner would like to combine the two lots and then split the new property into five lots with a 18' wide alley to access the lots. The owner would demolish the existing homes to make the new lots buildable. Please find below the narrative addressing the required items on the Rezoning Checklist.

- The property is currently zoned R-1 Single Family Residential. The proposed zoning is DN-2 Down Town Medium Residential.*
- The rezone is requested so that the client can create five lots on the two parcels that will be submitted as a lot Split after the rezone is approved.*
- The proposed rezone will allow the property to be split into five lots that are 40' +/- in width and a max depth of 183' +/- in depth. Based on the land use plan this property is planned DN-2 so the new lots will meet the cities expectations.*
- Access for the proposed five lots will be made possible by a proposed 18' wide alley at the back of the property allowing for rear loading garages to be utilized.*
- An 8" Sewer line at the back of the subject property runs north and south and a 4" Water line runs North and South along NW A Street. Lots will be subdivided so that each of the five lots has direct access to the sewer line.*

Sincerely,

James Layout Services, LLC


Nick Rumancik, Field Operation Manager

CONDITIONAL USE STAFF REPORT



Bentonville Islamic Center

1801 SW 2nd Street

PC Date: 8/15/2017

Reviewer: Jon Stanley, Planner

Project Number	17-02000016
Applicant / Current Owner	Bentonville Housing LLC PO Box 1860 Bentonville, AR 72712
Site Area	18.92 acres
Current Zoning	PUD, Planned Unit Development
Future Land Use Map Designation	Mixed Use (MU)
Requested Use	Overflow Grass Parking Area
Protective Covenants	None

Property Description

This property is the location of the Bentonville Islamic Center located at 1801 SW 2nd Street and is situated along an arterial street in a primarily residential area.

Proposed Use Description

The applicant is requesting a conditional use to allow a temporary use for a 115' x 230' grass overflow parking area.

The parking area will be situated on the property to the east of the Bentonville Islamic Center that is owned by Bentonville Housing LLC. The property will be used for overflow parking during weekly services on Fridays and on special occasions such as holidays and Ramadan by the congregants of the Bentonville Islamic Center. The overflow parking will be used primarily on Fridays between 1:00 pm and 3:00 pm. Approximately 50 vehicles are anticipated to utilize this area at any one time. No structural changes to the premises are planned with exception to a pedestrian path from the parking area to the main facility.

Applicant intends to split the property into two areas and rotate usage to avoid deterioration of grass and gravel to be added in the turning areas and at the entrance points onto the private drive to help reduce wear.

The overflow parking area will be accessed from SW 2nd Street.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area. The existing street network is adequate to allow for proper ingress/egress to the site.

Public Notice

On 7/18/2017, a notice was published in the Arkansas Democrat Gazette, Northwest Arkansas Edition and a public hearing notice sign was posted on the property on 7/26/2017. This meets legal noticing requirements and is adequate for the scope of this project.

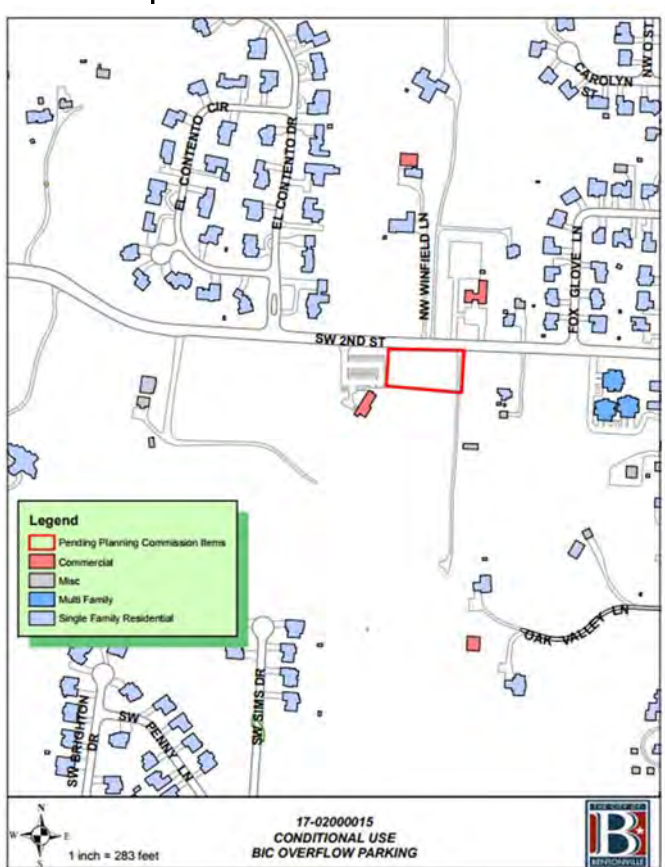
Staff has not been contacted regarding this request.

Conditions of Approval

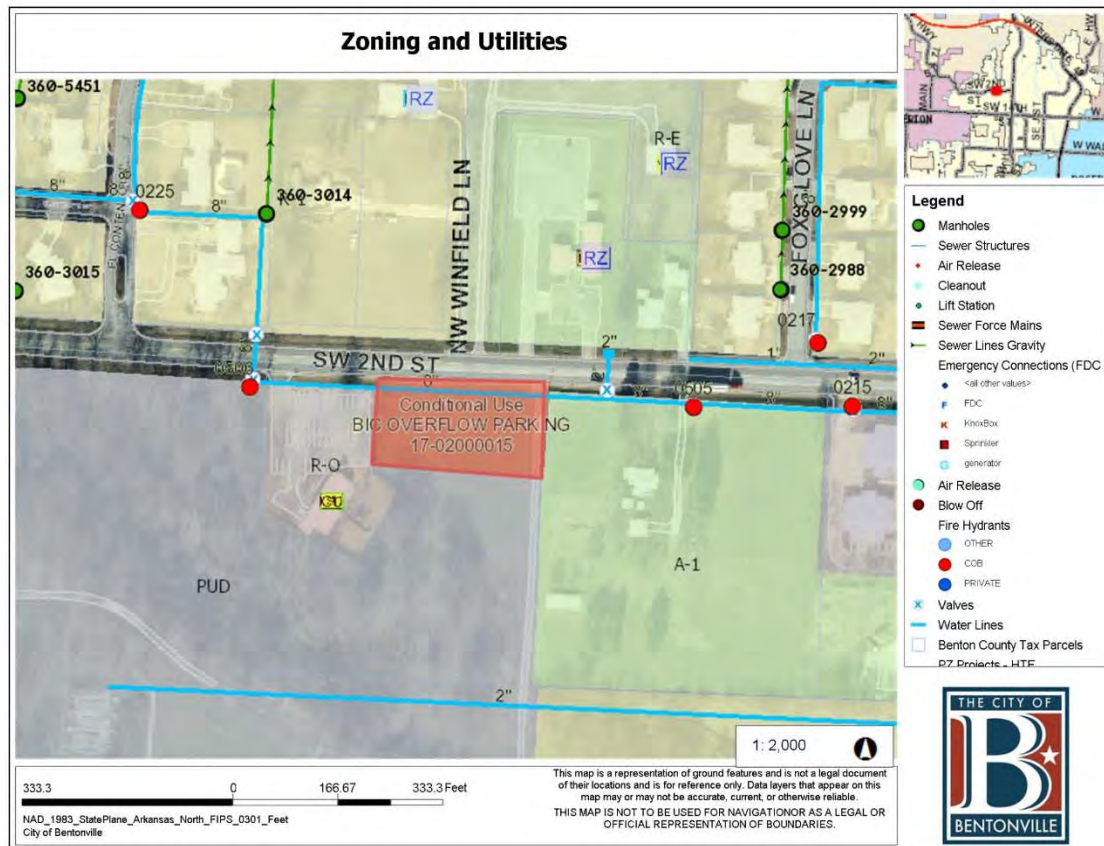
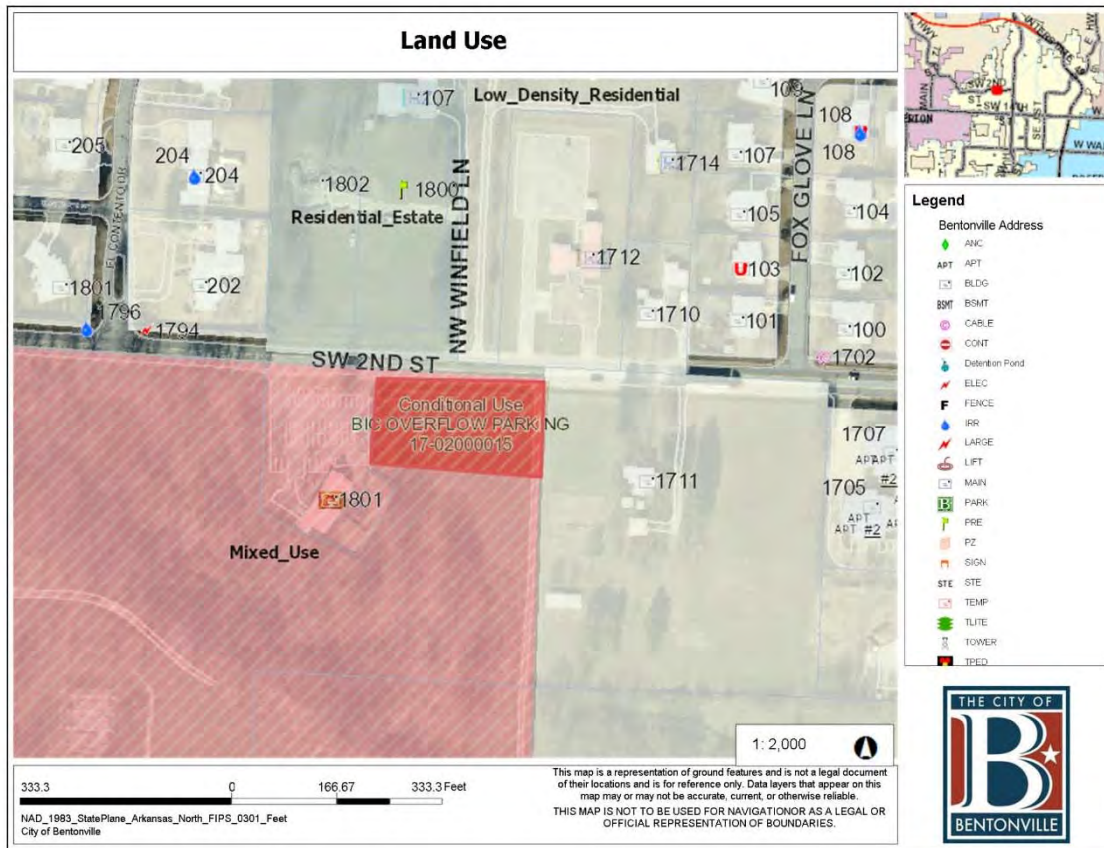
1. All technical review comments must be addressed before a building permit will be issued.
2. The conditional use will run with the business/use.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



CONDITIONAL USE STAFF REPORT



Bentonville Islamic Center - Overflow Parking Narrative

7-5-2017

We request a conditional use permit to allow for overflow parking on the property to our east side/next door that is owned by Bentonville Housing LLC and is located on 2301 SW 2nd St.

The property will be used for overflow parking during our weekly services (Fridays) and on special occasions such as holidays and Ramadan by the congregants of the Bentonville Islamic Center.

The overflow parking will be used primarily on Fridays between 1:00PM and 3:00PM. We anticipate up to 50 parking spots to be utilized during the heaviest periods. We plan on no structural changes to the premises other than a walking path with an opening in the fence between the lots to allow pedestrian traffic.

The parking area will be approximately 230' wide (East to West) and 115' deep (North to South) and is located along the East side of the privacy fence on the North East end of the property belonging to the Bentonville Islamic Center at 1801 SW 2nd St. The overflow parking area will be accessed by automobiles from the existing access off of SW 2nd st. located to the East of the proposed overflow parking area.

To prevent the deterioration of the grass and prevent muddiness, we will split the parking lot into two sections and rotate usage between sections. This will allow the grass to recover. We will also prevent the usage of the area when the ground is soft due to rain. In addition, the usage will be primarily limited to once per week (Fridays) except in Ramadan so the grass should be fine.

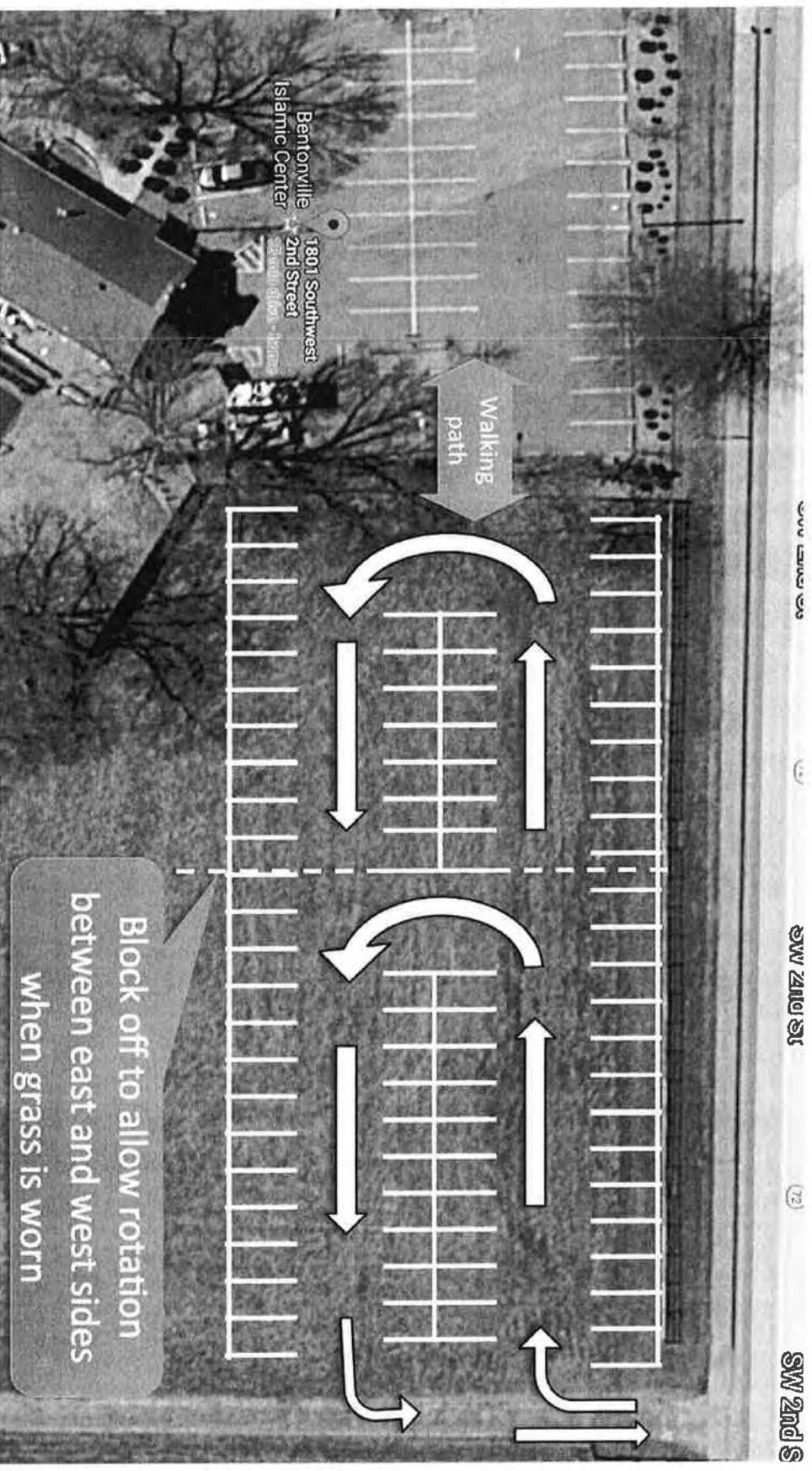
To alleviate the parking issues in the future, we are working with All Saints' Episcopal Church of Bentonville to build the "Abrahamic Interfaith Center" at the north end of Main St. This will take a few years between fundraising and construction.

Thank you,

Issa Abboud
President - Bentonville Islamic Center

Proposed BIC Overflow Parking Layout (With rotation)

This layout will allow for the rotation of the parking and traffic between the East and West halves in order to reduce wear and mudding of the grass. Most wear happens in the turning lanes. This layout allows us to block a section in order to allow it to recover. We do not expect to need all these parking spots at any one time. Most times we will only need about 20-30 spots with 50 being the expected peak.



CONDITIONAL USE STAFF REPORT



The Neighborhood Church

2702 SW I Street

PC Date: 8/15/2017

Reviewer: Jon Stanley, Planner

Project Number	17-02000016
Applicant / Current Owner	The Neighborhood Church 2003 SW Regional Airport Blvd. Bentonville, AR 72712
Site Area	6.27+/- acres
Current Zoning	A-1, Agricultural
Future Land Use Map Designation	Mixed Use (MU)
Requested Use	Religious Facility
Protective Covenants	None

Property Description

This property is the location of two vacant agricultural parcels located along the west side of SW I Street in an area that is designated as mixed use on the Future Land Use Plan. Adjacent zonings include A-1, Agricultural to the north and east, R-2, Duplex & Patio Home Residential to the northwest, C-2, General Commercial to the south, and R-4, High Density Residential to the west and southwest.

Proposed Use Description

The applicant is requesting a conditional use to allow a religious facility to be located on 6.27+/- acres along the west side of SW I Street.

Applicant has submitted Large Scale Development (LSD) plans for development of the property; the item is anticipated to be on the next Planning Commission agenda.

The proposed development includes a new worship center, outdoor courtyard and repurposing of several existing structures on the site. Services will be held on Sundays and Wednesdays and normal office hours are 8:00 a.m. to noon, Monday through Thursday. A minimum of 50 parking spaces will be provided to meet the zoning code requirements. The church will have 200 members and 3 full time employees. All structural changes and outdoor lighting will be reviewed with the LSD submittal.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area. The adjacent arterial road will provide adequate option for ingress/egress.

Public Notice

On 7/18/2017, a notice was published in the Arkansas Democrat Gazette, Northwest Arkansas Edition and a public hearing notice sign was posted on the property on 7/26/2017. This meets legal noticing requirements and is adequate for the scope of this project.

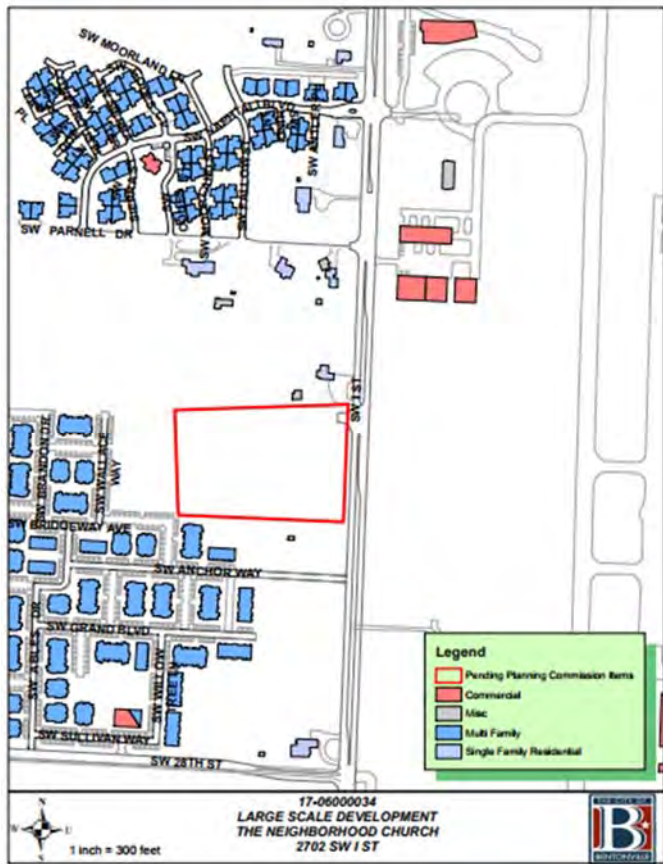
Staff has not been contacted regarding this request.

Conditions of Approval

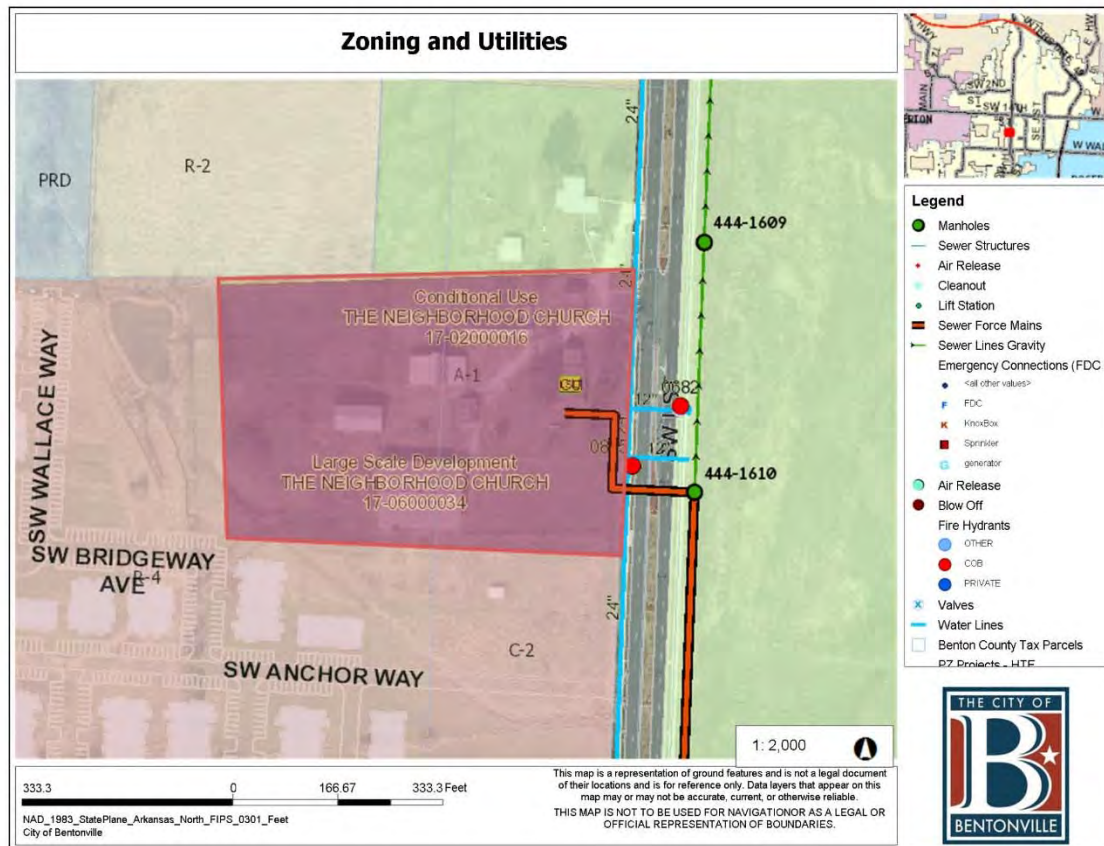
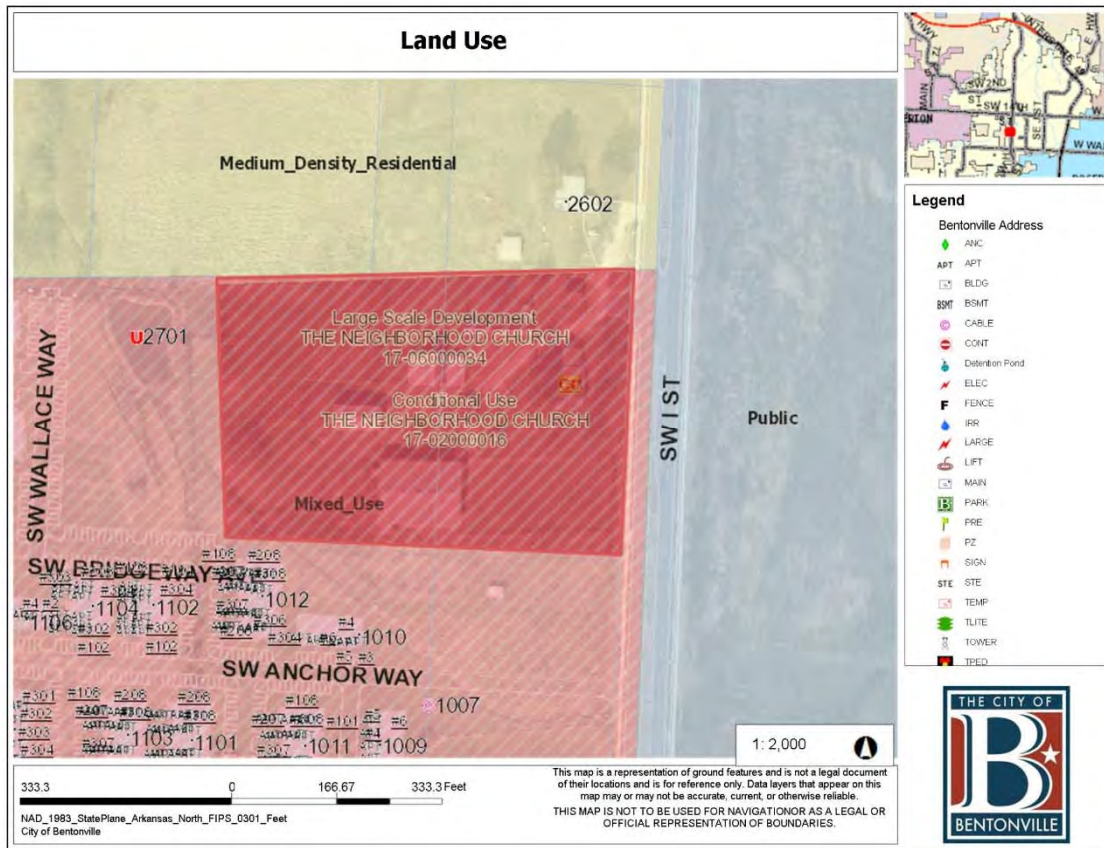
1. All technical review comments must be addressed before a building permit will be issued.
2. The conditional use will run with the business/use.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



CONDITIONAL USE STAFF REPORT





CEI Engineering Associates, Inc.

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2
Bentonville, AR 72712
(479) 273-9472 Fax (479) 273-0844
www.ceieng.com

July 10, 2017

Bentonville Planning Commission
117 West Central Ave
Bentonville, AR 72712

RE: The Neighborhood Church Conditional Use Permit request

Dear Members of the Bentonville Planning Commission,

On behalf of The Neighborhood Church, CEI respectfully requests a conditional use permit to allow religious facility in a A-1 Agricultural zoning district. The property is located at 2702 SW I Street. The property was previously a single-family residence with a horse farm.

The Neighborhood Church has purchased the property to relocate the existing church facility to allow for the congregation to continue to grow and provide a larger facility for the church to continue efforts to help the community with their outreach programs. The proposed development includes an outdoor court yard and several existing structures will remain to keep the current feel of the property.

The Church currently has 200 members and 3 full time employees. Church services are held on Sunday morning and evenings and Wednesdays evenings and is open 8am to noon, Monday through Thursday. The church also has evening activates throughout the week.

Parking for the proposed facility has been designed to provide 92 parking spaces which exceeds the current requirement of 50 parking spaces. The additional parking will allow for future growth.

Based on the location of the subject property and the surrounding developments, we believe this to be a suitable location for The Neighborhood Church facility and request your approval of this Conditional Use Permit.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Jaime Kemp", is written over the "Respectfully submitted," text.

Jaime Kemp
Project Designer
CEI Engineering Associates, Inc.
Attachment: The Neighborhood Church site plan

Solutions for Land and Life

CALIFORNIA ■ TEXAS ■ ARKANSAS ■ MINNESOTA ■ PENNSYLVANIA

LOT SPLIT STAFF REPORT



Lots 27 & 28 Straube Business Park

Location: 5300 SW Regional Blvd

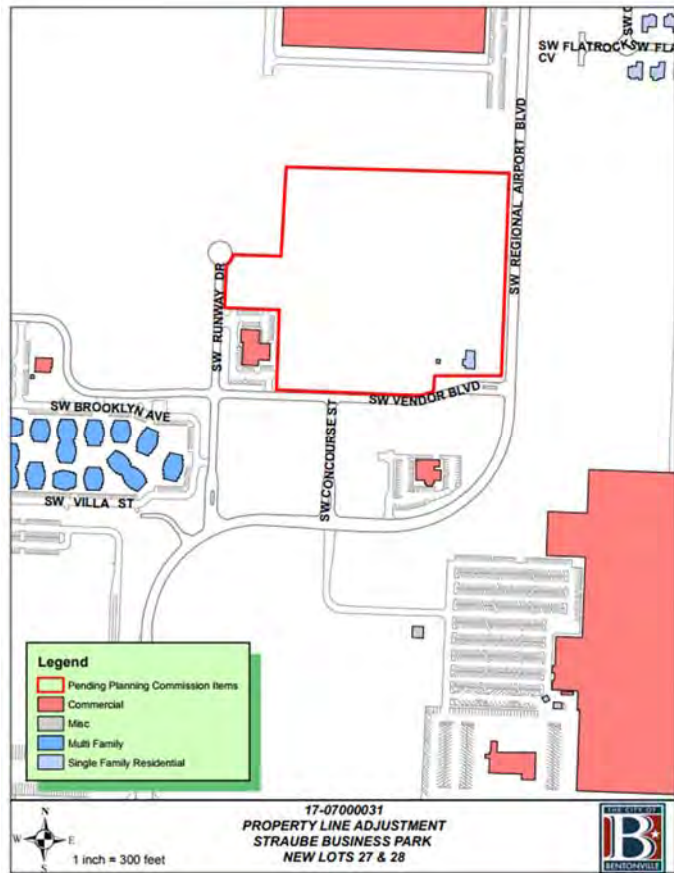
PC Date: 8/15/2017

Reviewer: Jon Stanley, Planner

Project Number	17-07000031
Applicant / Current Owner	Crossmar Investments 1500 E Central Ave. Bentonville, AR 72712
Site Area	8.80 & 7.40 acres
Current Zoning	I-1, Light Industrial
Future Land Use Map Designation	Industrial (I)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of 12 parcels zoned I-1, Light Industrial & C-1 Neighborhood Commercial. It is located along SW Regional Airport Boulevard which is designed as an arterial road on the current Master Street Plan. Adjacent zonings include I-1, Light Industrial & C-1 Neighborhood Commercial to the north, C-2, General Commercial to the south, I-2 Heavy Industrial to the east, and C-1 Neighborhood Commercial to the west.

Project Details

The applicant has submitted a proposal for a lot split that will create 2 new lots from 12 existing parcels. The new lots will be known as Lots 27 (8.80 acres) and Lot 28 (7.40 acres) of Straube Business Park. Pre the requirements of the Master Street Plan, right-of-way will be dedicated along SW Regional Airport Blvd. An existing 20' utility easement that traverses the property will be vacated by a separate process prior to any building permits being issued. Cross access is being provided for future development to the west. Both lots have access to public utilities and a public street.

Projected Traffic Impact

The proposed zoning designation has the potential to adversely impact traffic in the area. The property is located along SW Regional Airport Boulevard which has considerable large vehicle traffic and off-site improvements may be necessary as future office/warehouse uses continue to develop in this area.

Utility Infrastructure

Per the GIS website, water and sewer are available to this site.

Drainage Report

A drainage report is not required.

Waivers

No waivers requested.

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

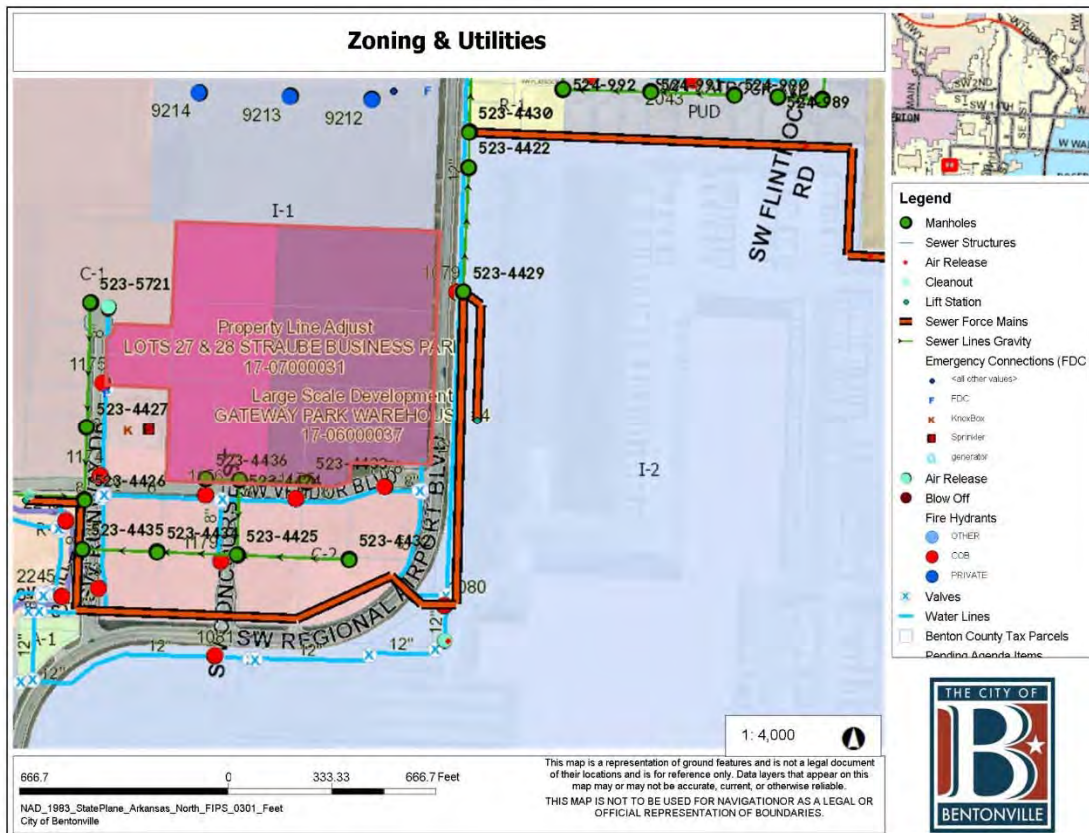
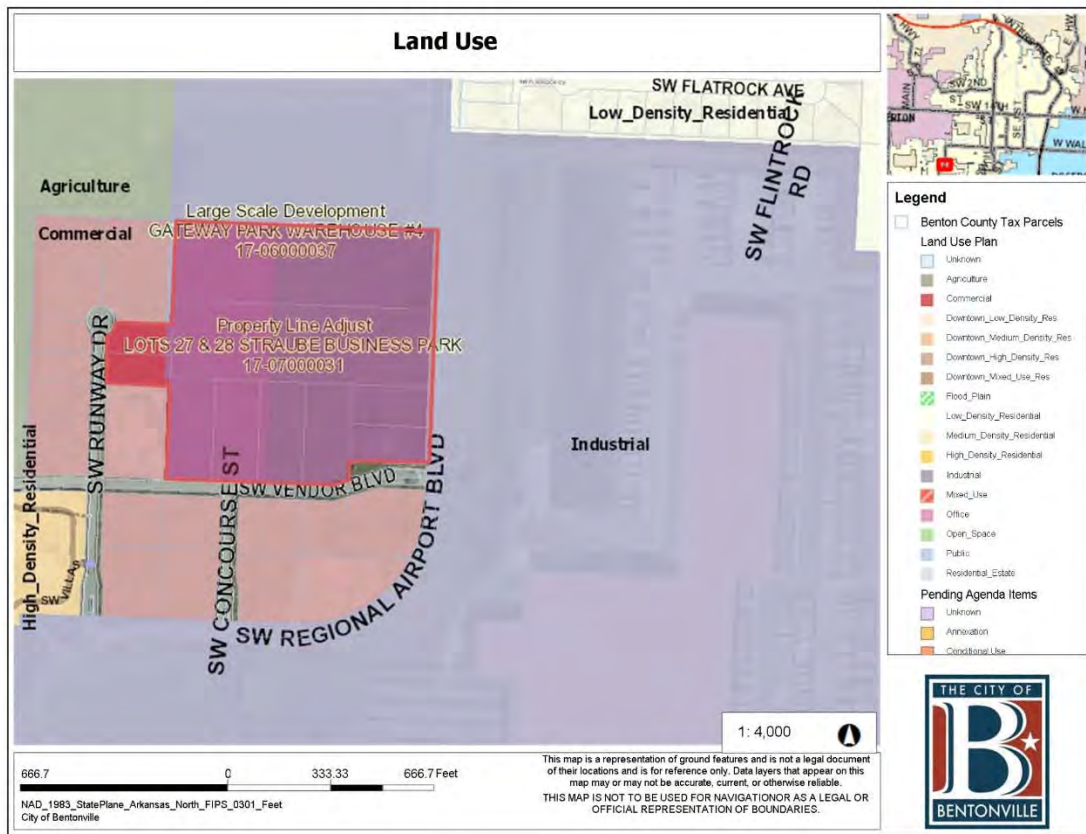
Standard Conditions of Approval

1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

LOT SPLIT STAFF REPORT



LARGE SCALE DEVELOPMENT STAFF REPORT



Gateway Park Warehouse 4

5300 SW Airport Blvd

PC Date: 8/15/2017

Reviewer: Jon Stanley, Planner

Project Number	17-06000037
Applicant / Current Owner	Crossmar Investments 1500 E Central Ave Bentonville, AR 72712
Site Area	8.80+/- acres
Current Zoning	I-1, Light Industrial
Future Land Use Map Designation	Industrial (I)
Development Type / Use	Warehouse/office

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of 12 parcels zoned I-1, Light Industrial & C-1 Neighborhood Commercial. It is located along SW Regional Airport Boulevard which is designed as an arterial road on the current Master Street Plan. Adjacent zonings include I-1, Light Industrial & C-1 Neighborhood Commercial to the north C-2, General Commercial to the south, I-2 Heavy Industrial to the east, and C-1 Neighborhood Commercial to the west.

Project Details

The applicant is proposing a large scale development for a 170,300 sq. ft., 43' tall, office/warehouse facility located at 5300 SW Regional Airport Boulevard. One hundred fifty-two (152) parking spaces are being provided. Two points of access are being proposed, one onto SW Regional Airport Blvd. and one onto SW Vendor Boulevard. Cross access will be provided to the north and west for future development. Sidewalks will be installed along both street frontages. The primary materials depicted for the exterior elevations include concrete tilt-up panels, stone veneer and glass.

Projected Traffic Impact

The proposed zoning designation has the potential to adversely impact traffic in the area. The property is located along SW Regional Airport Boulevard which has considerable large vehicle traffic and off-site improvements may be necessary as future office/warehouse uses continue to develop in this area.

Utility Infrastructure

Per GIS website, Water and sewer are available.

Drainage Report

A drainage report

Waivers

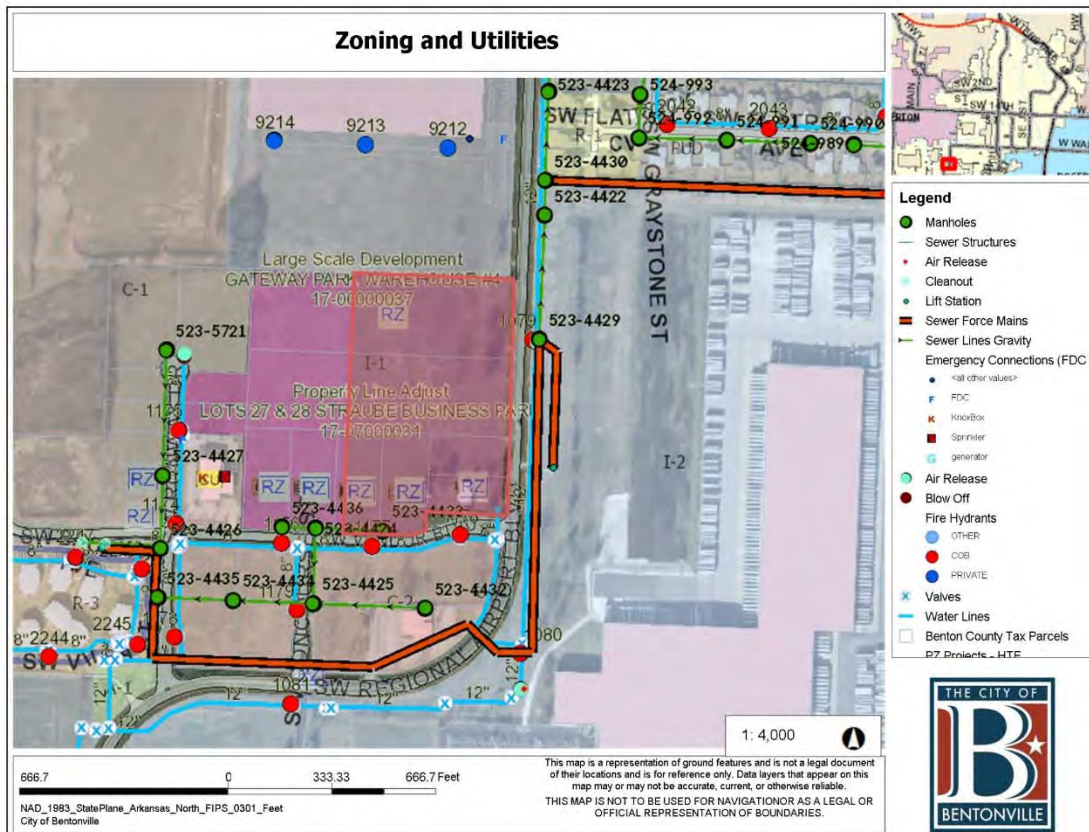
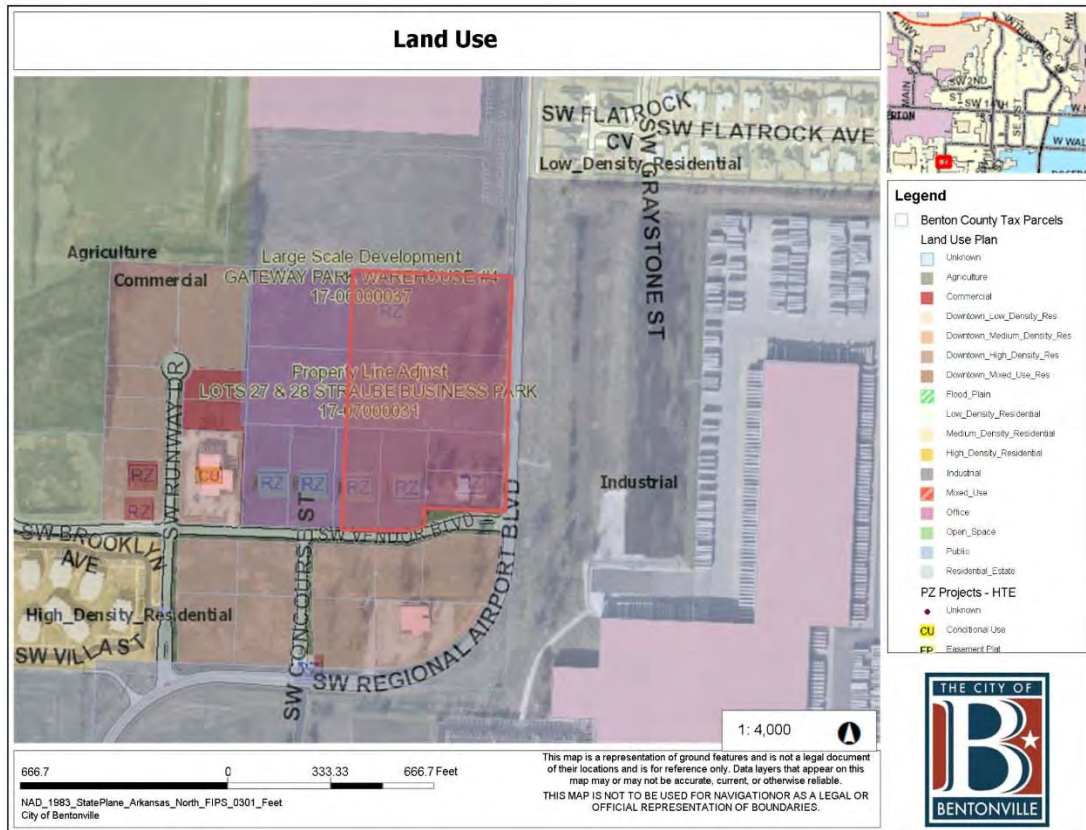
1 waiver requested.

- Waiver to Article 1400, Landscaping, Screening & Buffering Requirements, Section 1400.7.B.3, Perimeter Landscaping & Screening, Screen Types. The applicant is proposing to install the required 7' greenspace but to plan the trees in a different area on site in anticipation of future expansion to the west. (See attached waiver request letter for additional information)

Conclusion

This large scale development does not meet the minimum requirements of the subdivision regulations due to the waiver request.

LARGE SCALE DEVELOPMENT STAFF REPORT





MORRISON SHIPLEY

ENGINEERS • SURVEYORS

Planning Commission
City of Bentonville
305 S.W. "A" St.
Bentonville, AR 72712

August 15, 2017

**Re: Gateway 4 Warehouse
 5300 SW Regional Airport Blvd
 West Perimeter Trees Waiver Request**

Dear Planning Commission:

On behalf of Crossmar Investments, we respectfully request a waiver from planting the perimeter trees on the west side of the site. We are proposing that the required 17 trees that would be in the west perimeter greenspace be relocated to the truck court islands.

The proposed development for construction is a 171,000 sf warehouse (Gateway 4) with a 130' truck court on the west side. The developer intends to construct another warehouse (Gateway 5) in the future that will extend the truck court to 190' and be shared between the two. For this reason the developer wishes to plant the trees in the truck court islands so they do not have to remove them at a later date.

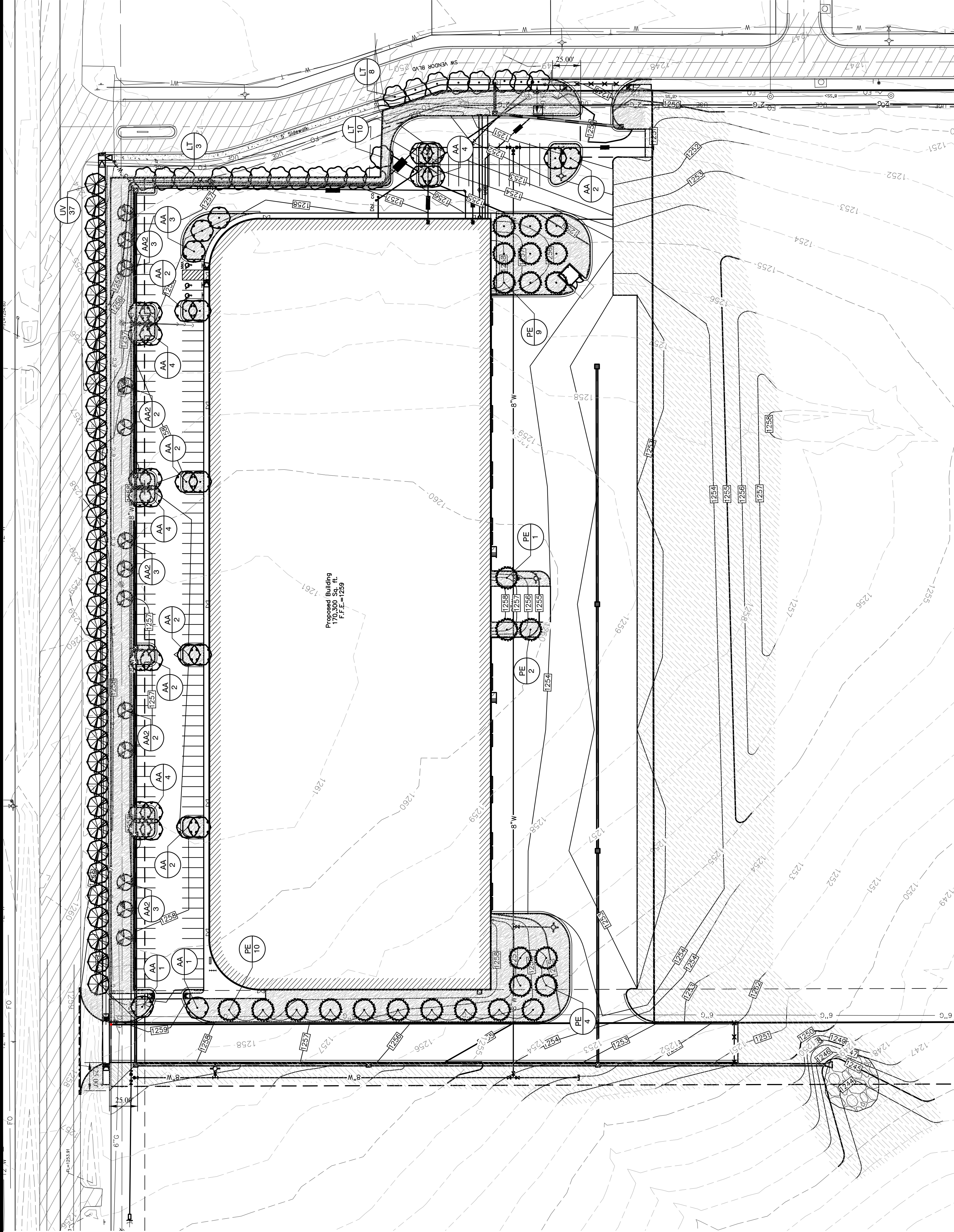
In conclusion, based on the information provided, it is our opinion that the relocation of the perimeter trees to the truck court island in lieu of planting on the perimeter will provide a good compromise for the developer to use a shared truck court and also provide trees per city code. Please consider this waiver request on the future site development described. If you have any questions or need additional information, please feel free to call.

Sincerely,
Morrison Shipley Engineers, Inc.

Patrick Foy
Project Manager

Attachment: Landscape Plan

2407 S.E. Cottonwood Street
Bentonville, AR 72712
479.273.2209 ■ Fax 479.273.2553
Morrisonshipley.com

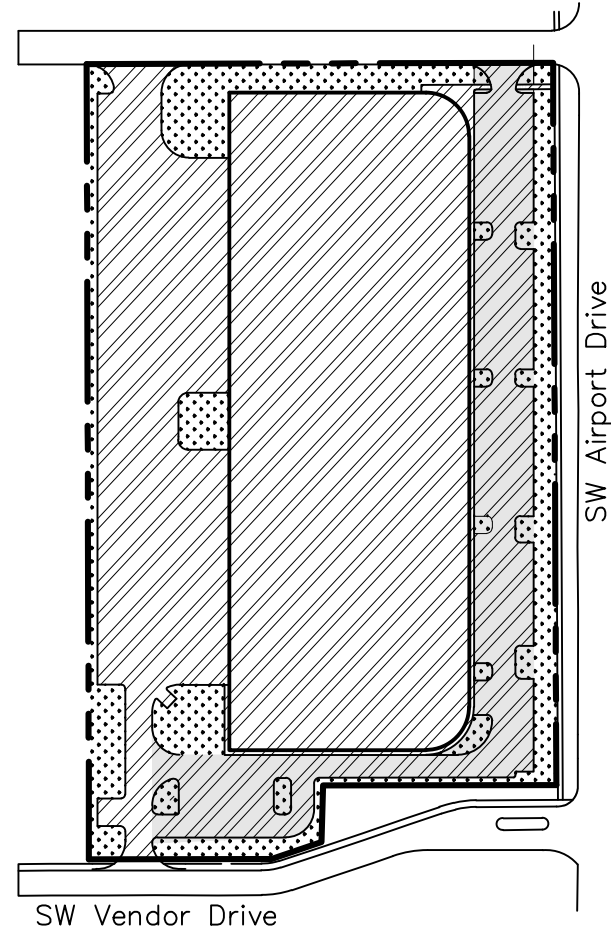


PLANT SCHEDULE

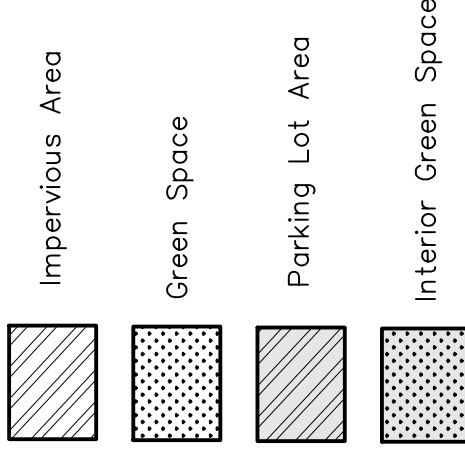
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	QTY
	AA	Acer freemanii 'Armstrong' / Freeman Maple	B & B	2.5'Cal	10'-12'	33
	AA2	Acer glabrala / Annu Maple	B & B	2.5'Cal		13
	LT	Liriodendron tulipifera / Tulip Tree	B & B	2.5'Cal	10'-12'	21
	PE	Pinus echinata / Short Leaf Pine	B & B	2.5'Cal	6'-8'	26
	UV	Ulmus americana 'Valley Forge' / American Elm	B & B	2.5'Cal		37
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT		QTY	
	FK	Festuca arundinacea 'Kentucky 31' / Kentucky Tall Fescue	Seed or Hydromulch		125,792 sf	
	FK2	Festuca arundinacea 'Kentucky 31' / Kentucky Tall Fescue	sod		51,081 sf	

Key Map
Not To Scale

Interior Green Space Calculations:
Total Parking Lot Area: 58,070 S.F.
Total Interior Green Space Required: 5,807 S.F. (10%)
Total Interior Green Space Provided: 6,093 S.F. (10.1%)

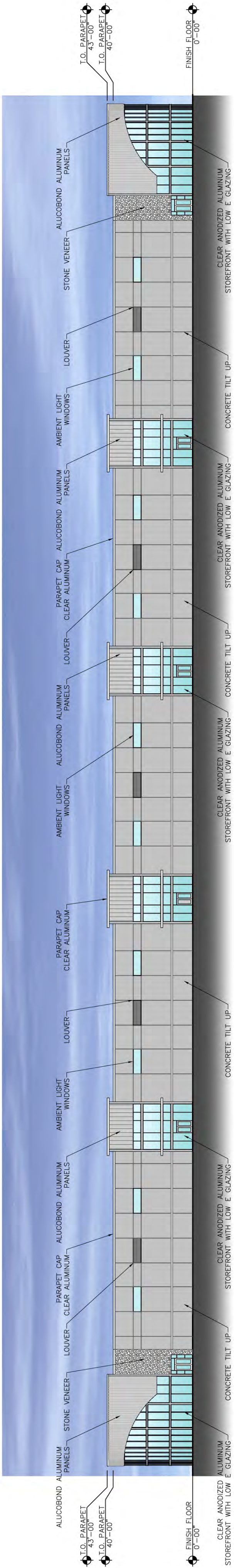


Site Area Calculations:



LANDSCAPE REQUIREMENTS

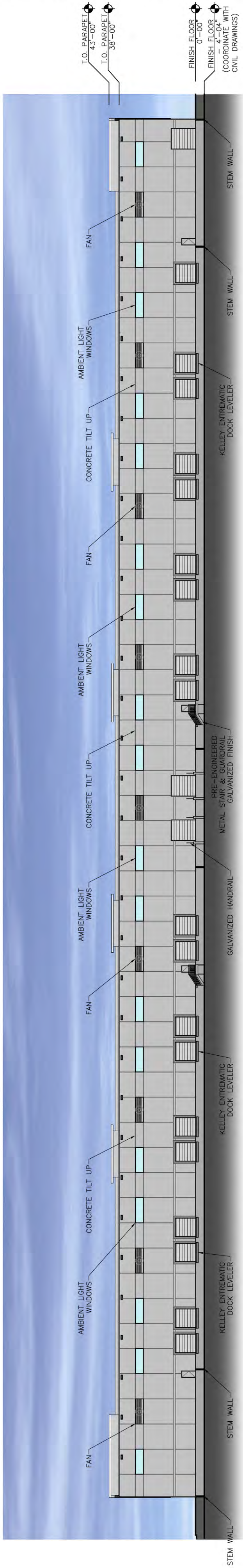
STREET FRONTAGE	ONE CANOPY TREE PER 20 LINEAR FEET OF FRONTAGE	REQUIRED	PROVIDED
771 LF STREET FRONTAGE SW AIRPORT BLVD.	752 /20=37 TREES	37	37
780 LF STREET FRONTAGE SW VENDOR BLVD.	423 /20=21 TREES	21	21
PERIMETER LANDSCAPE NORTH SIDE WEST SIDE	ONE CANOPY TREE PER 50 LINEAR FEET OF PERIMETER 480 LF / 50 = 10 SHADE TREES 828 LF / 50 = 17 SHADE TREES	10 17	10 17
PARKING LOT REQUIREMENTS	ONE SHADE TREE PER 125 SQ. FT. OF INTERIOR PARKING LOT LANDSCAPES AREA (5807/125=46.4= 46 TREES)	46	46



SCALE: $1/32" = 1'-0"$

SCALE: $1/32'' = 1'-0''$

ALUCOBOND ALUMINUM PANELS	= 2,310	= 8.47%
STONE VENEER	= 940	= 3.56%
CONCRETE TILT UP	= 18,284	= 65.55%
PARAPET CAP	= 636	= 2.30%
STOREFRONT WITH GLAZING	= 4,978	= 17.92%
FAB TILT UP LOUVER	= 176	= 0.70%
AMBIENT LIGHT WINDOWS	= 616	= 2.30%
OVERHEAD DOORS	= 0	= 0.00%
MAN DOORS	= 0	= 0.00%
TOTAL	= 27,936	= 100%



2

SCALE: $1/32" = 1'-0"$

ALUCOBOND ALUMINUM PANELS	=	0	=
STONE VENEER	=	0	=
CONCRETE TILT UP	=	24,045	= 82.92%
PARAPET CAP	=	642	= 2.22%
STOREFRONT WITH GLAZING	=	0	=
PAN LOUVER	=	210	= 0.72%
AMBIENT LIGHT WINDOWS	=	1,218	= 4.20%
OVERHEAD DOORS	=	2,791	= 9.62%
MAN DOORS	=	92	= 0.32%
TOTAL	=	28,998	= 100%



REV. NO.	DATE	DESC.

HENRY ARCHITECTURE
1722 N COLLEGE AVE., SUITE C - BOX 153
FAYETTEVILLE, AR 72703
PHONE - 479.530.9693 EMAIL: chenny@henryarchitecture.com
DRAWN BY: MEG
CHECKED BY: CJH4

BENTONVILLE, AR

JOB # 17-005

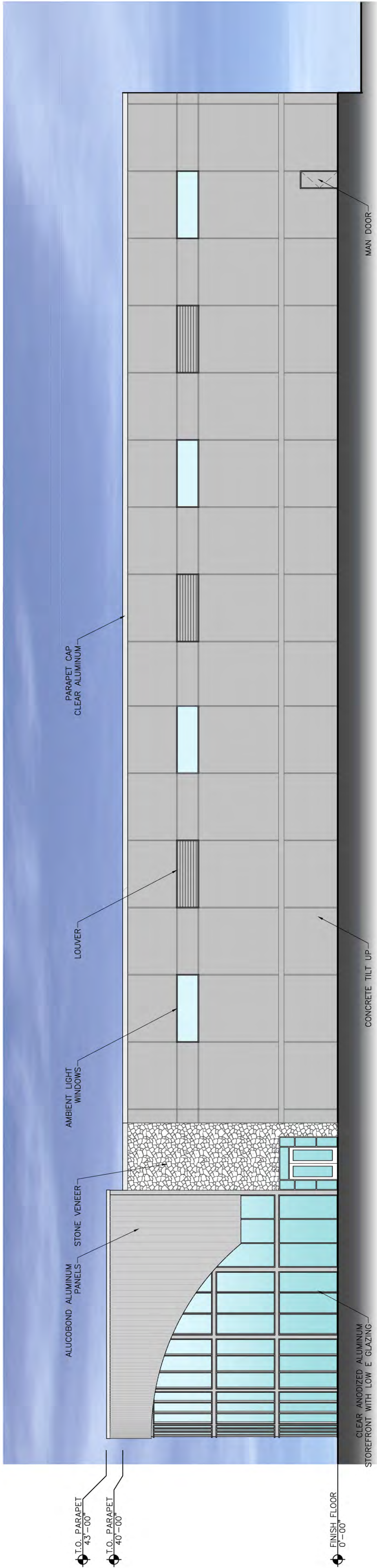
V13 - PRELIMINARY DESIGN 08-10-2017

INDUSTRIAL #4

ELEVATIONS & DETAILS

DATE:

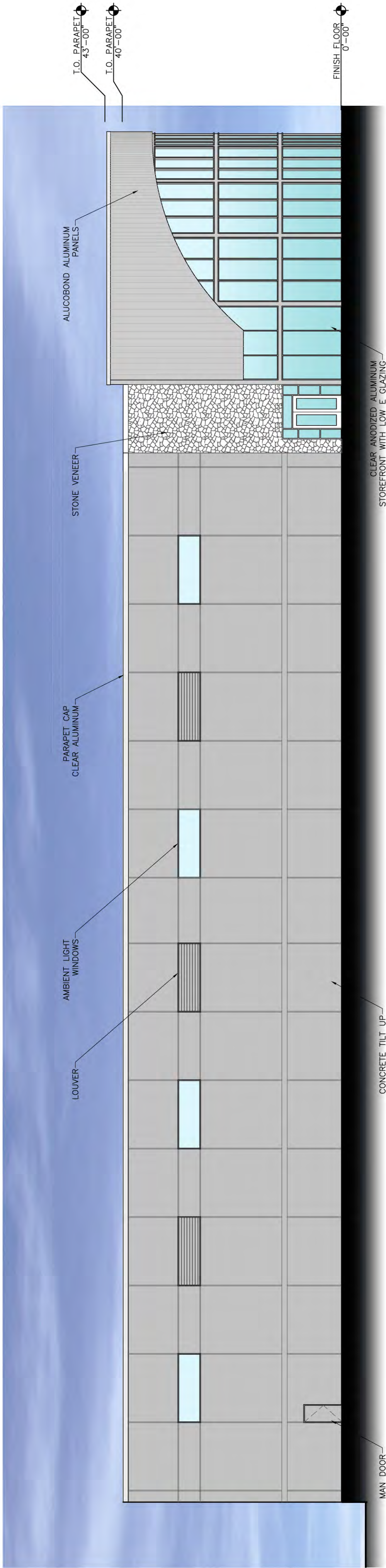
EL-2



1 PRELIMINARY RIGHT ELEVATION

SCALE: 1/32" = 1'-0"

ALUCOBOND ALUMINUM PANELS	=	933	=	9.19%
STONE VENEER	=	469	=	4.62%
CONCRETE TILT UP	=	7,017	=	69.09%
PARAPET CAP	=	229	=	2.25%
STOREFRONT WITH GLAZING	=	1,136	=	11.19%
FAN LOUVER	=	0	=	0%
AMBIENT LIGHT WINDOWS	=	348	=	3.42%
OVERHEAD DOORS	=	0	=	0%
MAN DOORS	=	24	=	0.24%
TOTAL	=	10,156	=	100%



2 PRELIMINARY LEFT ELEVATION

SCALE: 1/32" = 1'-0"

ALUCOBOND ALUMINUM PANELS	=	933	=	9.19%
STONE VENEER	=	469	=	4.62%
CONCRETE TILT UP	=	7,017	=	69.09%
PARAPET CAP	=	229	=	2.25%
STOREFRONT WITH GLAZING	=	1,136	=	11.19%
FAN LOUVER	=	0	=	0%
AMBIENT LIGHT WINDOWS	=	348	=	3.42%
OVERHEAD DOORS	=	0	=	0%
MAN DOORS	=	24	=	0.24%
TOTAL	=	10,156	=	100%

LARGE SCALE DEVELOPMENT STAFF REPORT



Helen Walton Children Enrichment Center

309 NE J Street

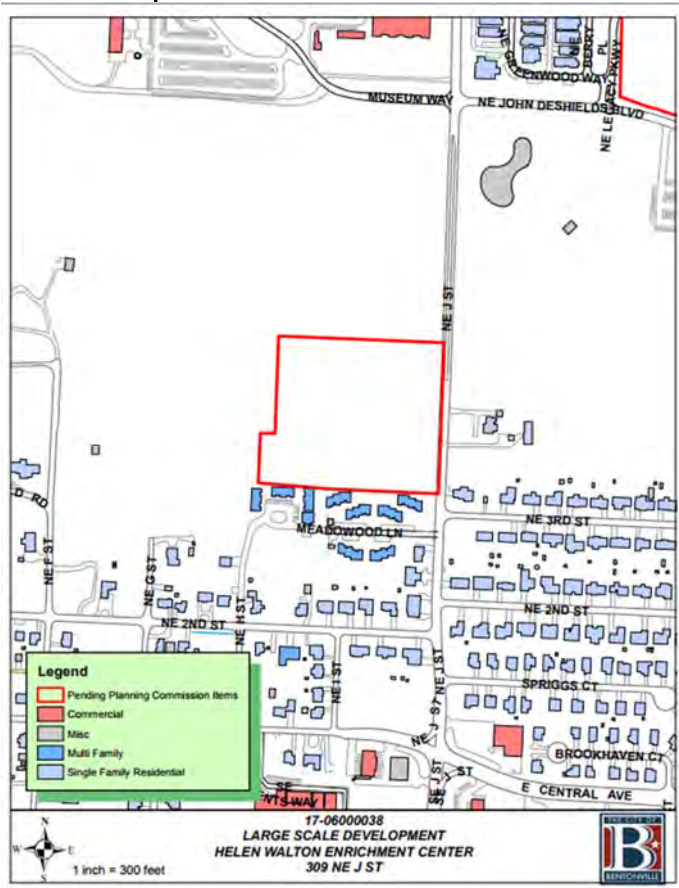
PC Date: 8/15/2017

Reviewer: Jon Stanley, Planner

Project Number	17-06000038
Applicant / Current Owner	Bentonville Child Care & Development 1701 NE Wildcat Way Bentonville, AR 72712
Site Area	7.90 acres
Current Zoning	R-O, Residential Office
Future Land Use Map Designation	High Density Residential (HDR) and Low Density Residential (LDR)
Development Type / Use	Educational Facility

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of five vacant parcels that are zoned R-O, Residential Office. It is situated along the west side of NE J Street and south of the entrance into Crystal Bridges. Adjacent properties are zoned R-3 (Medium Density Residential), A-1 (Agricultural), R-1 (Low Density Residential), and R-ZL (Residential Zero Lot Line).

Project Details

The applicant is proposing a large scale development for a 46,000 sq. ft., single story, educational facility situated on 7.90+/- acres located at 309 NE 'J' Street. PC approved a conditional for an educational facility at this location on June 20, 2017. One hundred fifty-one (151) parking spaces will be provided. Two points of access are proposed onto NE 'J' Street. The northern most curb cut will be right-in/right-out only. A sidewalk/trail is existing along NE 'J' Street. On-site storm water detention will be installed in the SW corner of the site. The primary materials depicted for the exterior elevations include battened cement board panels/siding, cedar wood screen and glass.

Projected Traffic Impact

Per the traffic analysis submitted by the applicant, the proposed development will not adversely impact traffic in the area.

Utility Infrastructure

Per GIS website, water and sewer are available.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

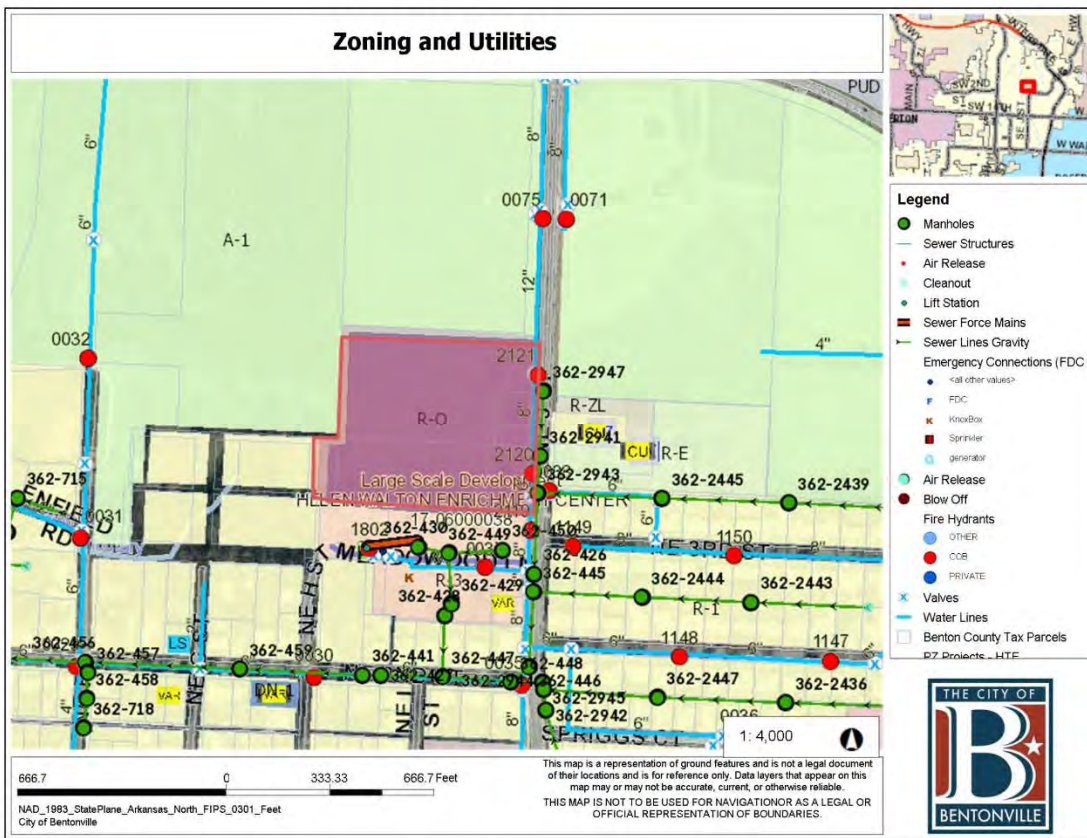
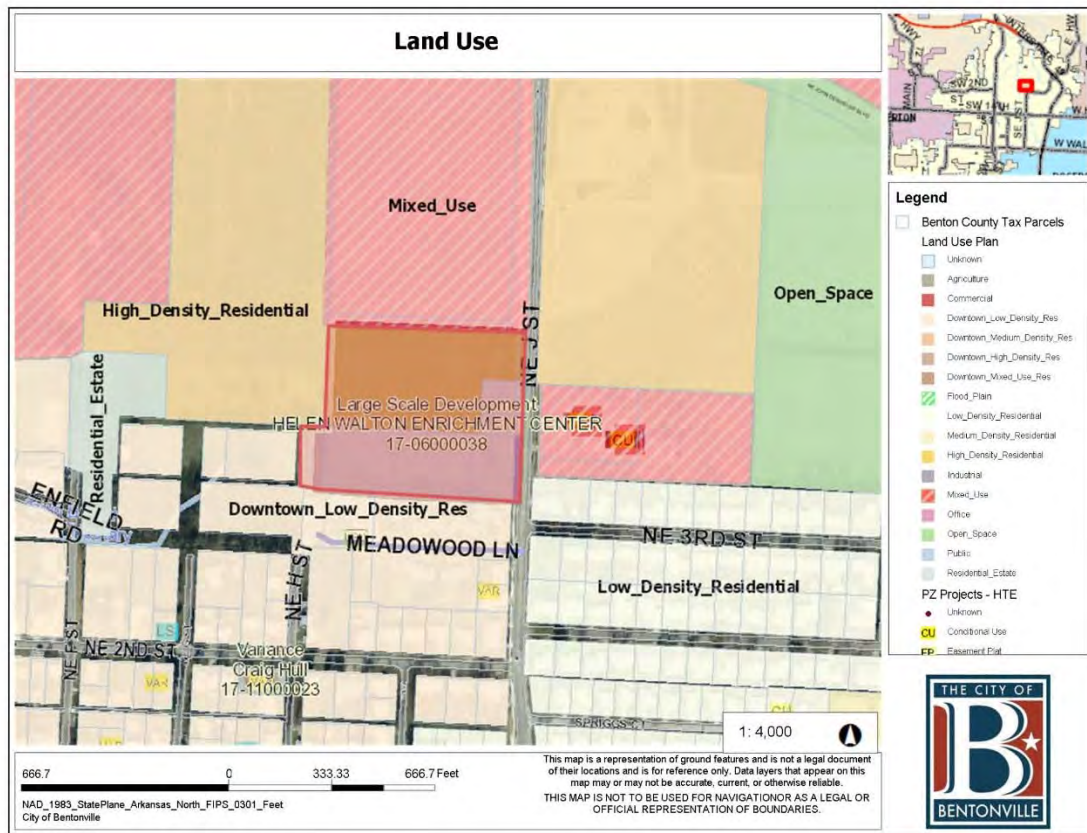
1 waiver requested.

- Waiver to Article 1100, Design Standards, Section 1100.13.E.1 Building Design, Materials. Applicant is proposing a wooden cedar screen for the NW, NE, and SW, SE wings of the building.

Conclusion

This large scale development does not meet the minimum requirements of the subdivision regulations due to the waiver request.

LARGE SCALE DEVELOPMENT STAFF REPORT





July 31, 2017

RE: Helen Walton Children's Enrichment Center
309 NE J Street
Bentonville, AR
17-06000038

Dear Planning Commission,

On behalf of the Helen Walton Children's Enrichment Center, we request a waiver to Article 1100, Design Standards, Section 1100.13, Design Standards for Large Scale Developments, Subsection 'E.1' Building Design Materials. This ordinance states that the primary material shall constitute at least 75% of the wall area, excluding glass. The proposed primary external material for this building are battened cement board panels for the primary entrance (north) façade and at the end of each classroom wing. However, we are requesting a waiver to allow for the use of wood as a secondary façade material where the school directly abuts a playground.

Within the structure, each classroom opens directly onto a covered exterior classroom allowing for frequent contact with nature and outdoor play. Each outdoor classroom is separated from the playground with an insect screen – allowing for simultaneous and seamless use of the indoor and outdoor classrooms. In order to improve the aesthetic qualities of the “screened porch” facades, we are attaching a series of natural 1x3 cedar slats to the screen frame. These slats define a house-shaped opening at each classroom, reinforcing the idea that the classroom is “home-away-from-home.” The wood will complement the natural materials selected for the playground equipment and soften the screen porch framing.

Please see included page A302 to show design intent.

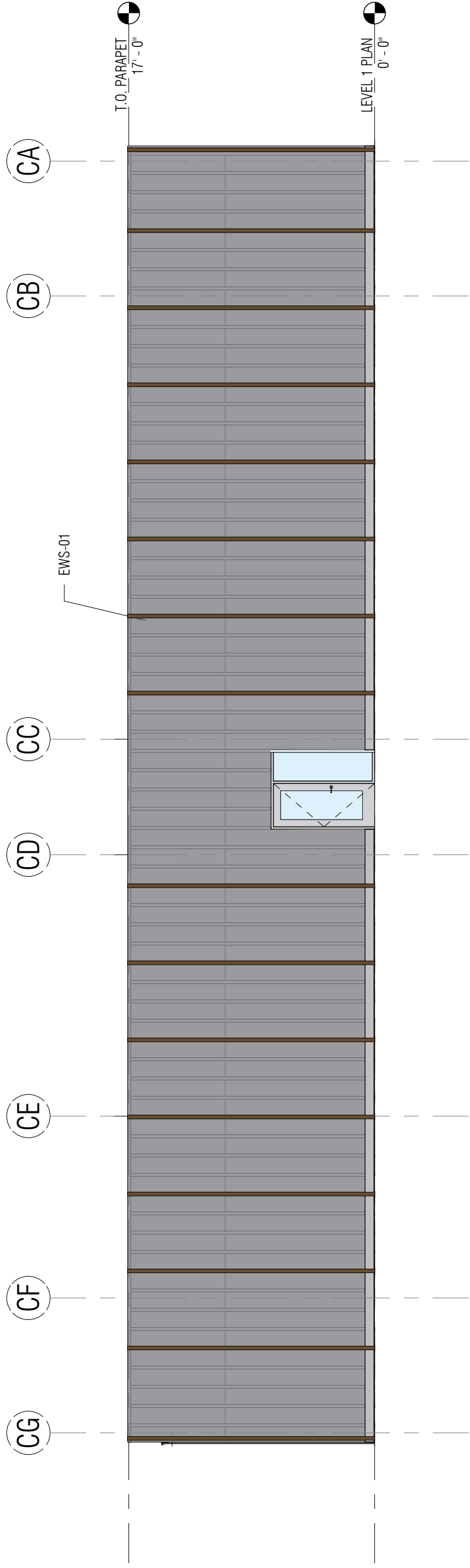
Please contact me with any questions about this waiver request at (479) 273-7780x355.

Thank you for your consideration,

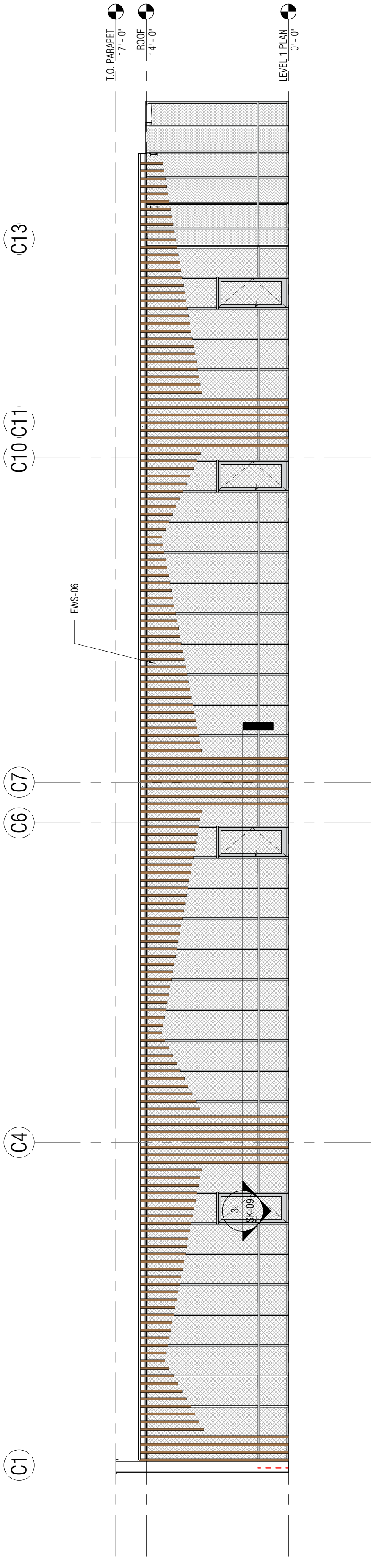
Kelsey Kreher
Project Manager

ISSUE NO.	DATE	DESCRIPTION
1	8/23/17	S01, C05
2	8/4/17	100% C05
3		
4		
5		
6		
7		
8		
9		

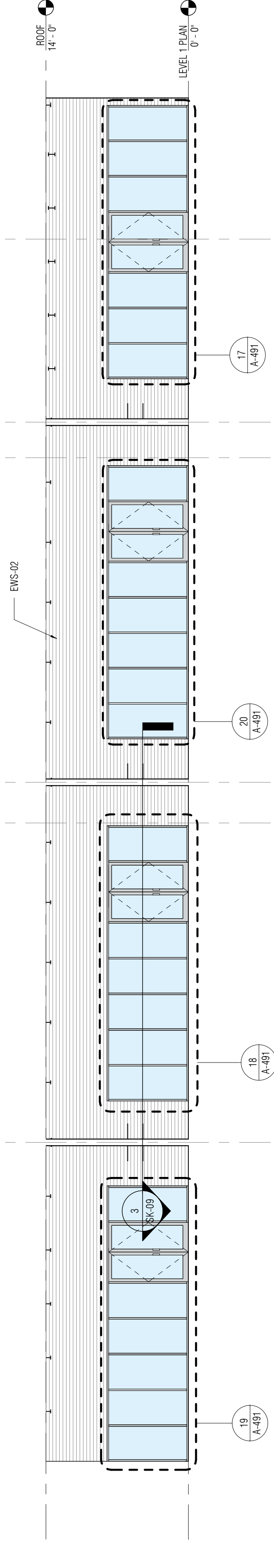
REVISION	DATE	DESCRIPTION
1		
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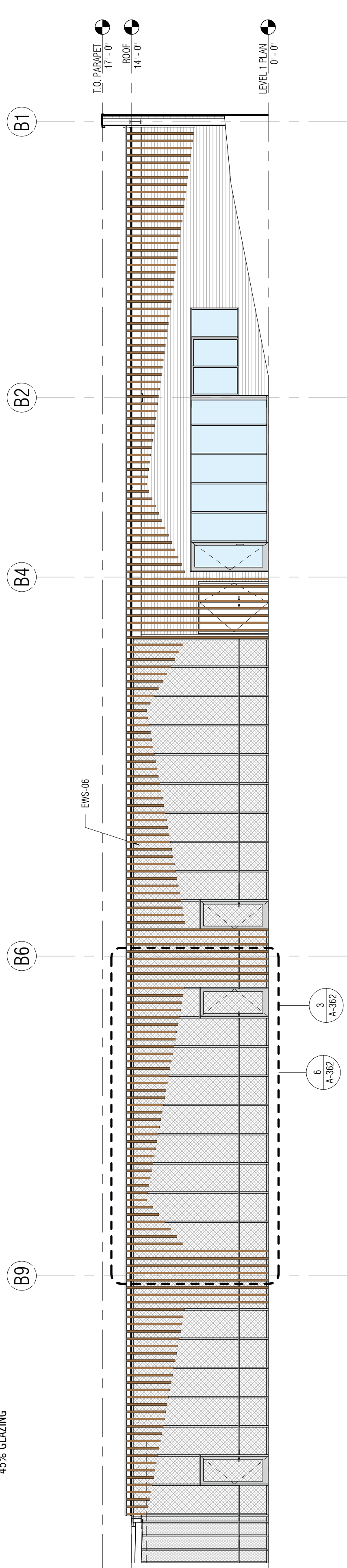
9 EXT. ELEVATION - SE WING END
1/8" = 1'-0"
97% BATTENED CEMENT BOARD PANELS
3% GLAZING



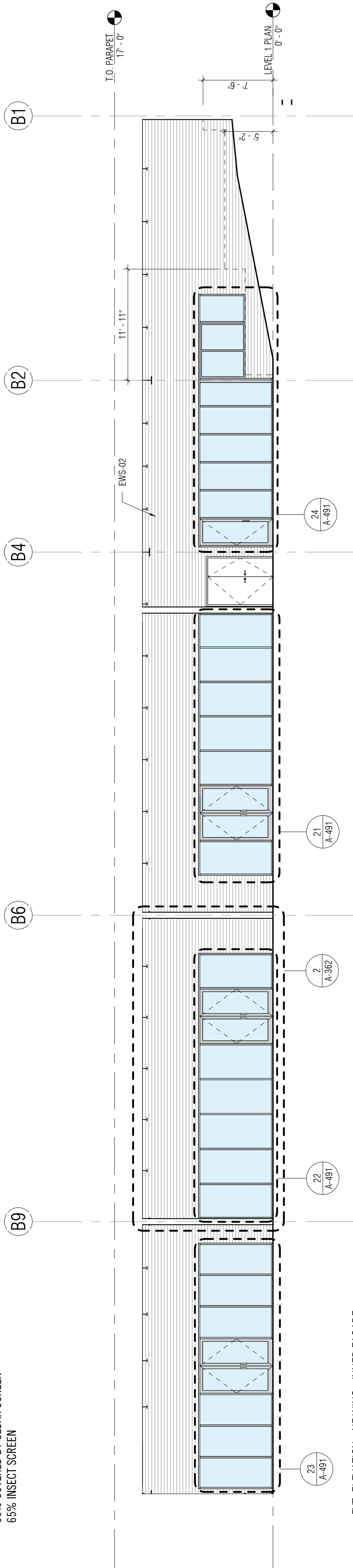
7 EXT. ELEVATION - SE WING - OUTER FACADE 2
1/8" = 1'-0"
34% COVERED BY CEDAR SCREEN
66% INSECT SCREEN



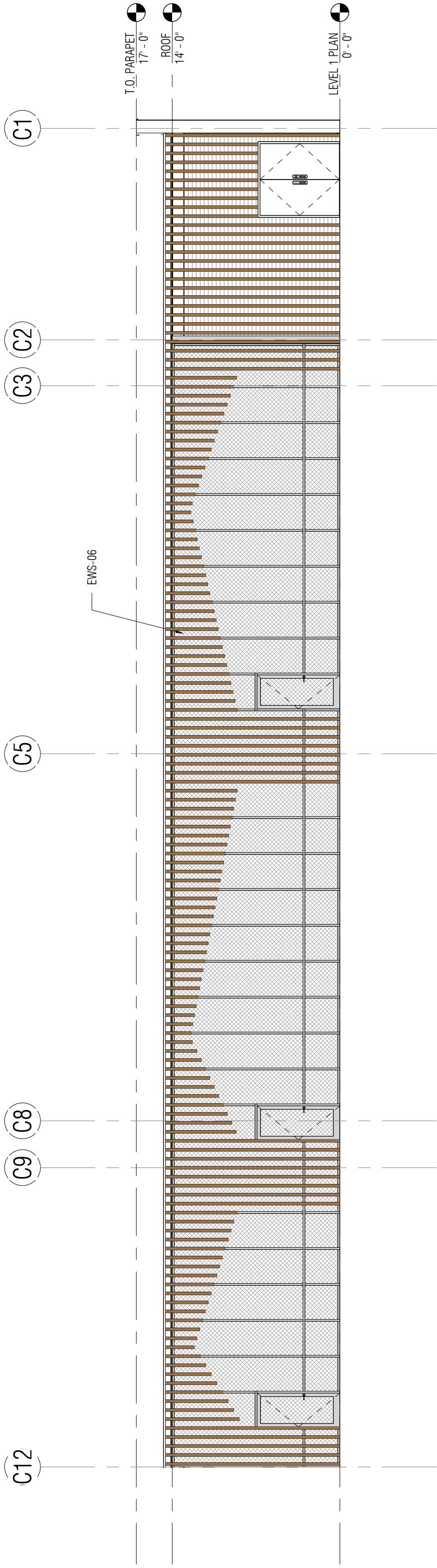
5 EXT. ELEVATION - SE WING - INNER FACADE 2
1/8" = 1'-0"
55% CEMENT BOARD LAP SIDING
45% GLAZING



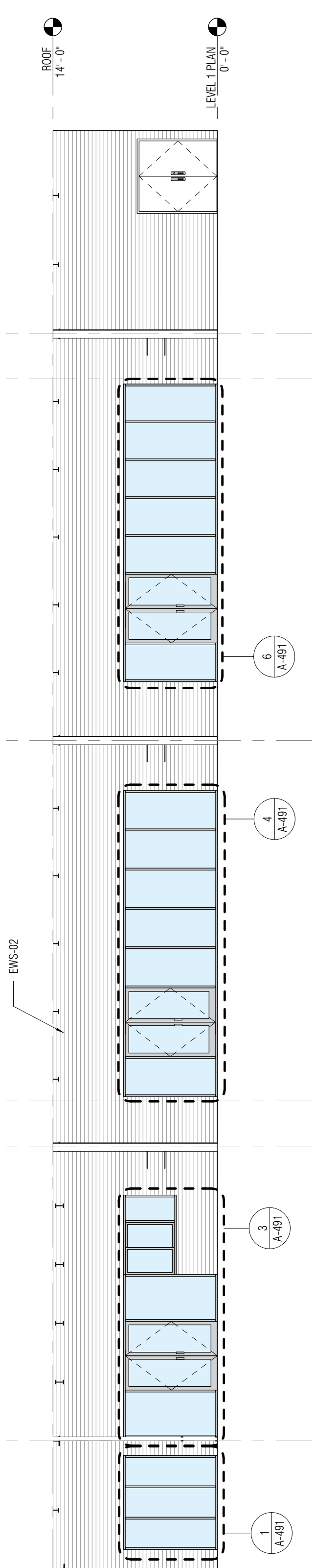
3 EXT. ELEVATION - NE WING - OUTER FACADE
1/8" = 1'-0"
35% COVERED BY CEDAR SCREEN
65% INSECT SCREEN



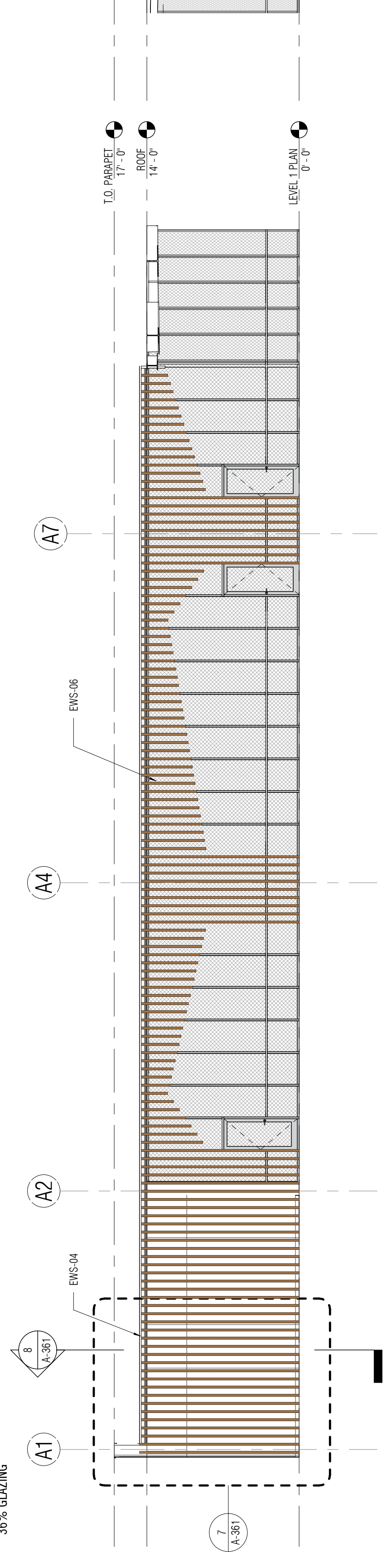
1 EXT. ELEVATION - NE WING - INNER FACADE
1/8" = 1'-0"
62% CEMENT BOARD LAP SIDING
38% GLAZING



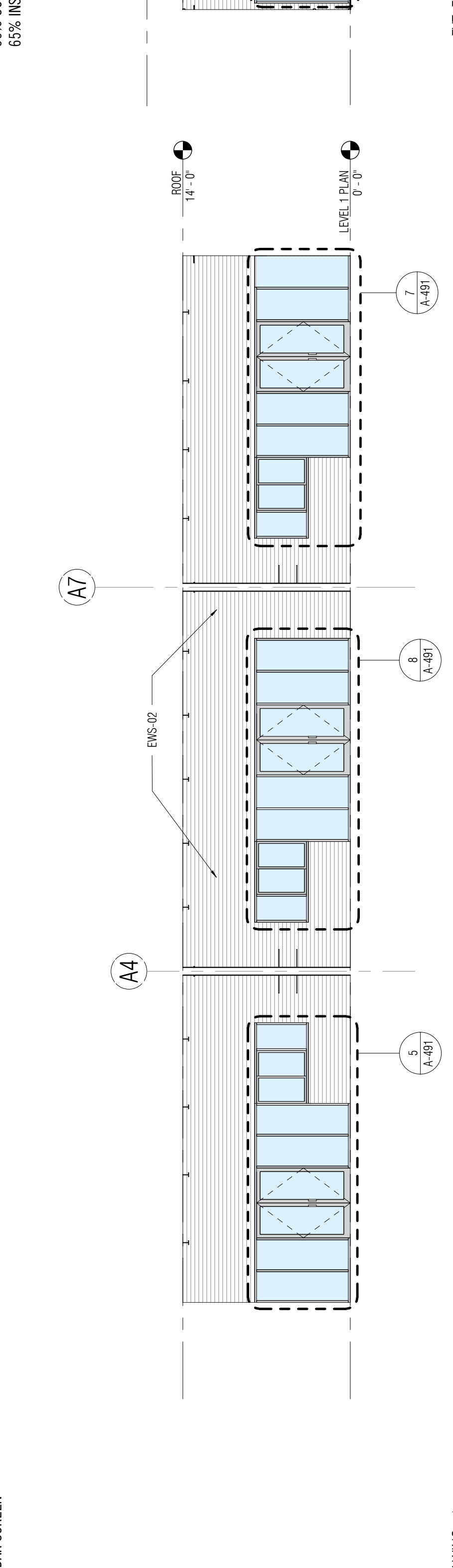
8 EXT. ELEVATION - SE WING - OUTER FACADE 1
1/8" = 1'-0"
64% COVERED BY CEDAR SCREEN
46% INSECT SCREEN



6 EXT. ELEVATION - SE WING - INNER FACADE 1
1/8" = 1'-0"
64% CEMENT BOARD LAP SIDING
36% GLAZING



4 EXT. ELEVATION - NW WING - OUTER FACADE
1/8" = 1'-0"
50% COVERED BY CEDAR SCREEN
50% INSECT SCREEN



2 EXT. ELEVATION - NW WING - I
1/8" = 1'-0"
60% CEMENT BOARD LAP SIDING
40% GLAZING

