



Planning Commission

Agenda

July 21, 2015

- I. Call to Order**
- II. Approval of Minutes**
- III. Other Business**
 - 1. Steve Fisher & Nick Fisher** **Growth with Trees Award**
Dream Structures - Wildwood Phase 5
- IV. Consent Agenda**
 - 1. Lots 3 & 4 Schulz Addition** **Lot Split**
1700 Southeast Moberly Lane
 - 2. Lot 18, Block 1, Smartts Addition** **Property Line Adjustment**
402 South Main Street
 - 3. Tar & DOK Development** **Large Scale Development**
2403 Southeast Cottonwood Street
 - 4. Tourmaline** **Large Scale Development Extension**
1002 Southwest 'I' Street
- V. Old Business**
 - 1. Four Wheel Concepts** **Large Scale Development**
3205 Southeast Moberly Lane
- VI. New Business**
 - 1. Jones** **Rezoning***
(R-1, Single Family Residential to R-2, Duplex & Patio Home Residential)
Oakwood Avenue
 - 2. Emerald Isle Holding, LLC** **Rezoning***
(R-1, Single Family Residential to DE, Downtown Edge)
Southwest 'B' Street & Southwest 4th Street
 - 3. Mathias Shopping Centers** **Rezoning***
(R- 1, Single Family Residential to I-1, Light Industrial)
7647 Southwest Regional Airport Boulevard
 - 4. Chinmaya Mission Northwest Arkansas** **Conditional Use***
Southeast 22nd Street

Planning Commission
Minutes
July 7, 2015

The Bentonville Planning Commission called to order at 5:00 p.m. by Rod Sanders, Chairman.

Present: Joe Haynie, Scott Eccleston, Debie Havner Jim Grider and Rod Sanders.

Absent: Greg Matteri and Richard Binns

Motion by Haynie, seconded by Grider to approve the minutes as written.

Approved 5-0

Consent Agenda:

1. Lots 3 & 4 Kennametal Subdivision
1500 & 1602 East Central Avenue
Property Line Adjustment
2. Central Investments Office
400 Southwest 'A' Street
Large Scale Development
3. Children's Academy
1002 Southwest 'I' Street
Large Scale Development Extension

Approved 5-0

New Business:

Item #1

RC Stoneburrow Subdivision: (15-09000022)Rezoning, A-1, Agricultural to R-1, Single Family Residential, Southwest River Rock Street(Stoneburrow Subdivision Ph. 1)

The applicants have requested a rezoning of lots 183-186 of Phase I of the Stoneburrow Subdivision.

Their plans are for single family dwelling units.

Opened public hearing

No public comment

Approved 5-0

Item #2

Central Investments, LLC: (15-09000023)Rezoning, I-2 Heavy Industrial to C-2, General Commercial, 1500 East Central Avenue.

The applicants have requested a rezoning in build a two-story office facility and parking.

Opened Public Hearing

No public comment

Approved 5-0

Item #3

Optimum Alliance, LLC: (15-02000009)Conditional Use, 909 West Central Avenue, Zoned C-2, General Commercial.

The applicant is requesting a conditional use permit for a temporary gravel parking area to be constructed at 909 West Central Avenue. The use of the property has recently changed from residential to office. The applicant is requesting temporary gravel be installed while she acquires and assesses potential development plans. The parking will be utilized by the current employees only. No customers visit the site. The hours of operation are from 8:00am to 5pm Monday through Friday. The conditional use shall run with the current use for a period of time not to exceed 6 months.

Motion by Eccleston, seconded by Haynie to approve with the following conditions of approval.

STANDARD CONDITIONS OF APPROVAL:

1. All technical review comments must be addressed before building permits are issued.
2. A defined edge must be placed on the gravel parking lot to help define the area.
3. The Conditional use is valid for 6 months from time of approval and shall expire January 7, 16.

Approved 5-0

Item #4

Jason Williams: (15-06000014)Large Scale Development, 3205 Southeast Moberly Lane, Zoned C-2, General Commercial.

The applicant has submitted a Large Scale Development for a 1.51 acre piece of property located at 3205 Southeast Moberly Lane. The plans as provided indicate the development of a 9,043 square feet commercial retail facility to be known as Four Wheel Concepts. Twelve parking spaces are required and 22 parking spaces are being provided of which 1 is handicap is accessible. The exterior of the building is to be constructed of Hardie panel siding, architectural concrete block and metal trim. On-site storm water detention is being provided. Water and sewer services are available to this property. John Easterling-City of Bentonville Engineering spoke on issues needed on road and drainage improvements.

Motion by Havner, seconded by Grider to Table

Tabled 5-0

Item #5

Resolution: Bicycle and Pedestrian Master Plan-2015 Update

Planning Commission Staff Report

Resolution: Bicycle and Pedestrian Master Plan – 2015 Update

TO: Bentonville Planning Commission Members
FROM: Troy Galloway, AICP, Community and Economic Development Director
Shellie Kerr, AICP, Planning Services Manager and
David Wright, Parks and Recreation Director
PC DATE: July 07, 2015

BACKGROUND

The Northwest Arkansas Regional Planning Commission (NWARPC) completed the Northwest Arkansas Regional Bicycle and Pedestrian Master Plan last fall. The plan is built upon a balanced approach to engineering, education, encouragement, enforcement, and evaluation. This approach provides a regional framework for policies, projects and programs that can be implemented at the local level. The regional plan includes Individual Community Action Plans for cities in the region, including one for Bentonville.

NWARPC has requested each city to endorse the regional plan and to update their community bicycle and pedestrian plans in accordance to the proposed Individual Community Action Plans.

PURPOSE

The purpose of this agenda item is to endorse the Northwest Arkansas Regional Bicycle and Pedestrian Master Plan and to adopt the Bentonville Bicycle and Pedestrian Master Plan – 2015 Update. Bentonville’s updated plan incorporates the recommendations in Bentonville’s Individual Community Action Plan provided in the regional plan.

PROPOSED CHANGES

The following are the key changes proposed in Bentonville’s Bicycle and Pedestrian Master Plan – 2015 Update.

Ch. 1 Introduction

- Added a purpose for the update - *Page 1.3*
- Added a description of the six E’s (Engineering, Education, Encouragement, Enforcement, Evaluation, and Equity) - *Page 1.4*

Ch. 2 Facilities

- Revised facility descriptions for consistency with the NWA Regional Plan – *Page 2.1*
- Added 2015 trail miles – *Page 2.2*
- Added North Walton trail as an existing trail to the Existing Trail Facilities table – *Page 2.3*
- Added new Existing Trails and Paths map – *Page 2.5*
- Added seven new shared roadways (these were street sections where sharrows were recently installed) to the Shared Roadways table – *Page 2.9*
- Added a new Shared Roadways map – *Page 2.11*

Ch. 3 Action Plan

- Added policies from the NWA Regional Plan – *Page 3.2*
- Revised time frames on the Implementation tables – *Pages 3.4 -3.13*
- Removed several projects that have been completed – *Pages 3.4 – 3.12*
- Added two new projects to the Implementation as shown on the NWA Regional Plan:
 - (1) Sidepath on Rainbow Road to connect to Cave Springs – *Page 3.7*
 - (2) Sidepath on Hwy 102 to connect to Centerton – *Page 3.8*
- Added a section on Evaluation to the Implementation table – *Page 3.13*
- Added a new Bicycle and Pedestrian Master Plan map – *Page 3.15*

Ch. 4 Design Standards

- Revised terms for consistency with regional plan – *Pages 4.3, 4.6, 4.11,*
- Added standards for a separate bikeway – cycle track; bicycle boulevard – *Pages 4.9, 4.10*
- Referenced use of the regional greenway wayfinding signage standards – *Page 4.30*

Changes to Master Plan Map:

Paths and Trails:

- Changed proposed Downtown Trail Extension to existing
- Changed portion of North Walton Trail from proposed to complete
- Added arrows showing proposed connections to Centerton, Rogers and Cave Springs trail systems.
- Highlighted the Razorback Greenway and Heritage Trails
- Extended 8th Street sidepath east to connect to proposed Water Tower Rd sidepath and to the west to Elm Tree Rd
- Added sidepath to Hwy 102 between SW I Street and Centerton
- Added sidepath to NW 3rd Street

Shared Roadways:

- Changed proposed shared roadways on 18th Street and Woods Creek to existing.
- Added existing shared roadways on Bright Road, Citizens Circle, and Battlefield Rd.

RECOMMENDATION

Staff recommends that Planning Commission recommend to City Council that the Bentonville Bicycle and Pedestrian Master Plan – 2015 Update be approved.

No public comment

Approved 5-0 to forward to City Council

Planners Report:

Congratulations Danielle and Beau who were promoted to Senior Planner's after passing their AICP Exams.

Houseal Lavigne will hold a combined Planning & City Council meeting on the 14th at 3:30..

Motion by Grider, seconded by Haynie to adjourn

Adjourned

Diane

Planning Commission Staff Report

Lot Split: Lots 3 & 4 Schulz Addition

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP Community Development Director
FROM: Jon Stanley, Planner
PC DATE: July 21, 2015

GENERAL INFORMATION:

Project Number: 15-05000028

Applicant: Hope Church of Northwest Arkansas

Representative: Craig Davis (ESI Consulting Engineers)

Requested Action: Lot Split Approval

Location: 1700 Southeast Moberly Lane

Existing Zoning: R-1, Single Family Residential

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a lot split for property located at 1700 Southeast Moberly Lane that resides in the R-1, Single Family zoning district. The plat as provided by the applicant indicates the creation of two new lots and will be known as Lot 3 (6.44 acres) and Lot 4 (2.94 acres) of Schulz Addition. Right-of-way is being dedicated along Southeast Moberly Lane per the master street plan. Right-of-way is also being dedicated for a future cul-de-sac to be constructed at the east end of Southeast 17th Street. A cross access easement, utility easement and drainage easement are being dedicated with the plat. Water and sewer services are available to both lots.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	R-1, Single Family Residential	Low Density Residential
South	R-1, Single Family Residential & R-O, Residential Office	Low Density Residential & Commercial
East	R-4, High Density Residential & C-2, General Commercial	Low Density Residential
West	R-1, Single Family Residential	Commercial & High Density Residential

STREETS

Direction	Name	Classification
North	-	-
South	-	-
East	Southeast Moberly Lane	Arterial
West	-	-

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: N/A.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is the location of an existing religious facility in an established commercial and residential area.

Drainage Report: A drainage report is not required for this lot split.

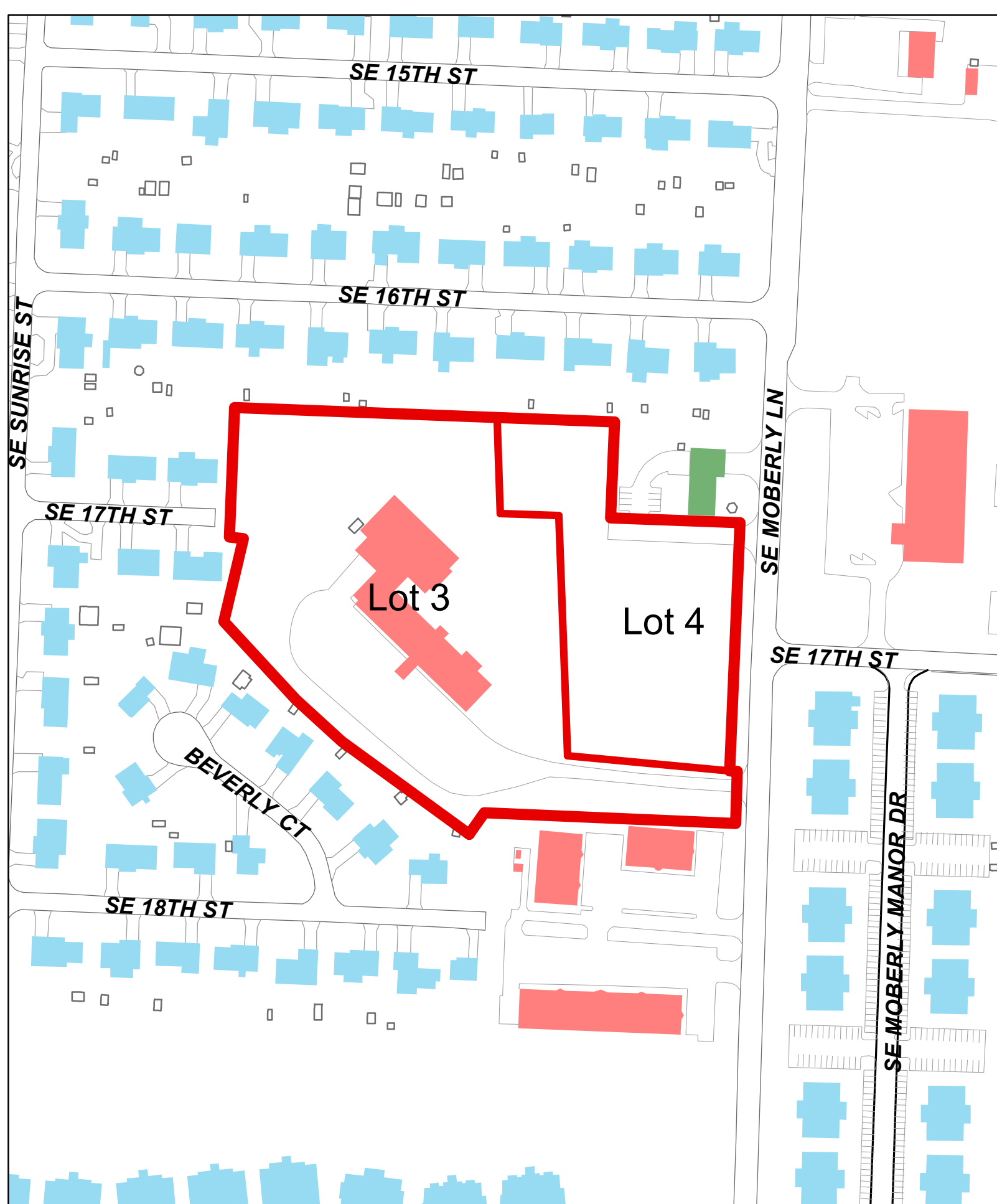
Water / Sewer: Per the G.I.S. site, water and sewer currently in use on site.

Waiver(s): N/A

Analysis / Conclusion: This lot split **DOES** meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



1 inch = 183 feet

15-05000028
Lot Split-Hope Church of Northwest Arkansas
SE Moberly Lane
Lot 1 Schulz Addition
Lot 3 6.44 Acres- Lot 4 2.94 Acres



Planning Commission Staff Report

Property Line Adjustment: Lot 18, Block 1, Smartts

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP Community Development Director
FROM: Jon Stanley, Planner
PC DATE: July 21, 2015

GENERAL INFORMATION:

Project Number: 15-07000011

Applicant: City of Bentonville

Representative: Peter Farmer (Sand Creek Engineering)

Requested Action: Property Line Adjustment Approval

Location: 402 South Main Street

Existing Zoning: R-1, Single Family Residential

Land Use Plan: Mixed Use

BACKGROUND:

The applicant has submitted a property line adjustment for property located at 402 South Main Street that resides in the DE, Downtown Edge zoning district. The plat as provided by the applicant proposes the creation of one new lot from three existing lots and will be known as Lot 18, Block 1, of Smartts Addition (0.51 acres). Right-of-way and a utility easement are both being dedicated along South Main Street. Water and sewer services are available to this location.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	DE, Downtown Edge	Mixed Use
South	DE, Downtown Edge	Mixed Use
East	DE, Downtown Edge	Mixed Use
West	DC, Downtown Core	Mixed Use

STREETS

Direction	Name	Classification
North	Southwest 4 th Street	Local
South	-	-
East	South Main Street	Collector
West	-	-

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: N/A.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is the location of the city's existing surplus storage facility in an established mixed use area of downtown.

Drainage Report: A drainage report is not required for this property line adjustment.

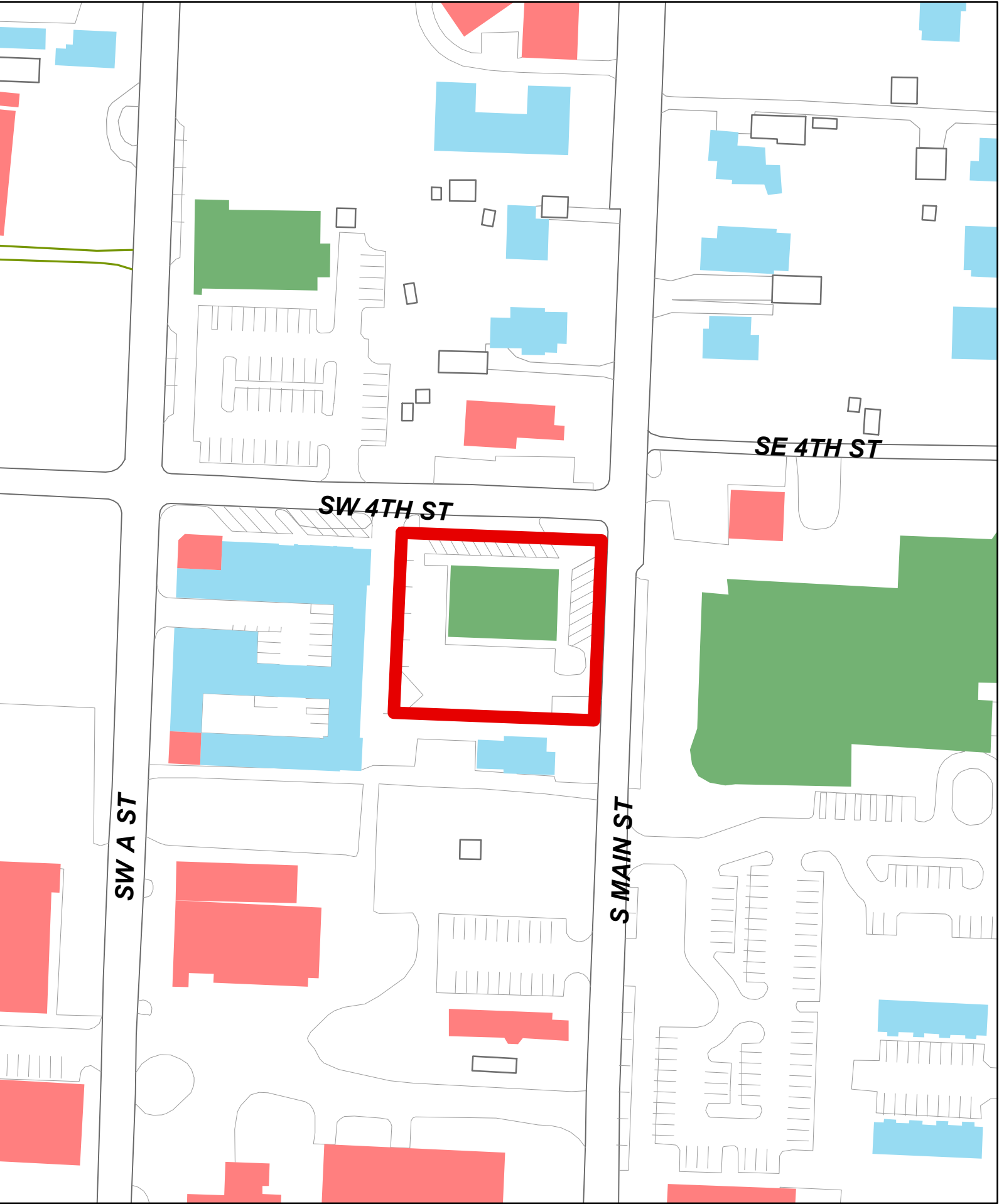
Water / Sewer: Per the G.I.S. site, water and sewer currently in use on site.

Waiver(s): N/A

Analysis / Conclusion: This property line adjustment **DOES** meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



Planning Commission Staff Report

Large Scale Development: TAR & DOK Development

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, City Planner
PC DATE: July 21, 2015

GENERAL INFORMATION:

Project Number: 15-06000016

Applicant: Cottonwood Development Company, LLC

Representative: Morrison Shipley Engineers (Kevin McClafin)

Requested Action: Large Scale Development Approval

Location: 2403 Southeast Cottonwood Street

Existing Zoning: C-1, Neighborhood Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a Large Scale Development for a 1191 acre piece of property located at 2403 Southeast Cottonwood Street. The plans as provided indicate the development of a 5,124 square feet commercial office building to be known as TAR & DOK Development. Twenty one parking spaces are required and 25 parking spaces are being provided of which 2 are handicap accessible. The exterior of the building is to be constructed of Hardie panel siding, wood siding and brick. An existing regional stormwater detention pond is being utilized to address stormwater runoff. Water and sewer services are available to this property.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front: Parking in front	50'	82'
Front: Without parking in front	20'	-
Side: Adjacent to non-residential district	7'	24' south/170' north
Side: Adjacent to residential district	15'	-
Rear: Adjacent to non-residential district	20'	41.5'
Rear: Adjacent to residential district	25'	-
Height	40'	19'
Landscape Coverage	8%	9.2%
Parking		
Standard Stalls	19	23
Handicap Stalls	2	2
Total:	21	25

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Commercial
South	C-1, Neighborhood Commercial	Commercial
East	C-1, Neighborhood Commercial	Commercial
West	C-1, Neighborhood Commercial	Commercial

STREETS

Direction	Name	Classification
North	Southeast 22 nd Street	Collector
South	-	-
East	-	-
West	Southeast Cottonwood Street	Local

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows: N/A

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently vacant in a developing commercial area.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

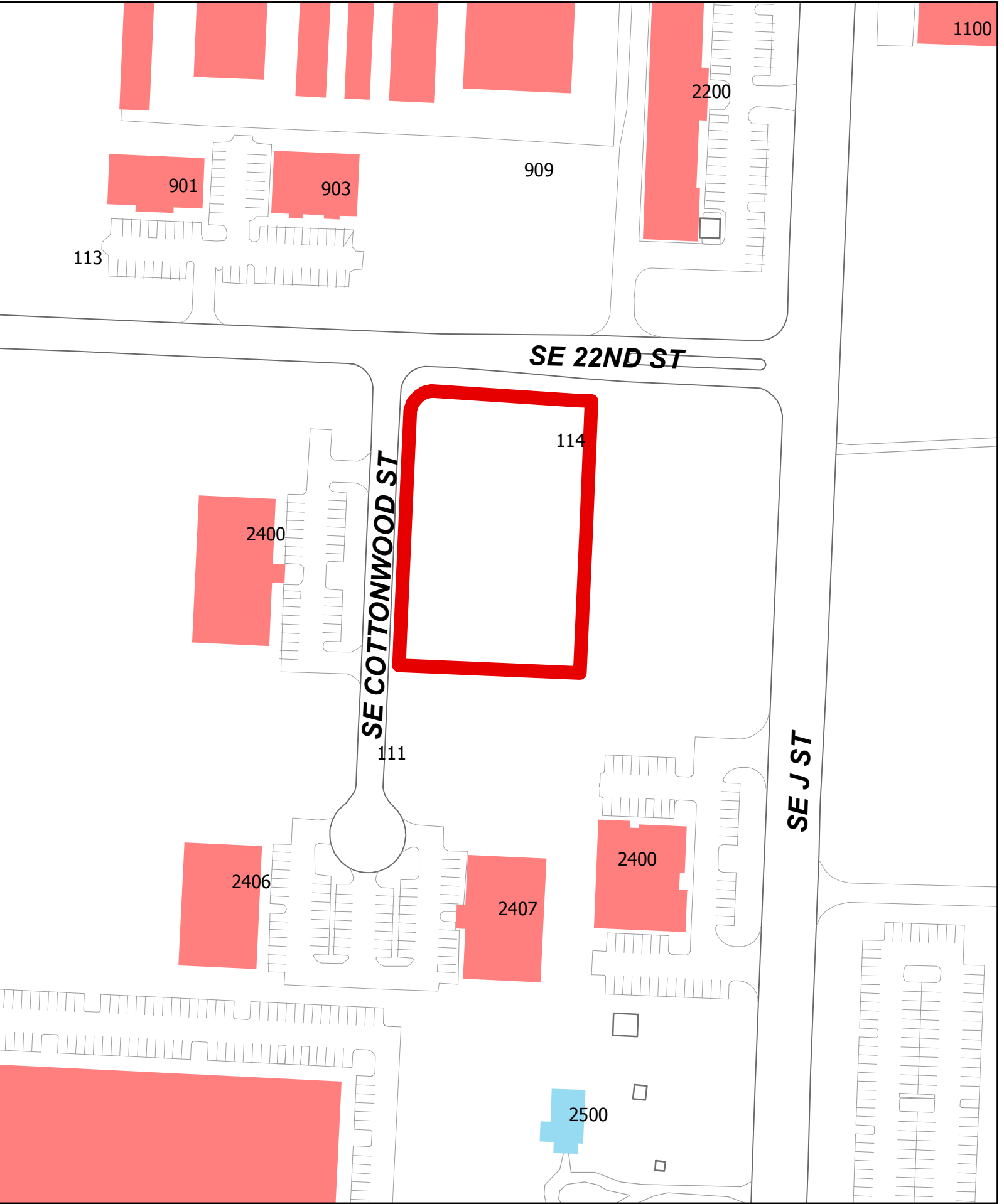
Water / Sewer: Per the G.I.S. site, water and sewer **ARE** available to this site.

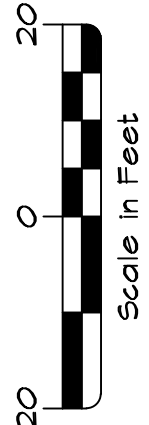
Waiver(s): N/A

Analysis / Conclusion: This large scale development **DOES** meet the minimum requirements of the subdivision regulations.

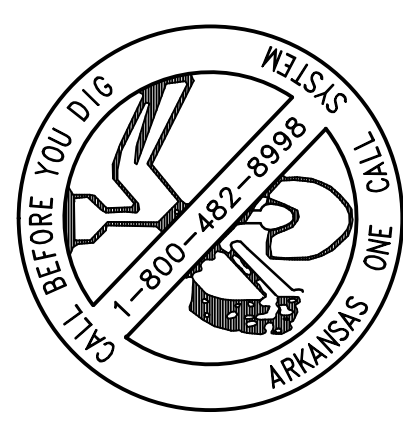
RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL** of this large scale development.





City of Bentonville
Atlas Number 445



LEGEND	
	Easement Line
	Proposed Building
	Proposed Asphalt Pavement
	6" Type "A" Conc. Curb & Gutter
	Proposed Concrete Sidewalk
	Proposed Handicap Ramps
	Proposed Fire Lane Marking Per Fire Department Requirements
	Proposed Sign, See Plan For Type
	Accessible Parking Symbol
	Utility Easement
	Access Easement
	Temporary Construction Easement
	6.5' Tall Composite Wood Screen Fence
	Property Line
	Right-of-Way Easement
	Building Setback Line
	Easement Line
	Road Centerline
	Found Rebar, As Noted
	Set Square in Concrete
	Set 1/2" Rebar, PLS 1507
	Existing Asphalt Pavement
	Existing Concrete Curb & Gutter
	Existing Concrete, As Noted
	Existing Drainage Pipe
	Existing Drainage Manhole
	Existing Electric Transformer
	Existing Electric Pedestal
	Telephone Pedestal
	Existing Water Valve
	Existing Fire Hydrant
	Existing Water Meter

BOUNDARY DESCRIPTION:

Lot 16 Of Cottonwood Village Phase II To The City Of Bentonville, Benton County, Arkansas, Subject To All Easements And Restrictions As Shown On Plat Record 2004, Pages 73 and 74, Filed On 01-21-2004

Site General Notes:

1. The Contractor Shall Be Solely And Completely Responsible For Conditions Of The Job Site, Including Safety Of All Persons And Property During All Phases Of Construction Of This Site. This Requirement Shall Apply Continuously And Shall Not Be Limited To Construction Working Hours.
2. It Is The Contractor's Responsibility To Take All Precautions Necessary To Avoid Property Damage To Adjacent Properties During The Construction Phases Of This Project.
3. All Dimensions, Unless Otherwise Noted, Are To The Face Of Curb, Face Of Building, Edge Of Pavement, Or Centerline Of Stripe.
4. Contractor Shall Coordinate And Comply With All Utility Companies Involved In Project And Pay All Required Fees And Costs.
5. Unless Otherwise Noted, All Curb Shall Be 6" Type "A" Concrete Curb And Gutter. Refer To Detail Sheets.
6. See Architectural Plans For Exact Building Dimensions and Layout.
7. Proposed Sidewalks Shall Be A Minimum Of 5' Wide Unless Otherwise Noted.
8. Refer To MEF Plans For Proposed Parking Lot Lighting Locations And For Pole, Pole Footing, And Pole Fixture Details.
9. Refer To Architectural Plans For Details Of The Proposed Monument Sign.
10. All Construction Shall Conform To The City Of Bentonville Development Regulations.
11. All Signage, Pavement Markings, And Striping Shall Conform To The Manual Of Uniform Traffic Control Devices (MUTCD) Standards And Regulations.
12. Contractor Must Obtain A Permit Prior To Performing Work Within City Right-Of-Way. All Construction In Said Right-of-Way Shall Be In Accordance With City Details And Specifications.
13. All Outdoor Lighting Shall Have "Cut-Off" Fixtures In Accordance With The City Of Bentonville Requirements.
14. The Proposed Community Design Features For This Project Are A Dero Sverve Bike Rack And Two Patio Benches (Victor Stanley, Inc. Classic Series CR-138 6' Bench (Color-Black) Or Approved Equal).
15. No Dumpster Or Dumpster Enclosure Is Proposed For This Site As A Part Of This Project. The Proposed Method Of Solid Waste Disposal Will Be Curb-Side Pick Up.
16. There Is Currently No Parking Lot Light Poles Proposed For This Site.
17. All Mechanical Equipment (Roof And Ground Mounted) Shall Be Screened On All Sides By Similar Materials As The Building.

Site Zoning: C-1 Neighborhood Commercial					
C-1 - Minimum Building Setback Requirements					
Front		Side		Rear	
Parking In Front	No Parking In Front	Adjacent To Non-Residential	Adjacent To Residential	Adjacent To Non-Residential	Adjacent To Residential
50'	20'	7'	15'	20'	25'

PARKING SUMMARY			
Description	Parking Requirement	Spaces Required	Spaces Provided
Proposed Building (45,124 Sq. Ft.)	1 Sp. Per 250 Sq.Ft.	21*	25*
HC Accessible Spaces	2 Space Per 26-50 Spaces	2	2

* Includes HC Accessible Spaces

MORRISON

SHIPLEY

ENGINEERS • SURVEYORS

2407 SE Cottonwood Street • Bentonville, AR 72712 • 479.273.2208 • morrisonshipley.com

Revision

By

Date

Per City Of Bentonville Tech Review Comments

KDM

07.06.15

TAR&DOK DEVELOPMENT

2403 S.E. Cottonwood Street

Bentonville, Benton County, Arkansas

FOR REVIEW

Drawn By: KDM

Approved By: JRW

Date: 06.15.15

Project No: T1M-10

Vertical Scale: -

Horizontal Scale: 1" = 20'

Plotting Scale: 1

Drawing Name: Dimension

SITE DIMENSION PLAN

Issued for Review – 07.06.15

Revision	By	Date
Per City Of Bentonville Tech Review Comments	KDM	07.06.15

MORRISON

SHIPLEY

ENGINEERS • SURVEYORS

2407 SE Cottonwood Street • Bentonville, AR 72712 • 479.273.2208 • morrisonshipley.com

Revision

By

Date

Per City Of Bentonville Tech Review Comments

KDM

07.06.15

TAR&DOK DEVELOPMENT

2403 S.E. Cottonwood Street

Bentonville, Benton County, Arkansas

FOR REVIEW

Drawn By: KDM

Approved By: JRW

Date: 06.15.15

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Vertical Scale: -

Horizontal Scale: 1" = 20'

Plotting Scale: 1

Drawing Name: Dimension

SITE DIMENSION PLAN

Issued for Review – 07.06.15

Drawn By:	KDM
Approved By:	JRW
Date:	06.15.15
Project No:	T1M-10

TAR&DOK DEVELOPMENT

2403 S.E. Cottonwood Street

Bentonville, Benton County, Arkansas

FOR REVIEW

Drawn By: KDM

Approved By: JRW

Date: 06.15.15

Project No: T1M-10

Vertical Scale: -

Horizontal Scale: 1" = 20'

Plotting Scale: 1

Drawing Name: Dimension

SITE DIMENSION PLAN

Issued for Review – 07.06.15

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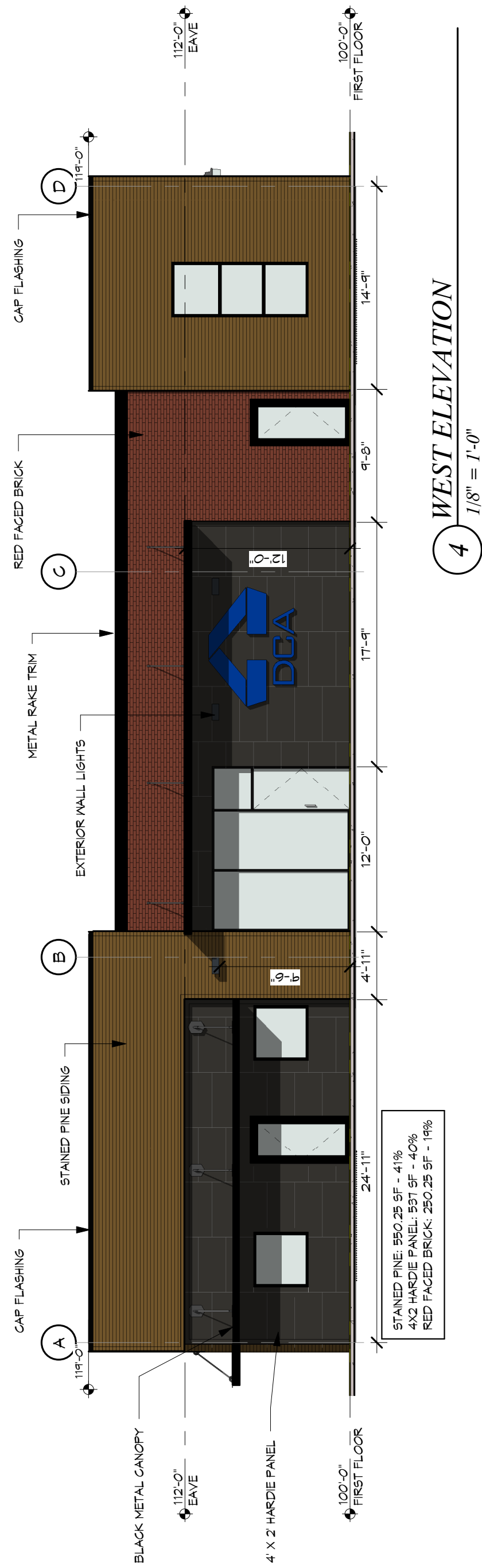
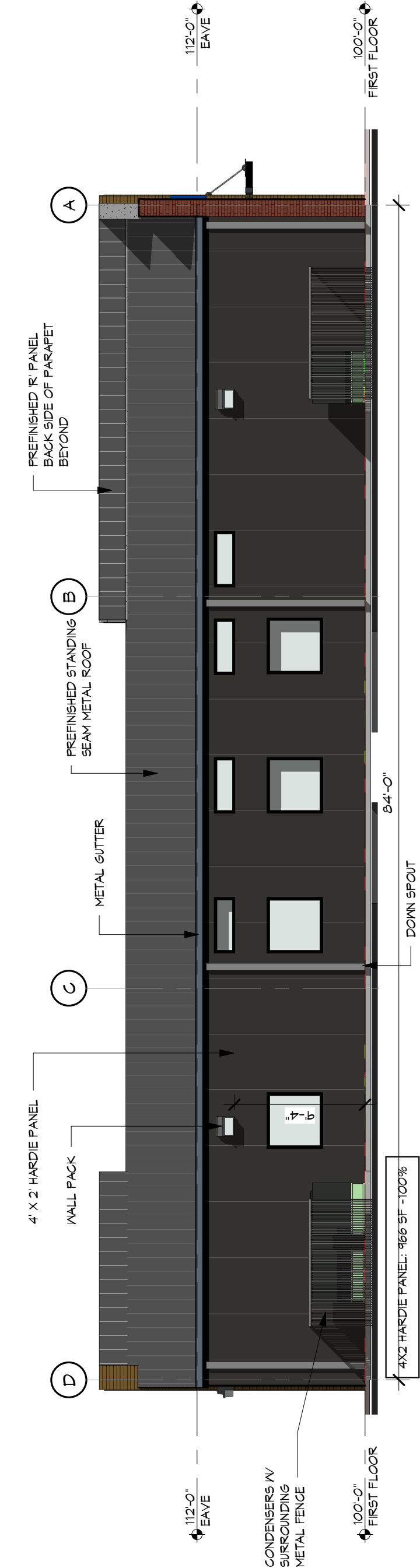
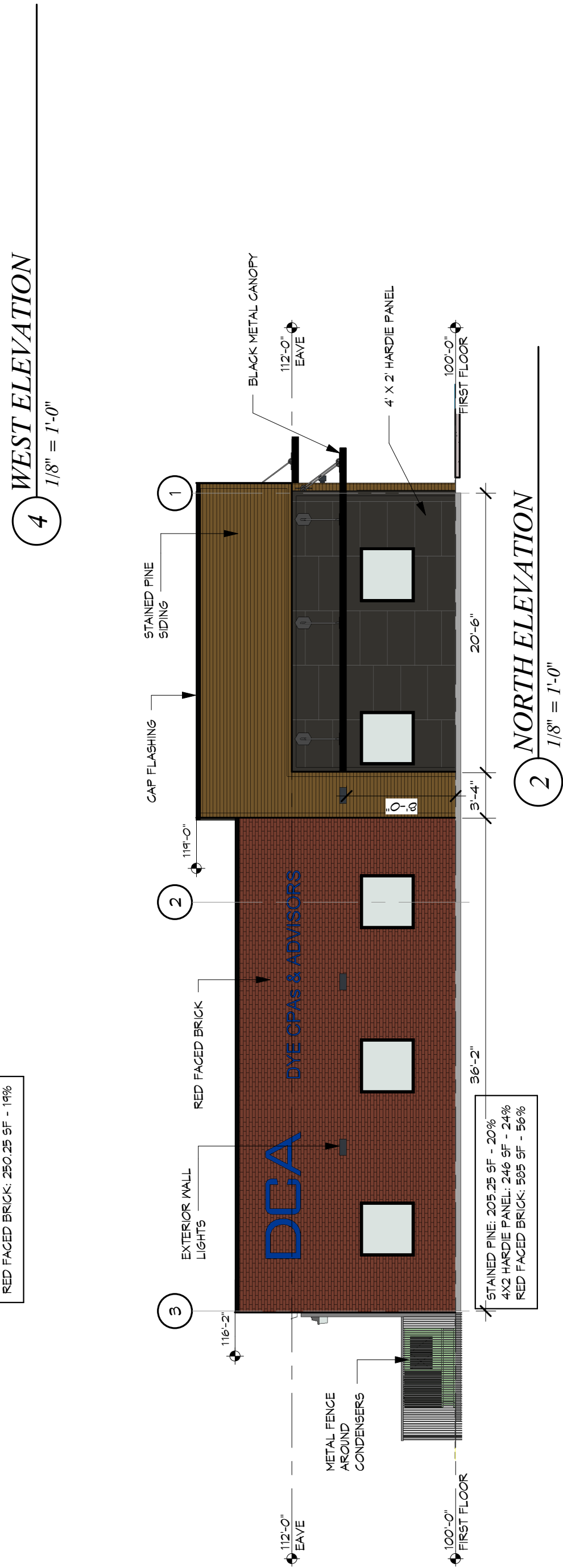
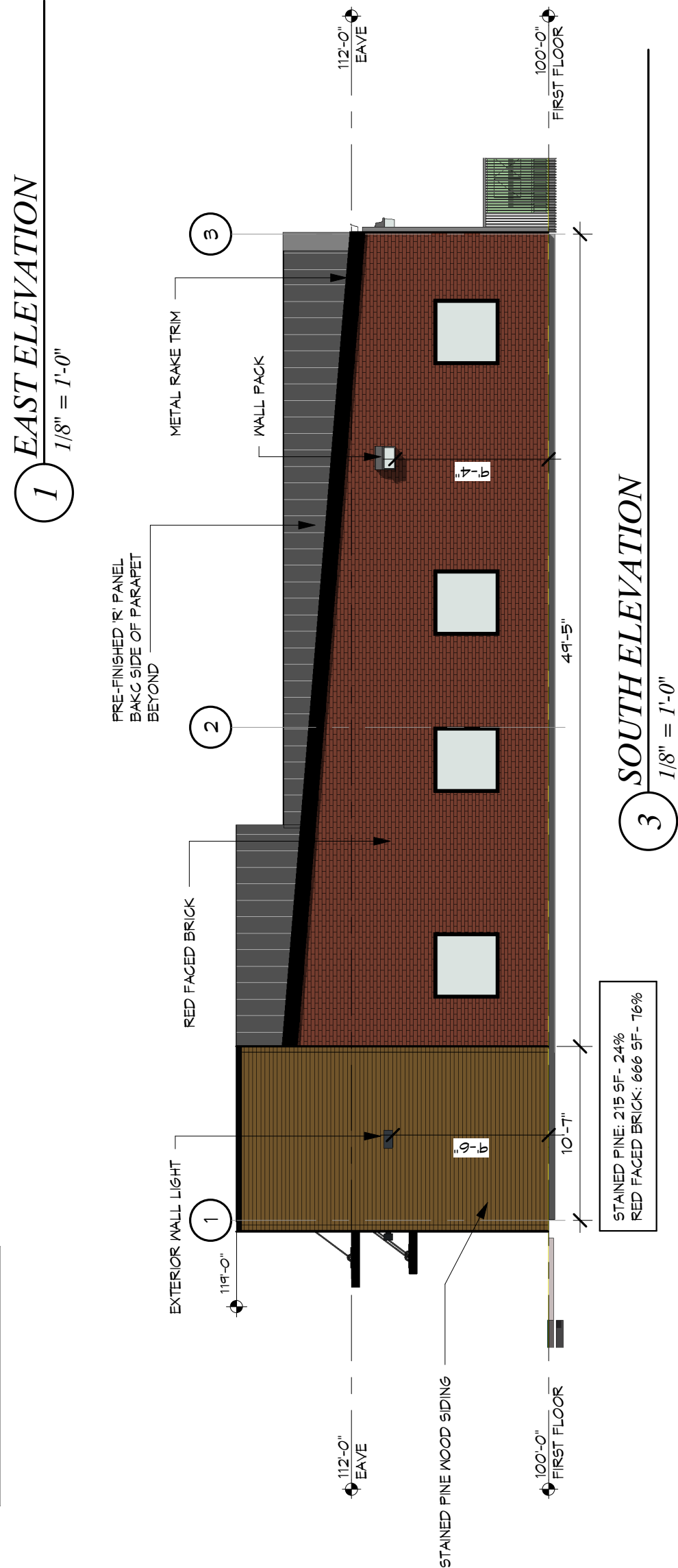
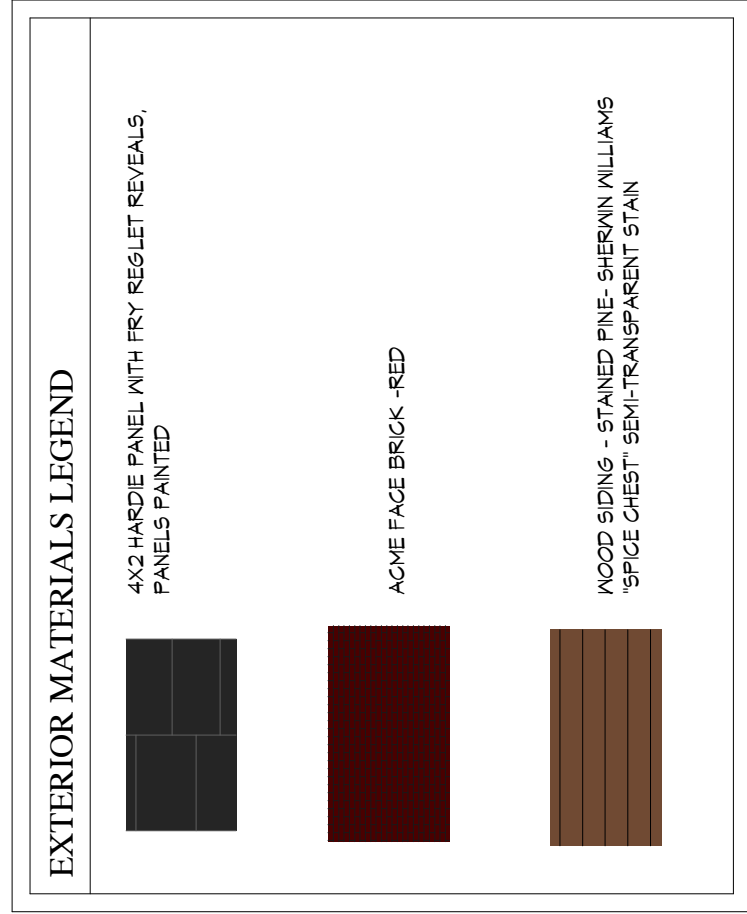
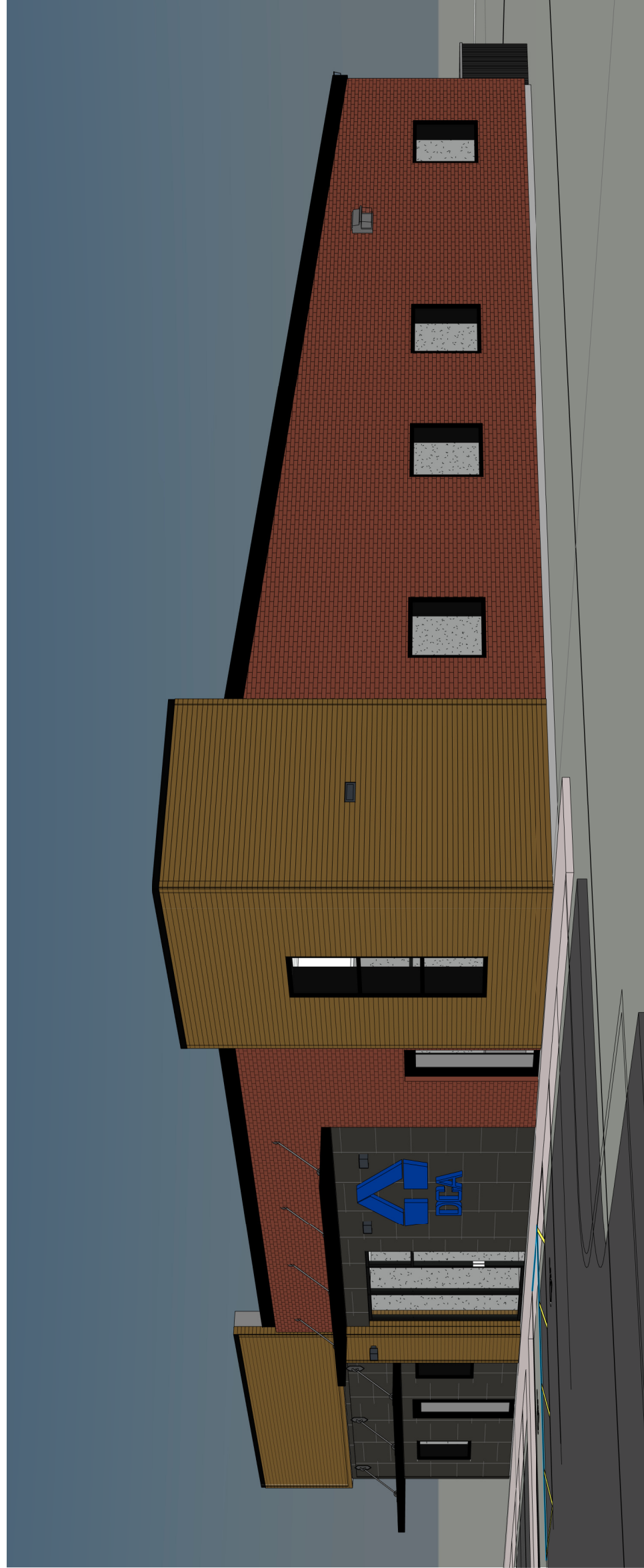
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11

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SITE DIMENSION PLAN

Issued for Review – 07.06.15



Planning Commission Staff Report

Large Scale Development Extension: Tourmaline Urban Lofts

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, City Planner
PC DATE: July 21, 2015

GENERAL INFORMATION:

Project Number:

Applicant: Picture Real Estate Development Corporation

Representative: Caitlin Kelly

Requested Action: Large Scale Development Extension

Location: 501 Southeast 'D' Street

Existing Zoning: PRD, Planned Residential Development

Land Use Plan: Downtown Mixed Use Residential

BACKGROUND:

The applicant has submitted a Large Scale Development Extension for a project located at 501 Southeast 'D' Street to be known as Tourmaline Urban Lofts. The PRD would entail 0.86 acres and would consist of 5 clusters with 3 units in each cluster for a total of 15 single family semi-attached townhomes ranging in size from 1910 to 2027 square feet and would be for individual sale.

The majority of the exterior wall area for each building will be constructed of Board & Batten (Hardiepanel & Hardieplank) Siding, Rusted Corten Steel and Perforated Metal and fiberglass windows. Each home will share a common architectural theme and will comply with the City's Commercial Design Standards.

Access to the rear of the property will be achieved by the construction of a 20' alley along the north of the development that will then extend to the south and connect with Southeast 6th Street. Curb and Gutter will also be added to Southeast 'D' Street.

Within the property 20% of the project area will be an "edible landscape" that will consist of fruits and nuts that are native to this region as well as a commons area that is accessible to the general public and a rainwater collection system that will be used to provide irrigation for the vast array of landscaped areas.

Underground Detention is being proposed with this development. Water stored in the detention basin will be used for irrigation when available.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front:	0'	0'
Side Interior:	0'	0'
Side Exterior:	7.5'	7.5'
Rear:	0' & 4'	0' and 4'
Height	40'	40'
Landscape Coverage	15%	20%
Parking		
Standard Stalls	2 per Unit	30

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	Public & C-1, Neighborhood Commercial	Mixed Use
South	R-3, Medium Density Residential	Downtown Mixed Use Residential
East	R-3, Medium Density Residential	Downtown Mixed Use Residential
West	R-1, Single Family Residential	Downtown Mixed Use Residential

STREETS

Direction	Name	Classification
North		
South		
East		
West	Southeast 'D' Street	Local Street

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently the location of a 4plex in a redeveloping area of downtown.

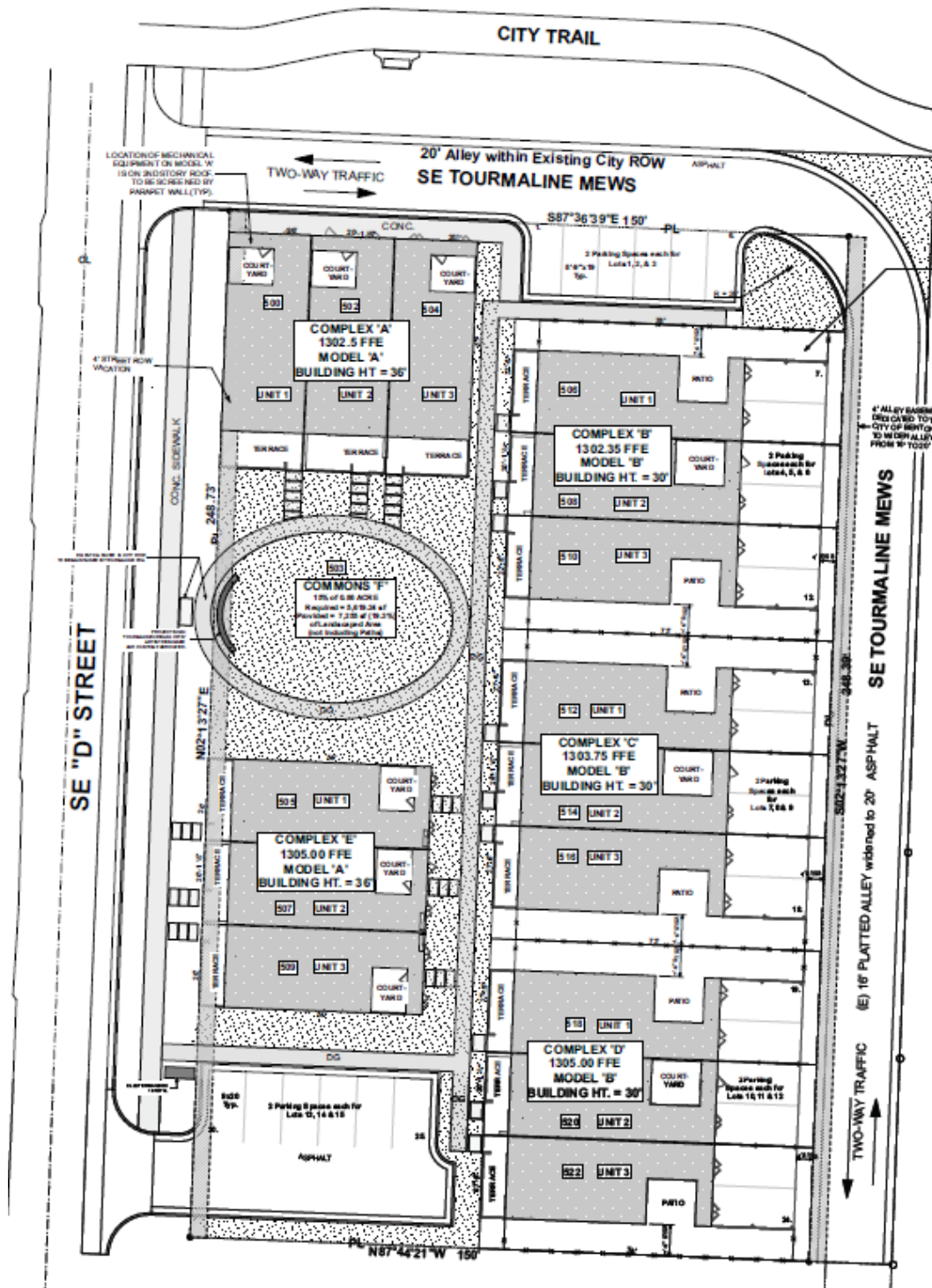
Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

Water / Sewer: Per the G.I.S. site, water and sewer ARE available to this site.

Analysis / Conclusion: This large scale development DOES meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

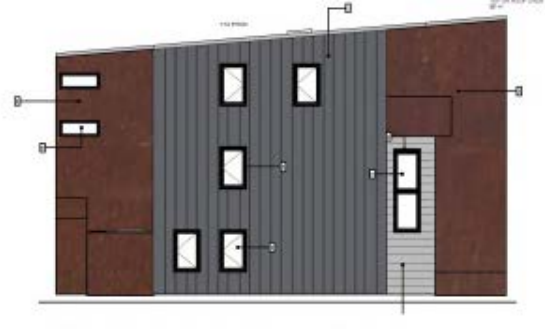
Staff has reviewed this application and recommends APPROVAL.





FRONT ELEVATION MODEL 'A'

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION MODEL 'A'

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION MODEL 'A'

SCALE: 1/8" = 1'-0"



FRONT ELEVATION MODEL 'B'

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION MODEL 'B'

SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION MODEL 'B'



REAR ELEVATION MODEL 'B'

Planning Commission Staff Report

Large Scale Development: Four Wheel Concepts

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, City Planner
PC DATE: July 21, 2015

GENERAL INFORMATION:

Project Number: 15-06000014

Applicant: Jason Williams

Representative: Civil Design Engineers (Ferdi Fourie)

Requested Action: Large Scale Development Approval

Location: 3205 Southeast Moberly Lane

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a Large Scale Development for a 1.51 acre piece of property located at 3205 Southeast Moberly Lane. The plans as provided indicate the development of a 9,043 square feet commercial retail facility to be known as Four Wheel Concepts. Twelve parking spaces are required and 22 parking spaces are being provided of which 1 is handicap is accessible. The exterior of the building is to be constructed of Hardie panel siding, architectural concrete block and metal trim. On-site storm water detention is being provided. Water and sewer services are available to this property.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front: Parking in front	50'	76'
Front: Without parking in front	20'	-
Side: Adjacent to non-residential district	7'	11'
Side: Adjacent to residential district	30'	-
Rear: Adjacent to non-residential district	20'	42'
Rear: Adjacent to residential district	30'	-
Height	40'	18'
Landscape Coverage		10%
Parking		
Standard Stalls	11	21
Handicap Stalls	1	1
Total:	12	22

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Commercial
South	C-2, General Commercial	Commercial
East	C-2, General Commercial	Commercial
West	C-2, General Commercial	Commercial & Industrial

STREETS

Direction	Name	Classification
North	-	-
South	-	-
East	-	-
West	Southeast Moberly Lane	Arterial

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows: N/A

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently vacant in an established commercial area.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

Water / Sewer: Per the G.I.S. site, water and sewer ARE available to this site.

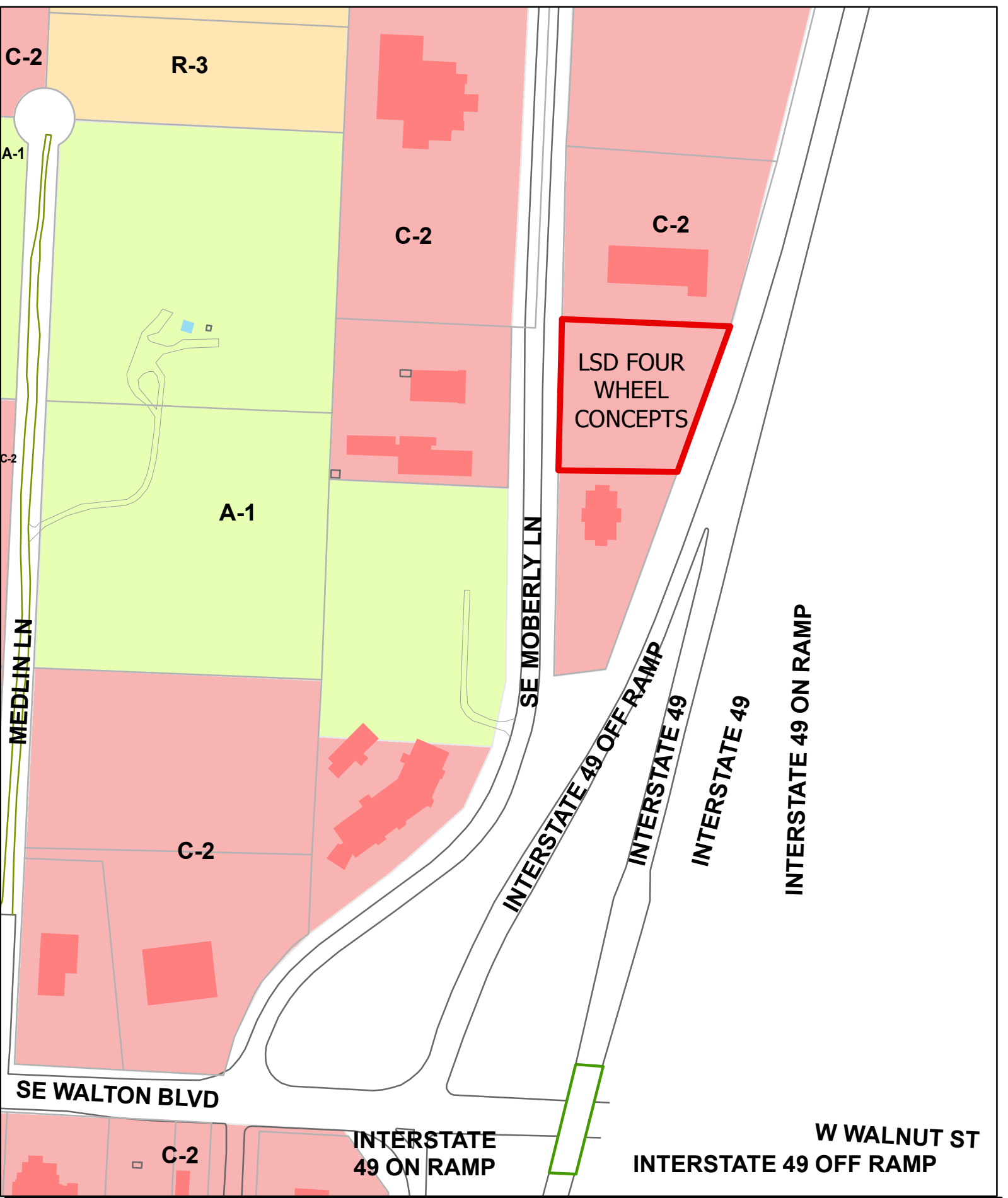
Waiver(s): The applicant has submitted 1 waiver request:

- o **Waiver to Direct Access to Substandard Streets Requirements:** (Art 1200, Sec 1200.2.B) Ordinance states that when a proposed subdivision has direct access to, or fronts on, an existing road or street which is below current standards, the subdivider shall be responsible for contributing his proportionate share of the cost of improving said street or road to the existing city standards. (See attached waiver request letter provide by the applicant.)

Analysis / Conclusion: This large scale development **DOES NOT** meet the minimum requirements of the subdivision regulations due to the waiver request.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL** of this large scale development.





July 10, 2015

Planning Commission
City of Bentonville
305 Southwest A street
Bentonville, AR 72712

Ferdinand Fourie, P.E.
Project Manager
4847 Kaylee Avenue-Suite A
Springdale, Arkansas 72762
479.381.1066 Telephone
479.872.7118 Facsimile

**Re: Request for Waiver of Offsite Street Improvements
Four Wheel Concepts
Large Scale Development #15-06000014**

Please accept this as a request for waiver of Article 1200 of the Subdivision Code for Off-Site Improvements.

This project is located along Moberly Lane which is designated as a proposed Arterial street with 90-foot right-of-way on the current Master Street Plan.

The project is located on a relative small property of 1.51 acres with only 267-feet of street frontage located more or less at the sag point of the vertical alignment for Moberly Lane where two 45-inch by 30-inch elliptical reinforced concrete culverts crosses the street. These culverts convey drainage from the east side of I-49 that runs through the site in an existing ditch.

We are basing this request on the fact that the street frontage is relatively short and that the addition of a widened section with transitions may create confusion to motorists in the unexpected change of road width.

Additionally adding curb and gutter would block street drainage and cause severe ponding along this road since the longitudinal slope of this street is virtually none.

No street improvements have been completed along the east side of the road.

This project will not add significant traffic to Moberly Lane which would cause street improvements to be required.

The applicant proposes to dedicate right-of-way along the property in accordance with the Master Street Plan. This amounts to a dedication of 14-feet of property along this street frontage.

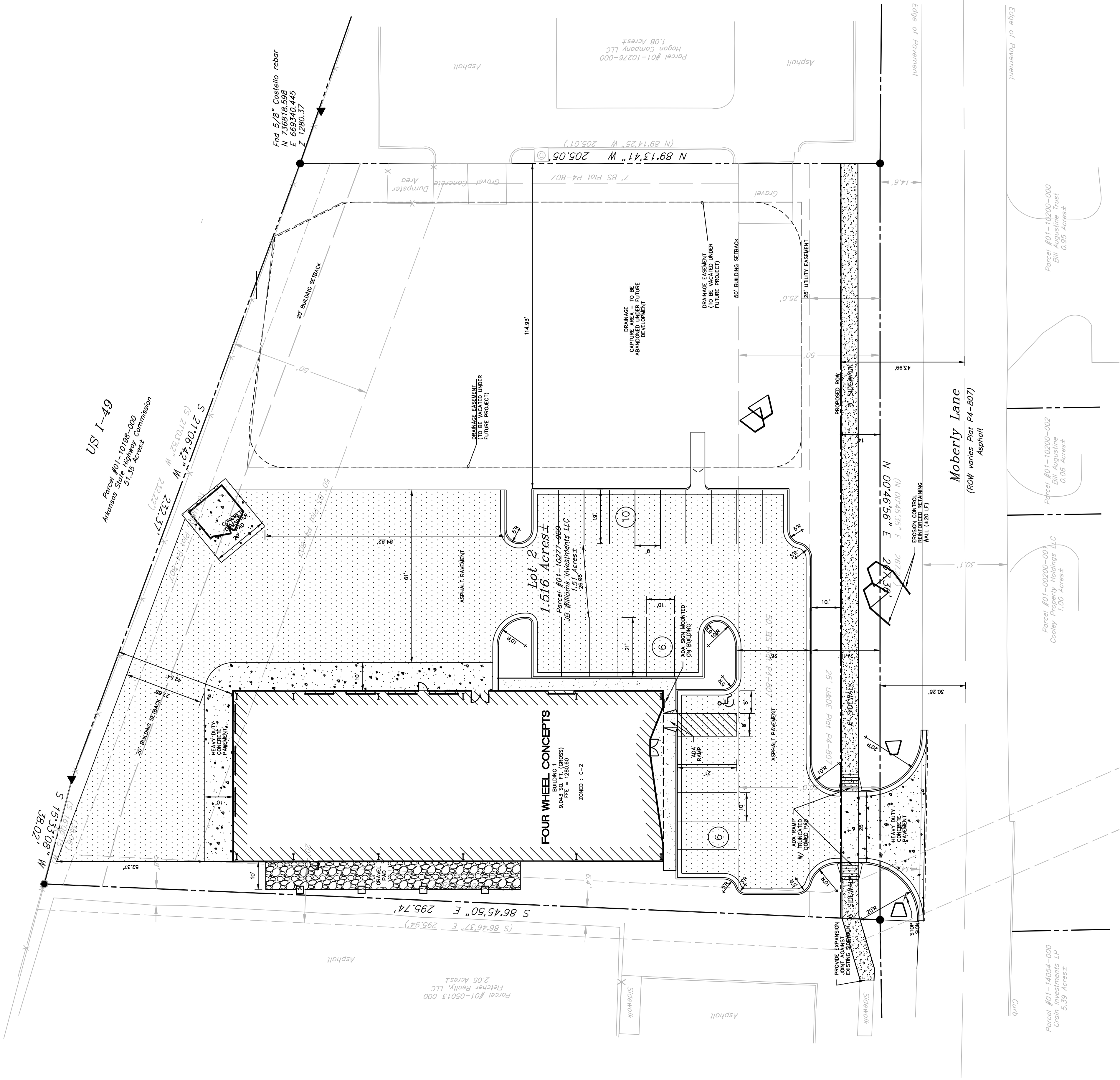
Attached is an aerial of the area with the proposed Site Plan superimposed.

Please let me know if you have any questions.

Thank you,

Ferdi Fourie, P.E.
Project Manager
FF/FF

FLOOD ZONE CERTIFICATION:
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN AN ESTABLISHED 100-YEAR FLOODPLAIN, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS AND INCORPORATED AREAS.
MAP NUMBER: 0500700260K
EFFECTIVE DATE: JUNE 5, 2012



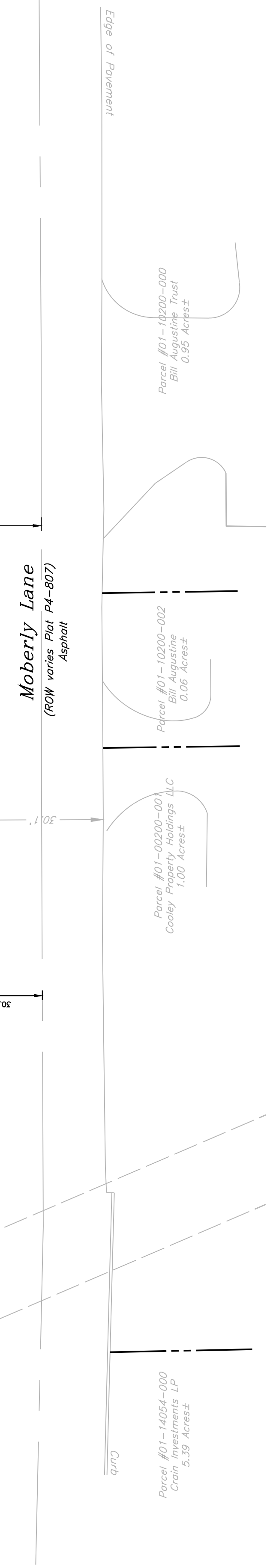
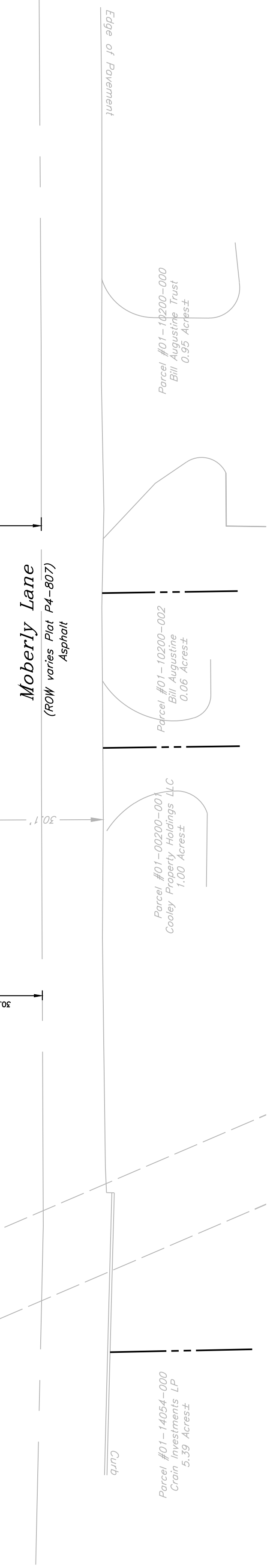
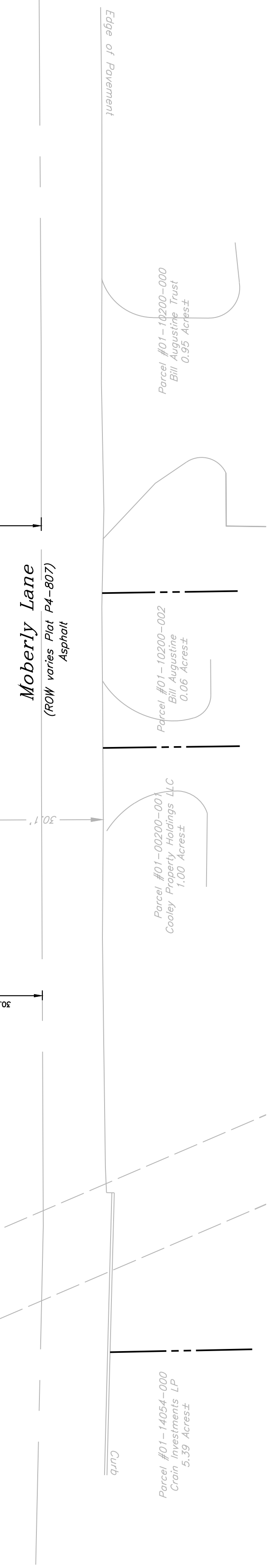
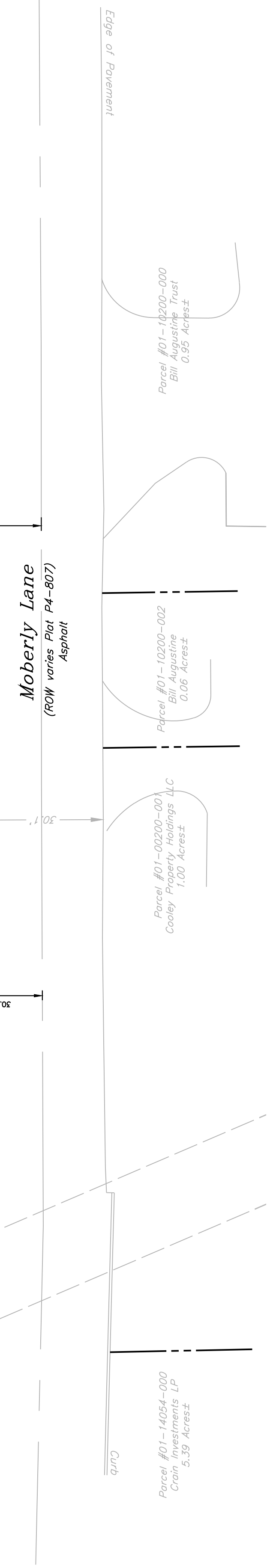
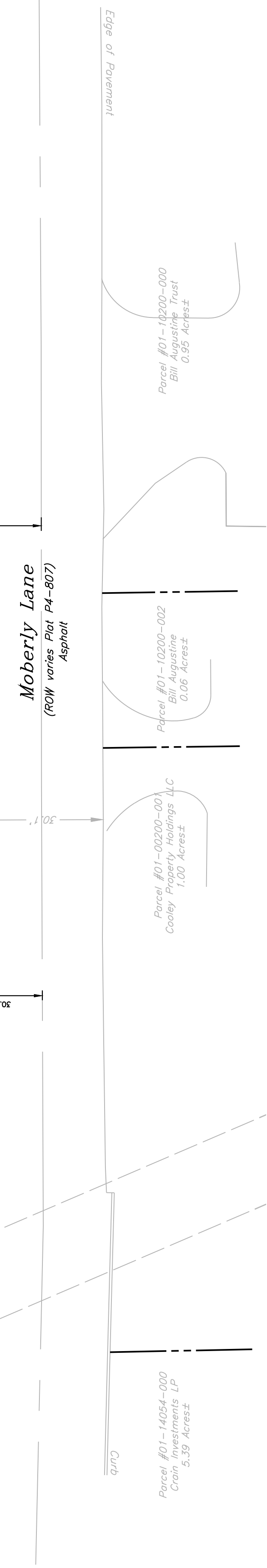
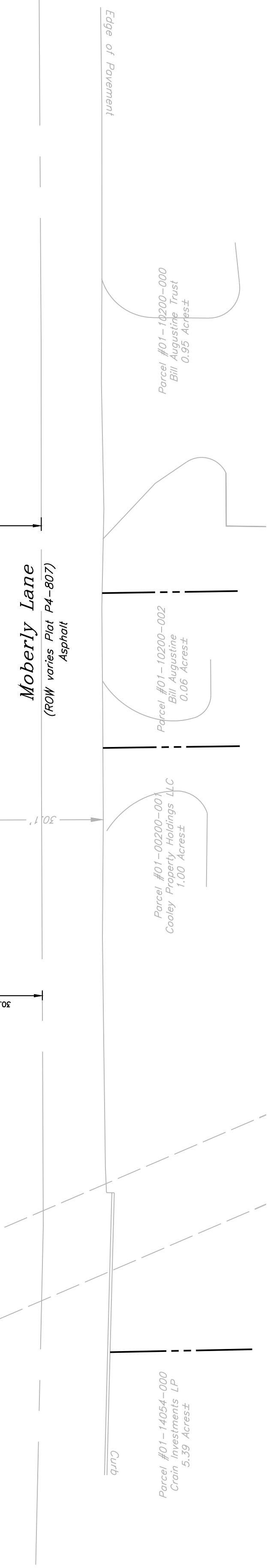
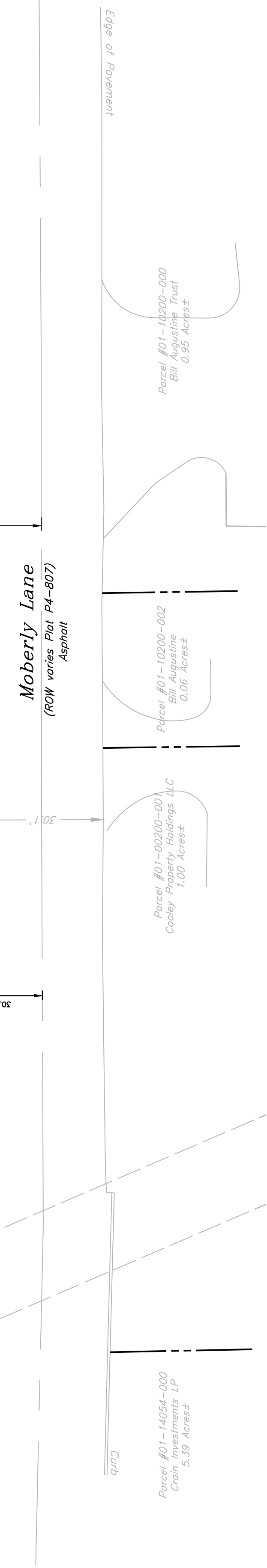
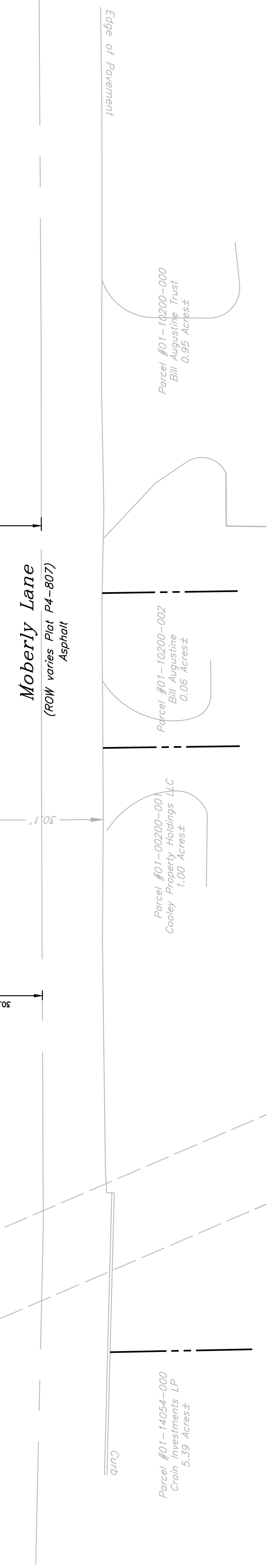
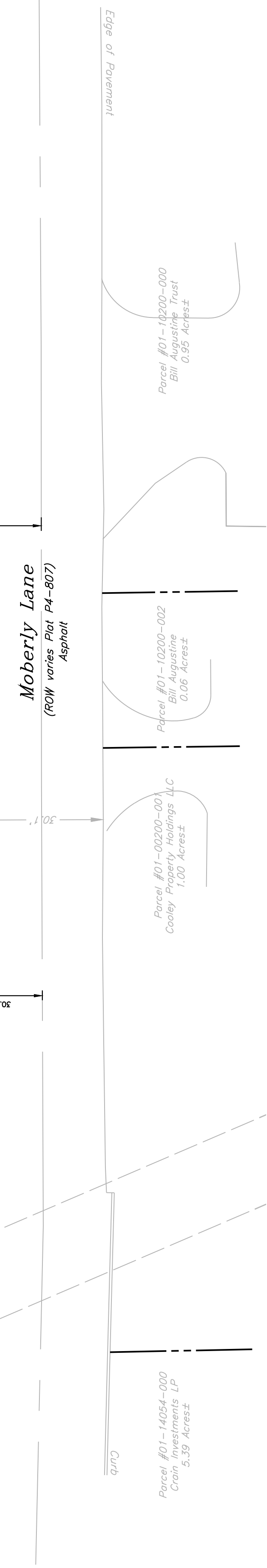
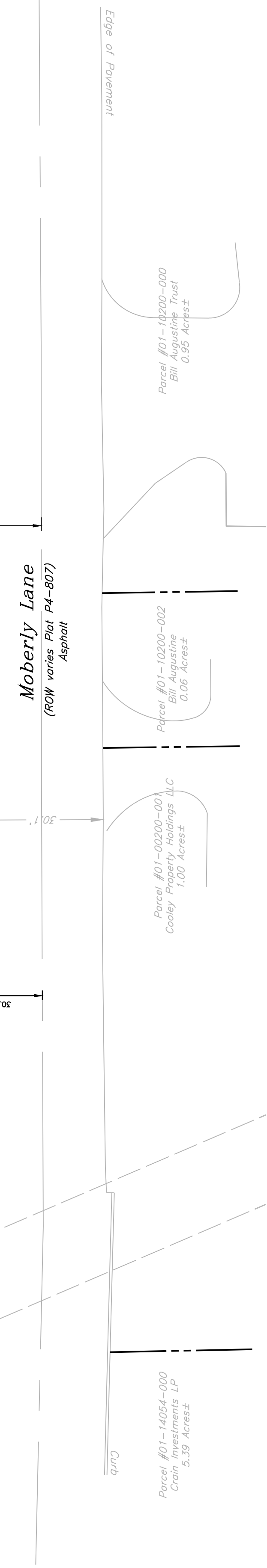
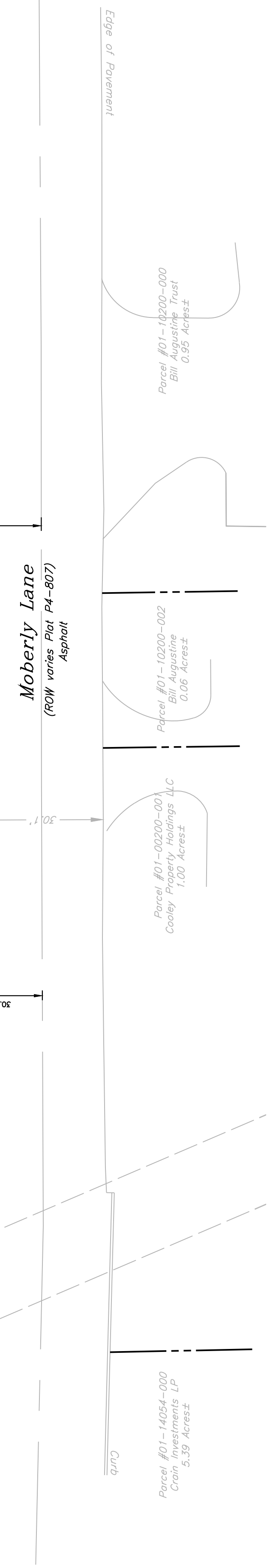
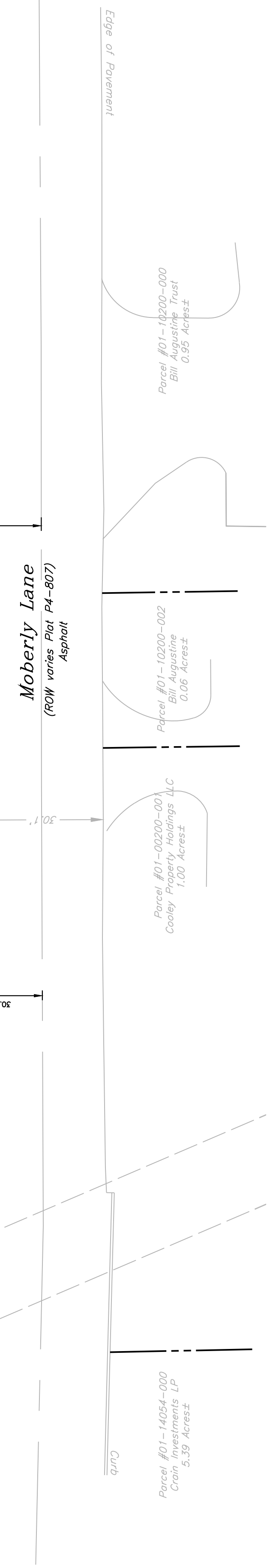
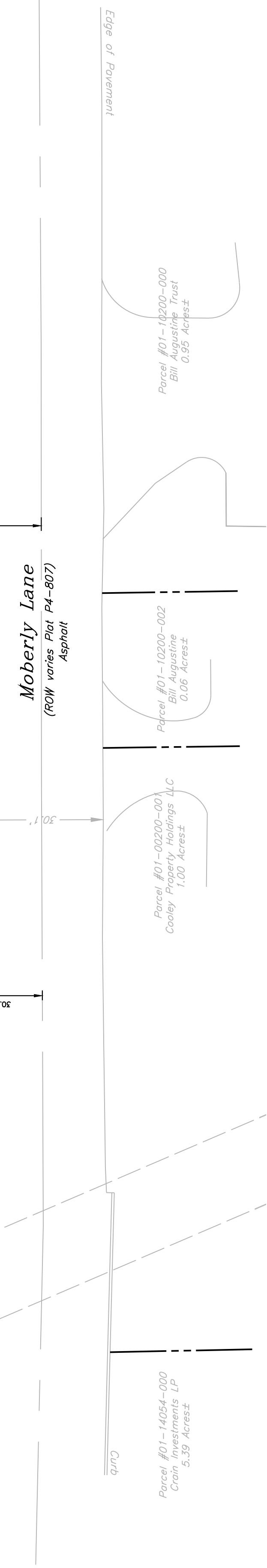
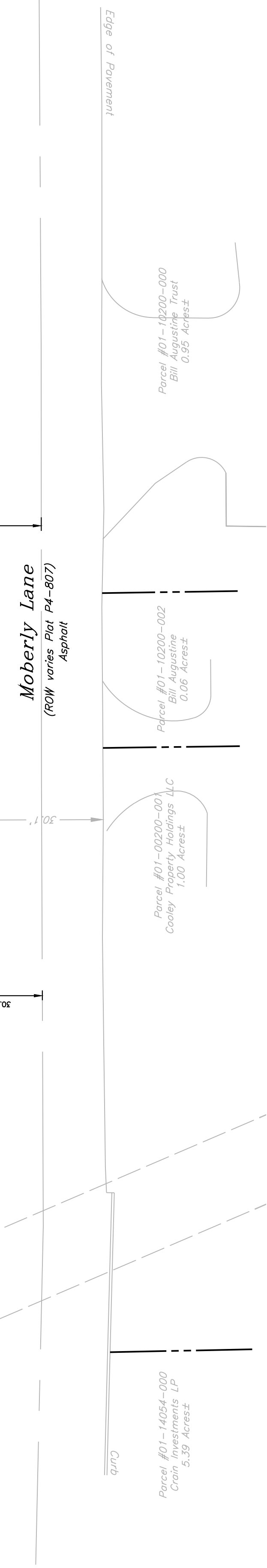
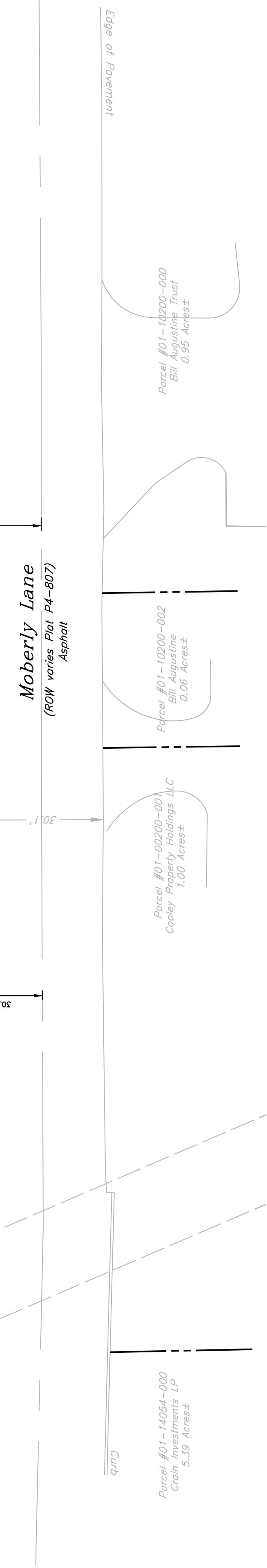
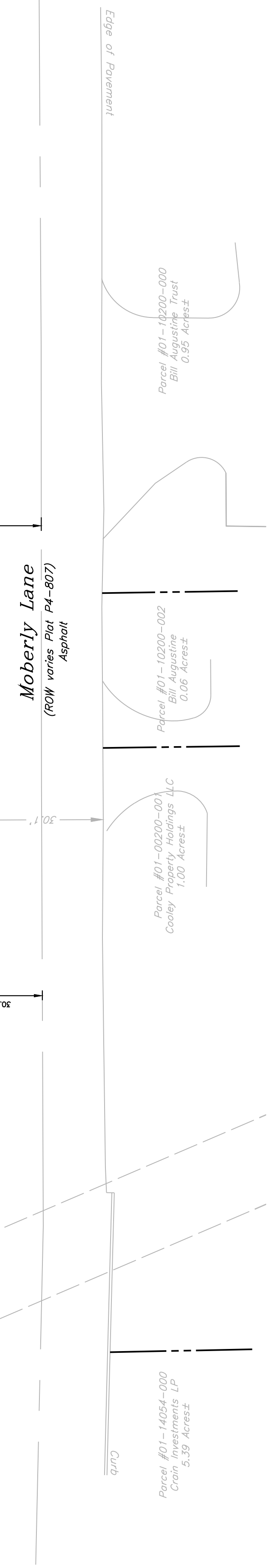
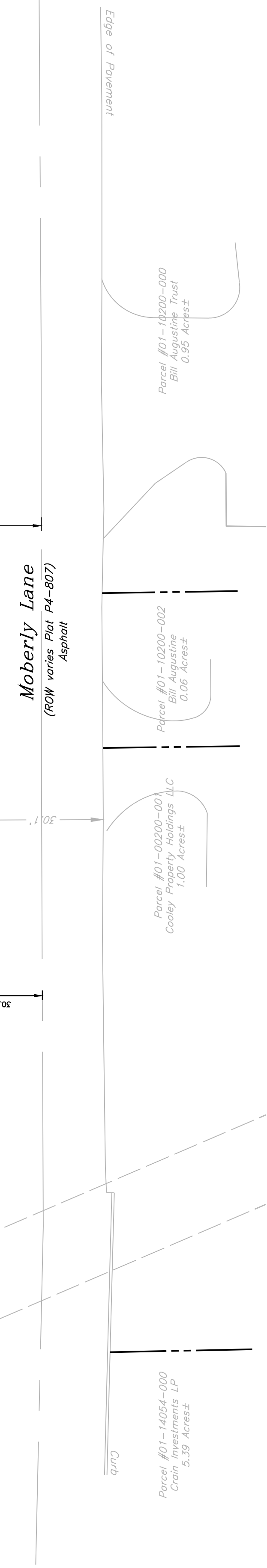
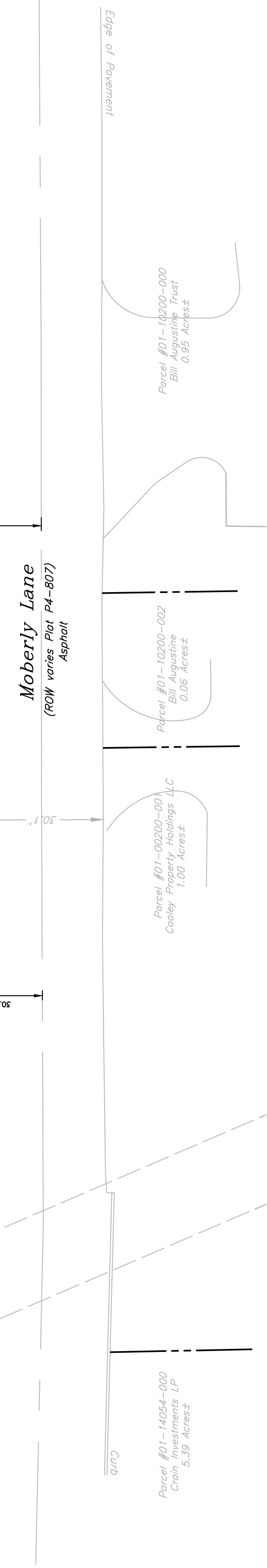
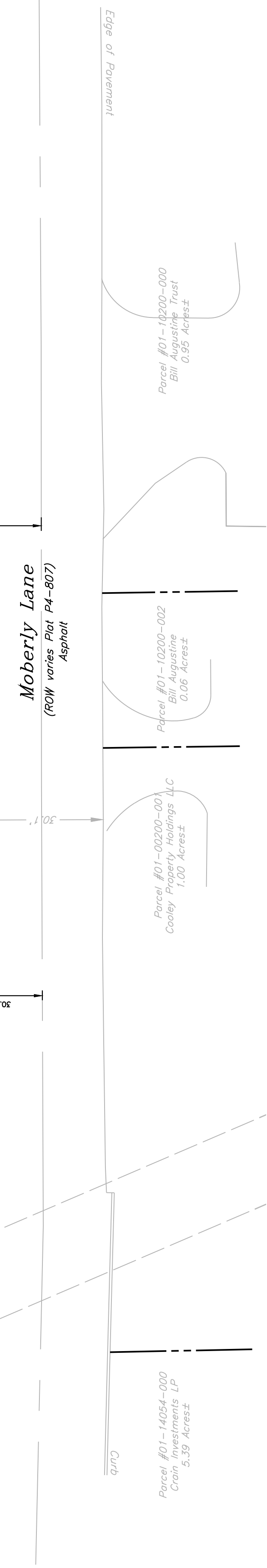
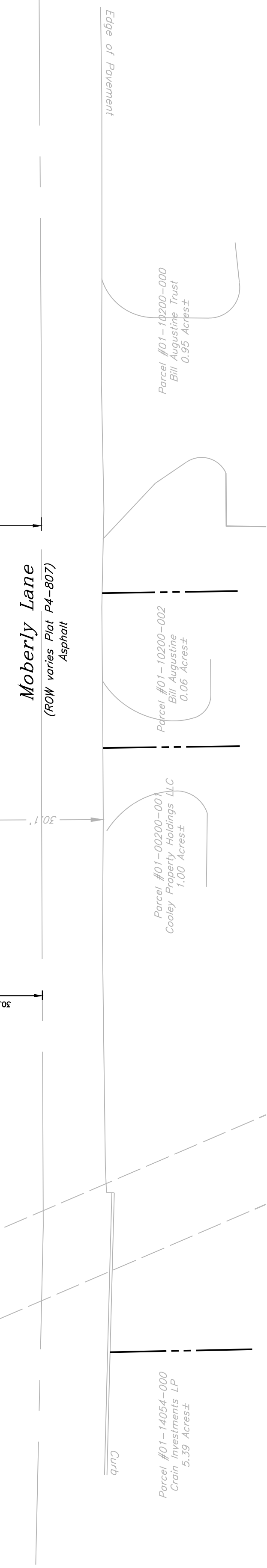
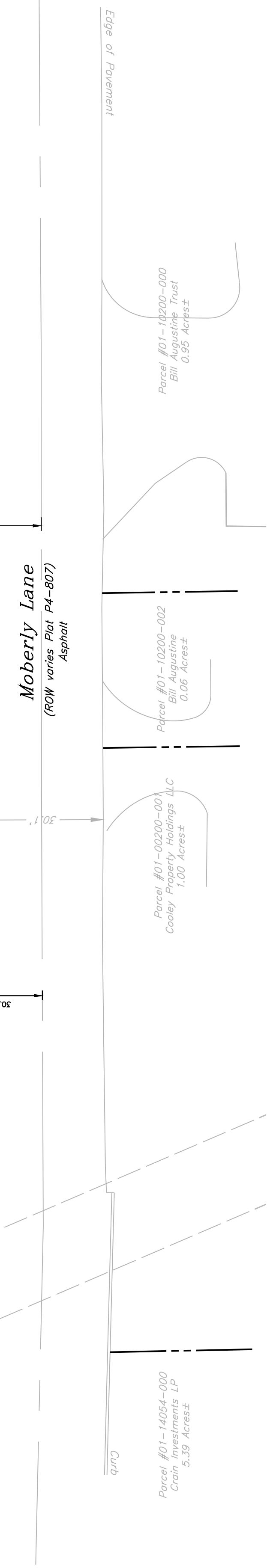
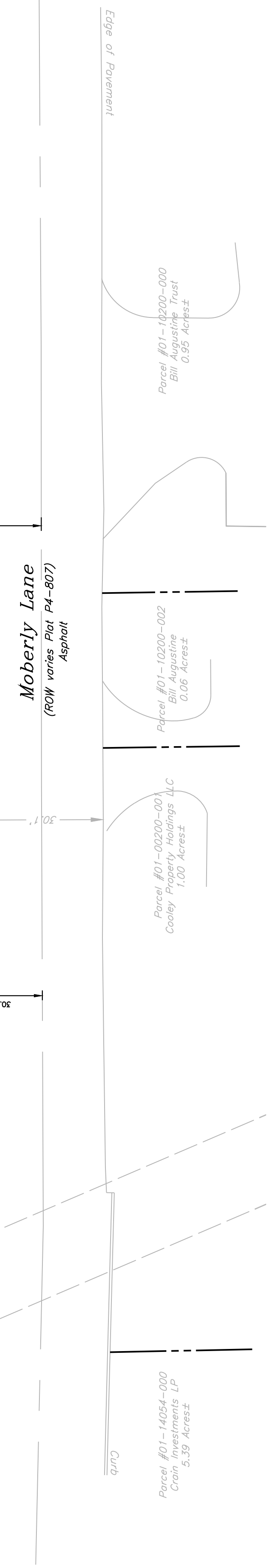
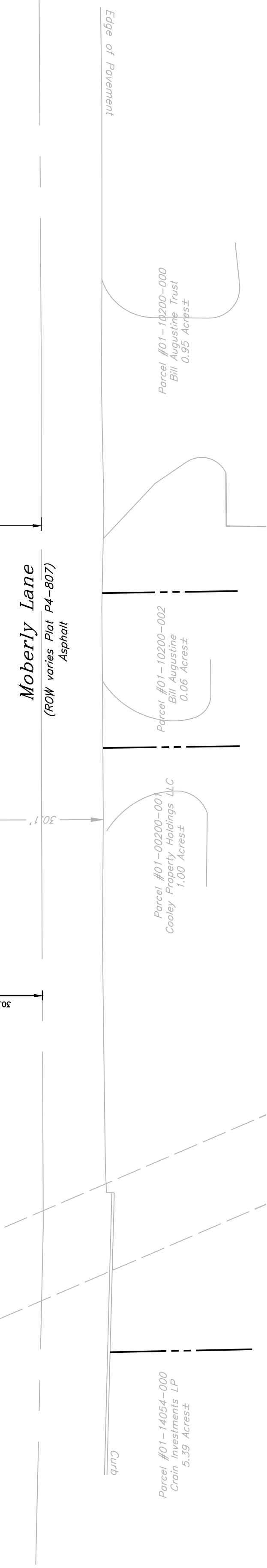
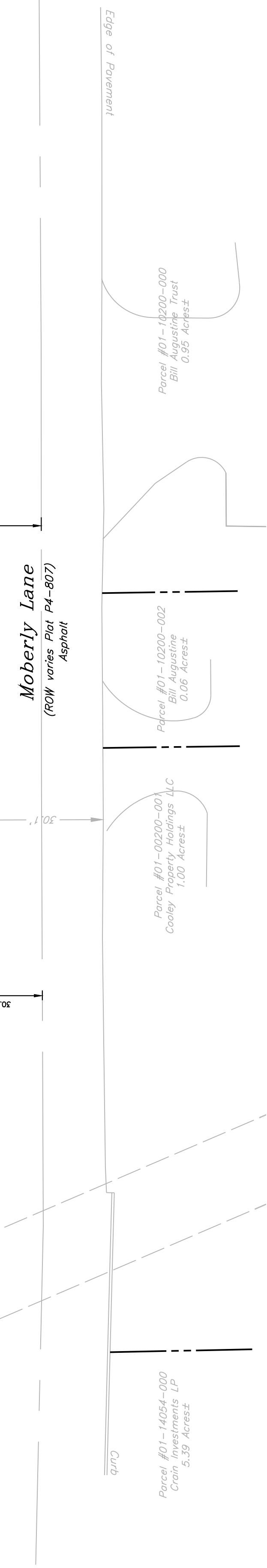
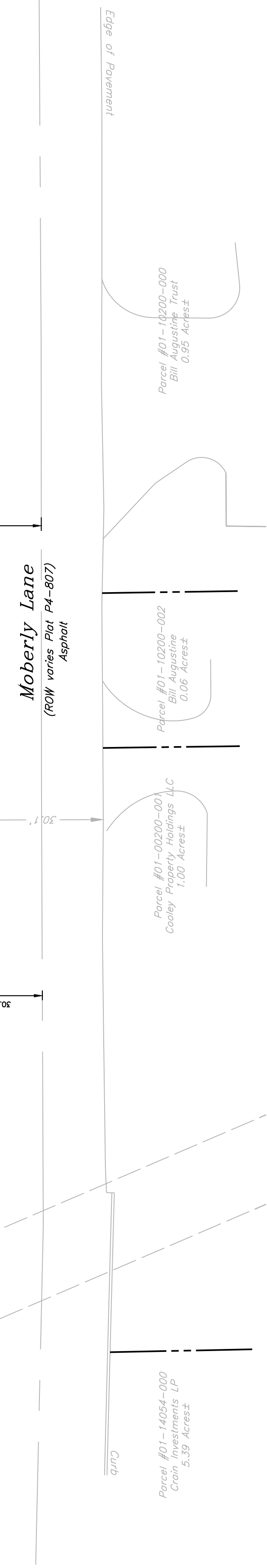
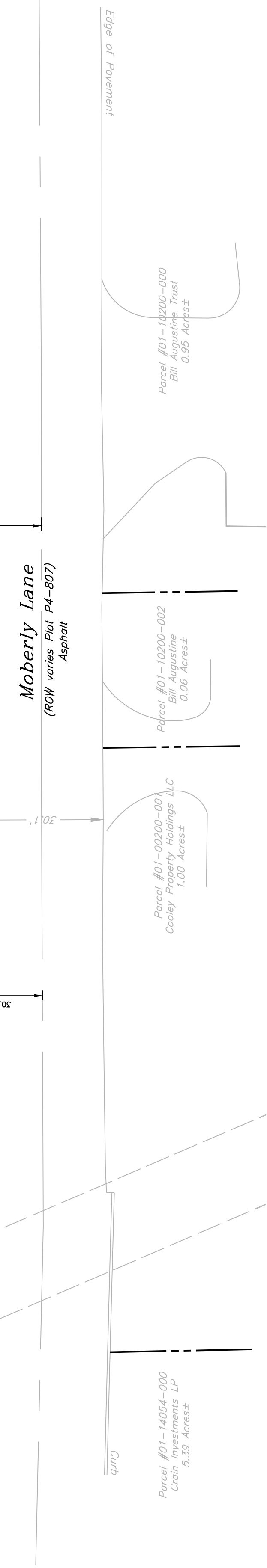
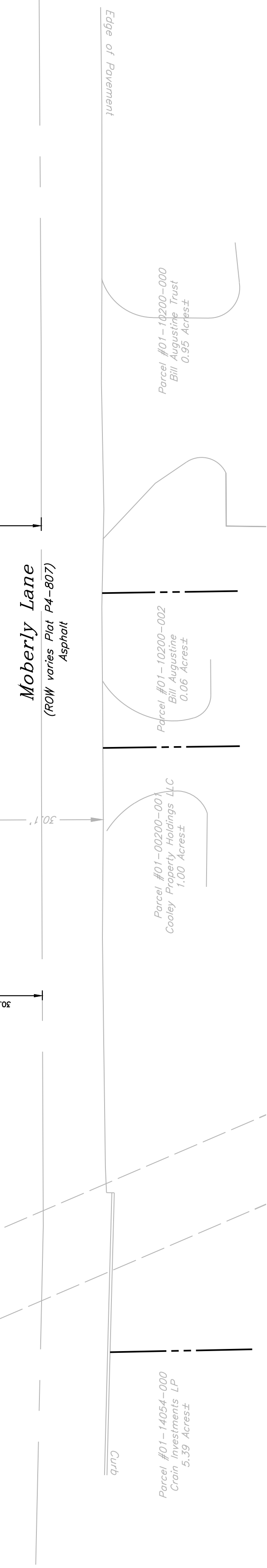
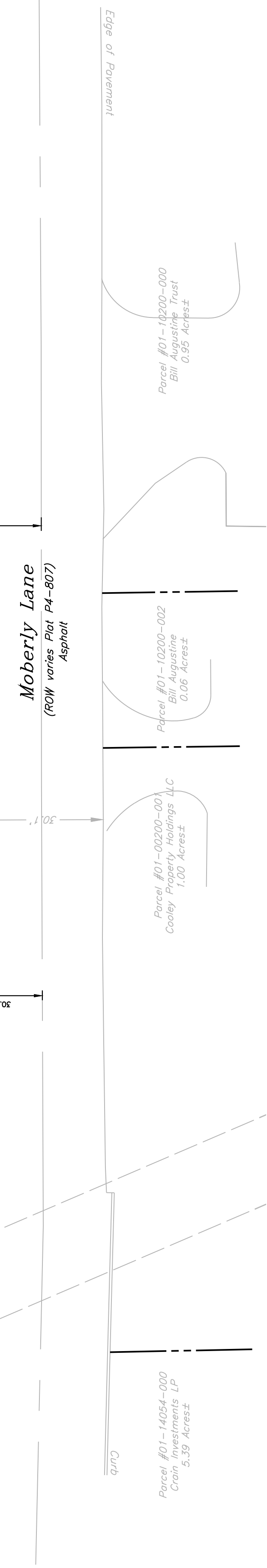
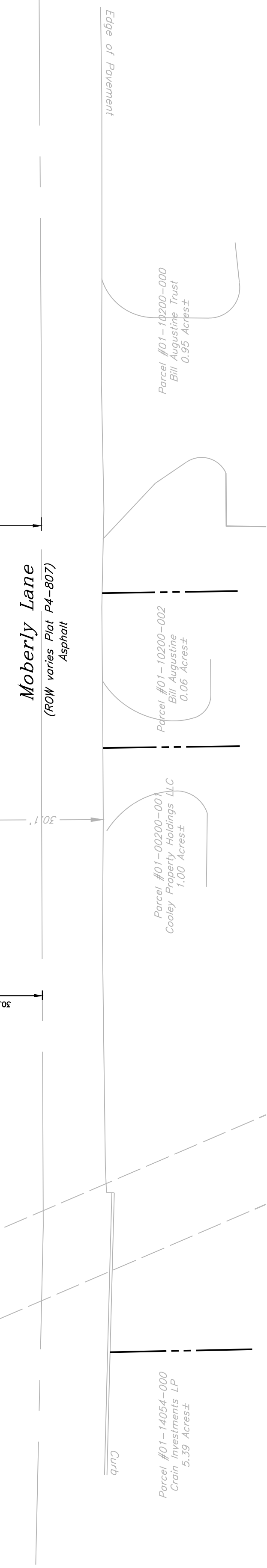
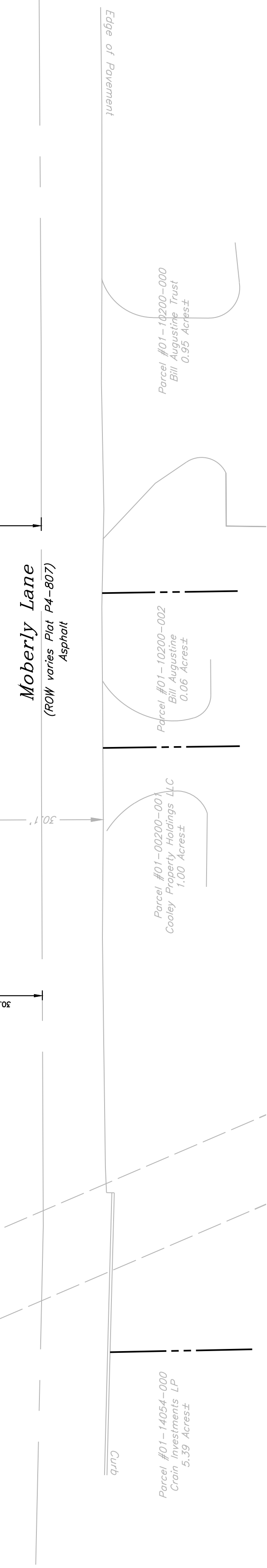
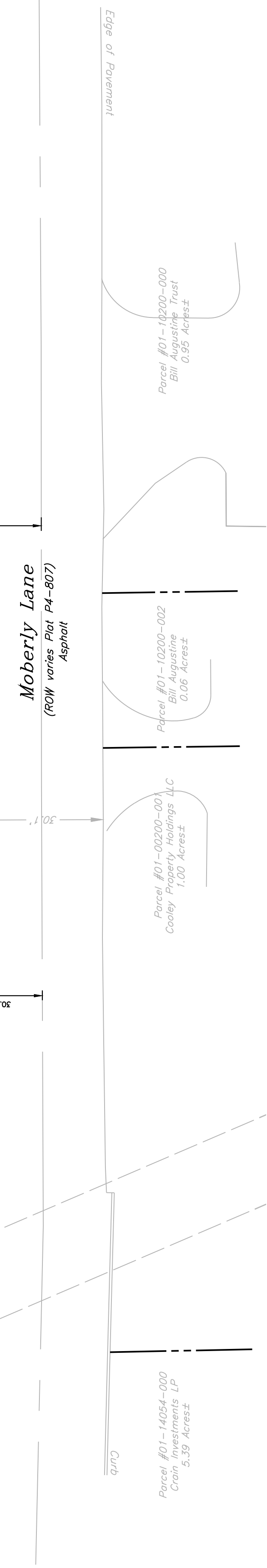
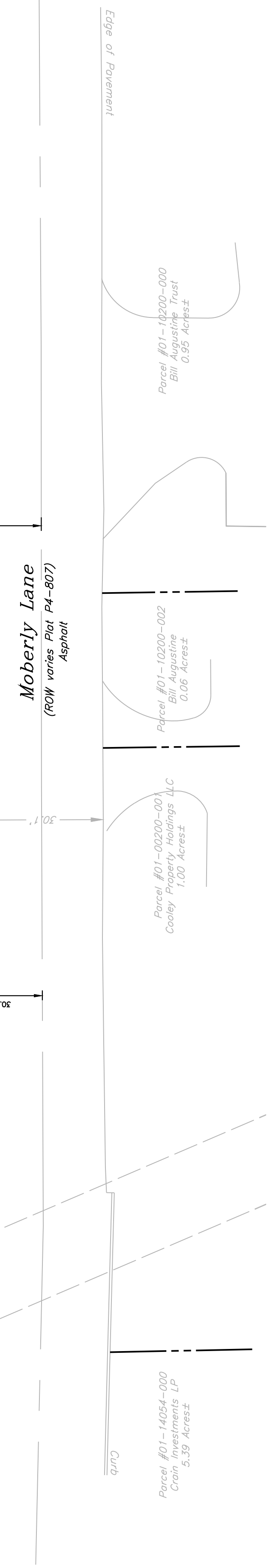
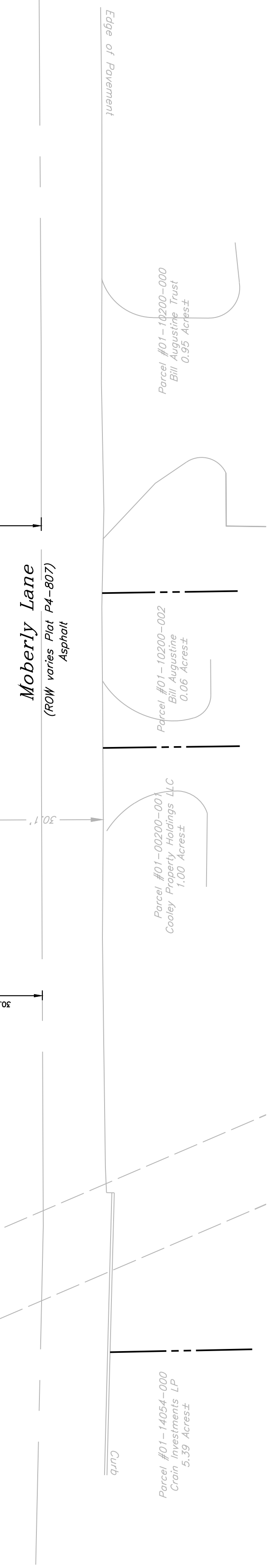
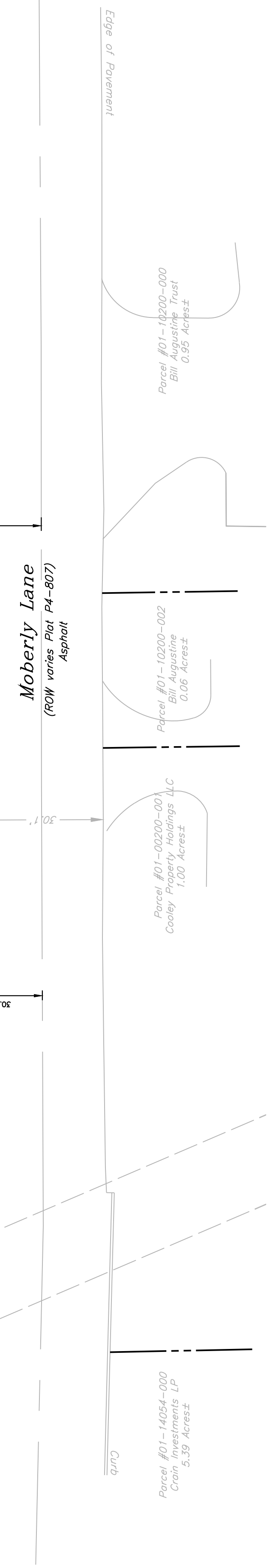
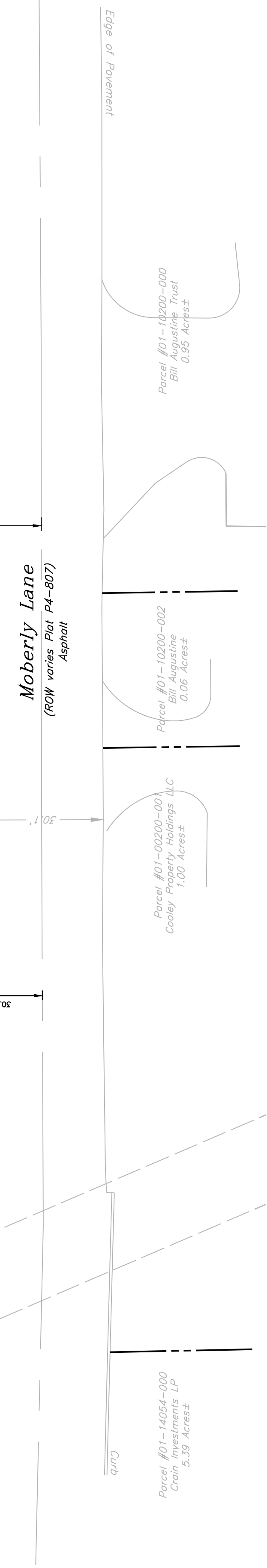
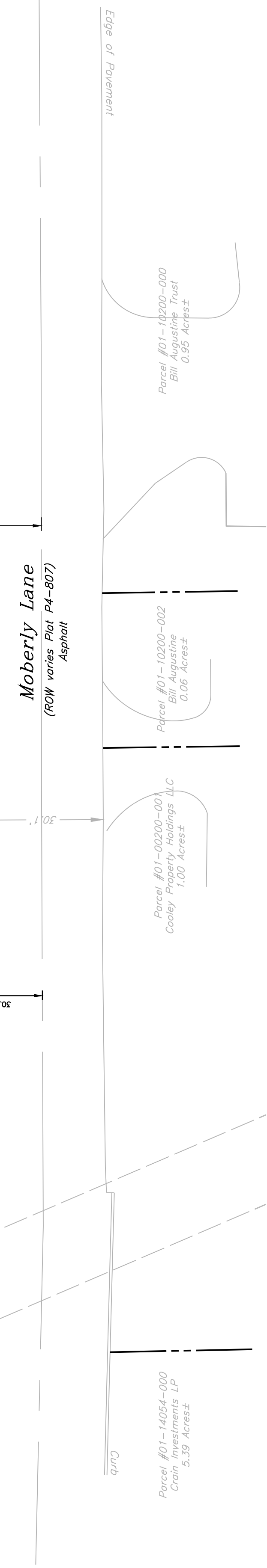
- NOTES:
1. ALL DISTURBED AREAS SHALL HAVE A MINIMUM 4" TOPSOIL PLACED AND BE SOODED.

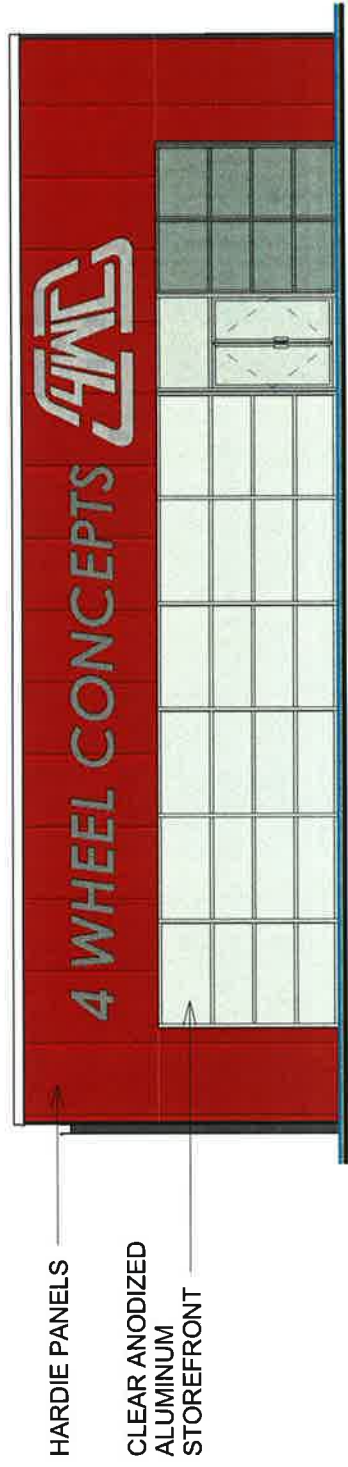
PROPERTY	SITE COVERAGE		BLDG AREA (SF)		SITE COVERAGE %	
	AREA (AC)	AREA (SF)	AREA (SF)	AREA (SF)	%	%
LOT 1	1.51	66,035	9,043		14	

PARKING SPACES		PARKING SPACES	
BUILDING	REQUIRED	ON-SITE	SHARED
FOUR-WHEEL CONCEPTS	12	22	0
TOTAL	12	22	0

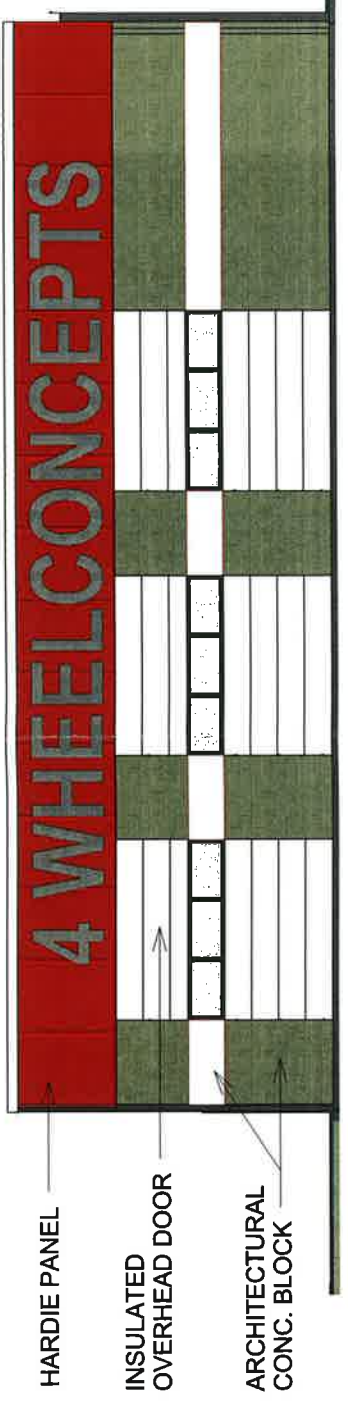
* PARKING REQUIREMENT: 1 SPACE PER 250 SF UP TO 10,000 SF OF RETAIL SPACE, 1 SPACE PER 300 SF RETAIL SPACE IN EACH BUILDING

ACCESSIBLE PARKING		ACCESSIBLE PARKING	
REQUIRED	PROVIDED	REQUIRED	PROVIDED
VAN ACCESSIBLE	1	1	1
TOTAL	1	1	1

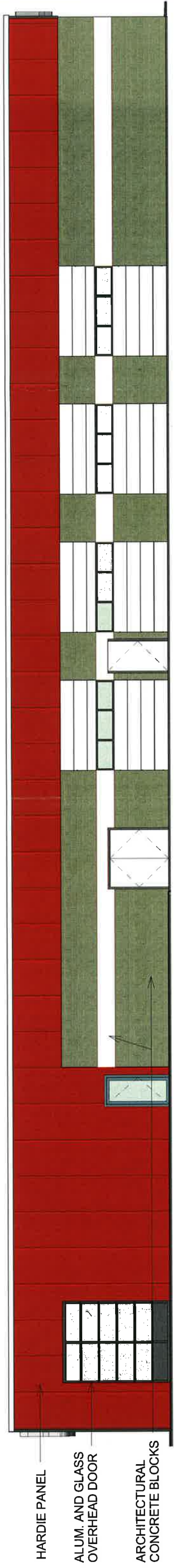




1 WEST ELEVATION
3/32" = 1'-0"



2 EAST ELEVATION
3/32" = 1'-0"



3 SOUTH ELEVATION
3/32" = 1'-0"



4 NORTH ELEVATION
3/32" = 1'-0"



PC Meeting of: July 21, 2015

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3126
Fax: (479) 271-5906

REZONING: Jones

(R-1, Single Family Residential to R-2, Duplex & Patio Home Residential)

Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Jon Stanley, Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: July 21, 2015

GENERAL INFORMATION

H.T.E. Project Number: 15-09000024

Applicant/Current Owner: Sally & Roger Jones

Representative: Roger Jones

Requested Action: Rezoning

Location: Oakwood Avenue (Lot 8 Morrison Heights 2)

Existing Zoning: R-2, Single Family Residential

Proposed Zoning: R-2, Duplex & Patio Home Residential

Future Land Use Map Designation: Low Density Residential

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this lot is undeveloped within a duplex and patio home subdivision.

Previous Rezoning Requests for this Property: There are no known rezoning's for this property.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Commercial Office	C-2, General Commercial	Office
South	Duplex	R-1, Single Family Residential	Low Density Residential
East	Duplex	R-2, Duplex & Patio Home Residential	Low Density Residential
West	Vacant	C-2, General Commercial	Office

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North	-	-	-
South	-	-	-
East	Oakwood Avenue	Collector	2 lane asphalt
West	-	-	-

LEGAL NOTIFICATIONS

Public Notice: On **June 26, 2014**, the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on **June 19, 2104**. In addition, staff posted a notice of public hearing sign on the property on **July 6, 2014**. This **DOES** meet legal noticing requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: **It is the intent of the R-2, Duplex and Patio Home Residential zoning designation to permit slightly higher population density than the R-1, Single Family District. The R-2 District will allow the last remaining lot within the established duplex subdivision to be developed and will be consistent with the surrounding homes while providing a variety of housing types in an area of the city where the environment is compatible with low to moderate density residential development.**

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: **The proposed zoning classification allows for the development of two-family homes in an already established subdivision which will not adversely impact the traffic volume of the subdivision.**

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

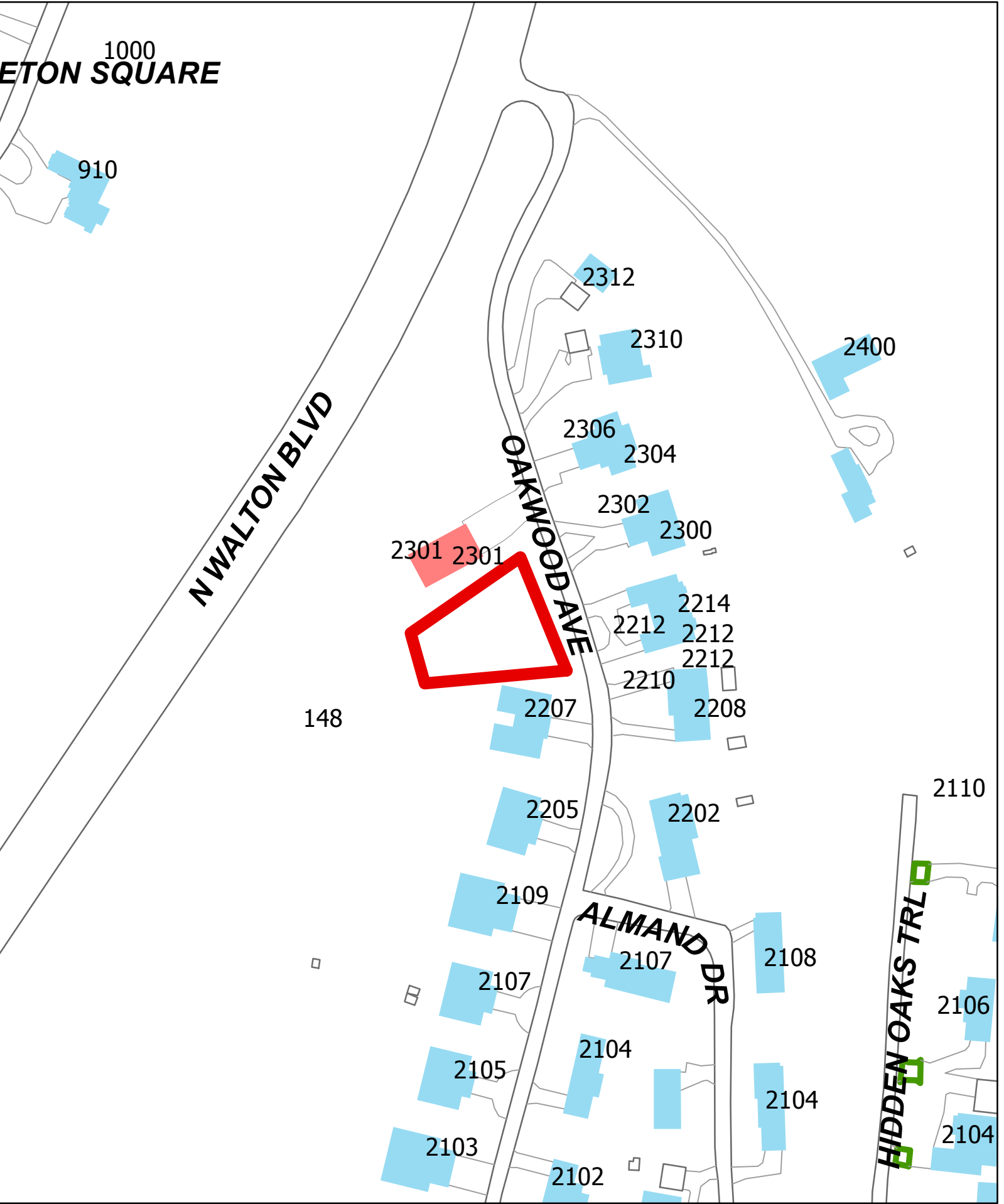
Finding(s) of Staff: **Water service is available to the site however sewer service not available at this location and will require a public sewer main extension prior to issuance of a building permit.**

ANALYSIS, CONCLUSION, & SUMMARY

The proposed zoning classification would be consistent with surrounding properties and will allow more diverse housing options in an established low density residential subdivision.

STAFF RECOMMENDATION

This rezoning request **IS** consistent with surrounding properties which are duplex and patio homes in a low density residential area. Staff has reviewed this application and based on the findings presented in this staff report, staff recommends **APPROVAL** of this rezoning from **R-1, Single Family Residential to R-2, Duplex and Patio Home Residential**.



Narrative for Rezoning Lot 8 Morrison Heights II, Bentonville, AR, Parcel # 001-05511-000

1. Current zoning R-1. Proposed zoning R-2. Lots 1 through 7 to the south, have duplexes built on them. On the opposite side of the street are 6 duplexes. To the north of this lot is an Animal Clinic. R-2 zoning is consistent with surrounding properties.

Current owners of this lot are Sally K and Roger L Jones. There are no pending or proposed sales of this parcel.

2. Owners would like the rezoning to be able to build a duplex.
3. The proposed duplex will be similar to surrounding duplexes.
4. Current use is Office. Proposed use- 2 Family Residential.
5. Traffic- parcel is on a two lane city street.
6. Signage – Parcel will not require signage.
7. Appearance – Will be consistent with surrounding properties, single or 2-story structure with brick and siding.
8. Availability of water and sewer. A 6-inch water line runs in front of the property.
A 6-inch sewer is located either on the north side of 2301 Oakwood Ave requiring permission from Andrea Strecker, Oakwood Pet Clinic, LLC; or to the back of the parcel on the east side of N. Walton Blvd requiring permission from S.K Morrison Trust, the individual who sold the lot to us. We are working with the city on the best way to tap in to sewer.



PC Meeting of: July 21, 2015

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3126
Fax: (479) 271-5906

**REZONING: Emerald Isle Holding, LLC, R-1, Single Family Residential to D-E,
Downtown Edge**

Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Jon Stanley, Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: July 21, 2016

GENERAL INFORMATION

H.T.E. Project Number: 15-09000025

Applicant/Current Owner: Emerald Isle Holding, LLC

Representative: Adam Strickland & Jake Newell (Bike Rack Development)

Requested Action: Rezoning

Location: Southwest 'B' & Southwest 4th Street (southeast corner of intersection)

Existing Zoning: R-1, Single Family Residential

Proposed Zoning: D-E, Downtown Edge

Future Land Use Map Designation: Mixed Use

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is vacant in a rapidly developing mixed use area of downtown.

Previous Rezoning Requests for this Property: There are no known rezonings for the property.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Vacant Parcel	R-1, Single Family Residential	Mixed Use
South	Commercial retail/office building	R-1, Single Family Residential	Mixed Use
East	Two duplexes	R-O, Residential Office	Mixed Use
West	Single Family Residence	R-1, Single Family Residential	Downtown Mixed Use Residential

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North	Southwest 4 th Street	Local Street	2 lane residential Street
South	-	-	-
East	-	-	-
West	Southwest 'B' Street	Local Street	2 lane residential Street

LEGAL NOTIFICATIONS

Public Notice: On, June 29, 2015, the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on, June 19, 2015. In addition, staff posted a notice of public hearing sign on the property on July 6, 2015. This **DOES** meet legal noticing requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: **The Master land use plan depicts this property has Mixed Use which is consistent with the proposed request of D-E, Downtown Edge. Appropriate policies shall provide for a transition area between downtown commercial and single family residential. According to Policy LU-16 Infill Development of the General Plan "The City shall encourage the development of mixed-use and residential projects with in the downtown area to increase the community's housing stock and to enhance the vitality of downtown businesses. Policy LU-23 Housing Types states "the City should encourage the development of a mix of housing types to the meet the needs of residents...". The proposed rezoning will meet the intent of both policies therefore the request is consistent with good land use planning and the general plan.**

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: **The proposed development will not create an increase to traffic danger in the area. The existing street infrastructure is adequate for the proposed traffic.**

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

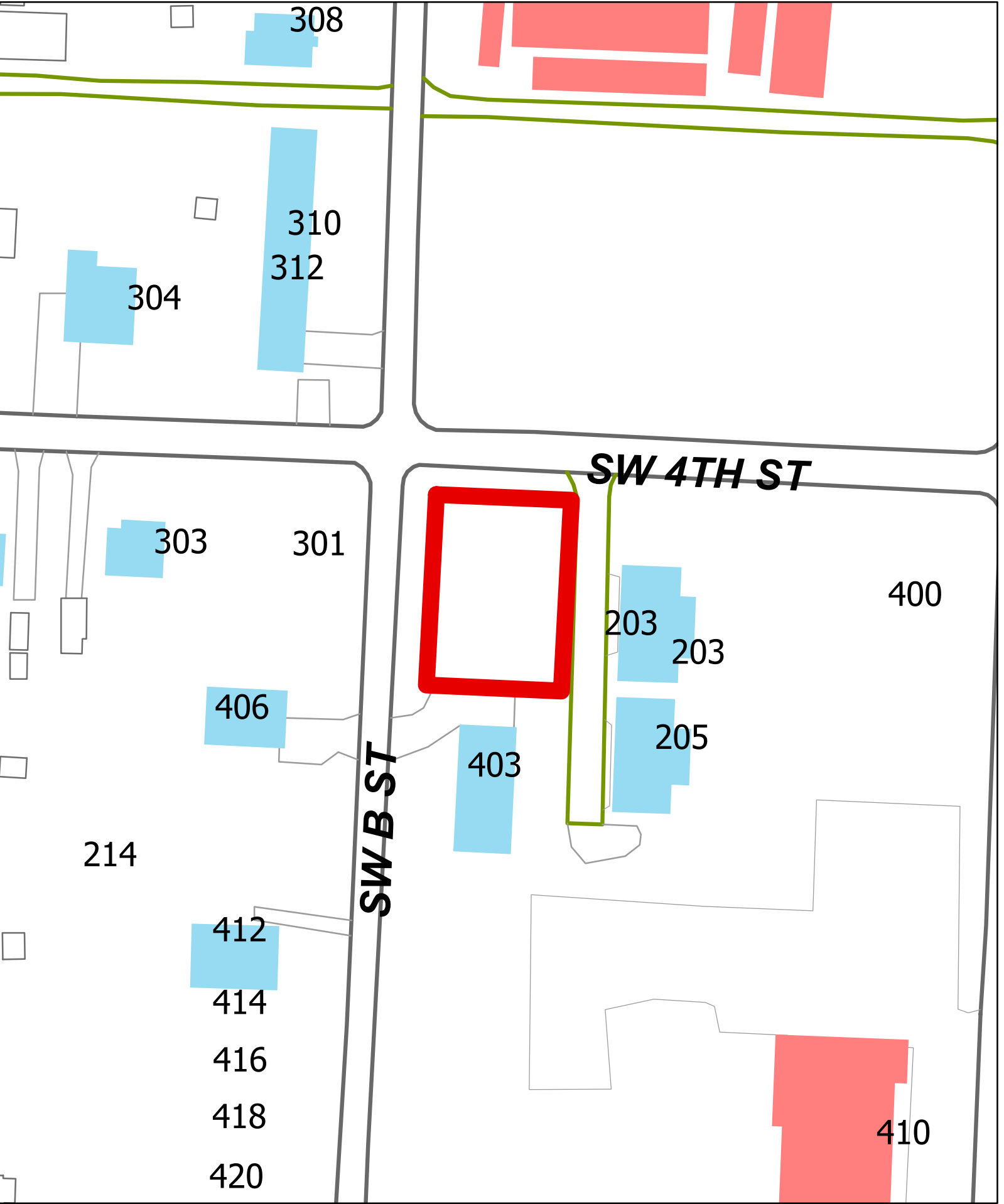
Finding(s) of Staff: **The proposed zoning will not adversely impact the public infrastructure. Emergency services are adequate at this location.**

ANALYSIS, CONCLUSION, & SUMMARY

The rezoning request is consistent with the City of Bentonville's Future Land Use Map, which depicts this property as mixed use. According to the general plan this designation permits for a range of residential types with supportive neighborhood-scale commercial uses. The Downtown Edge zoning classification creates an area of transition between the downtown core to the east and the low density residential to the west. The Downtown Edge allows for commercial and residential mixed use developments and will have the greatest potential for infill and redevelopment. The proposed zoning will add density to downtown therefore helping retain current commercial uses in the downtown area.

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends **APPROVAL** of this rezoning from R-1, Single Family Residential to D-E, Downtown Edge



June 12, 2015

To the City of Bentonville,

207 Southwest 4th Street, Bentonville, Arkansas has current zoning of R-1. The proposed zoning designation is Downtown Edge (DE). The applicant desires to build single family homes on the proposed site. The existing zoning does not conform to the proposed future land use plans of the city which are denser single and multifamily properties that would allow more rooftops for people living and working in downtown Bentonville. The future owner plans to build 3 single family structures on the property. These structures would add to the emerging arts district and revitalization that is occurring on SW A and B streets around the HUB project. Water, sewer and all utilities are available on site.

Adam Stricklin
2905 SW Tanglewood
Bentonville, AR 72712



PC Meeting of: July 21, 2015

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3126
Fax: (479) 271-5906

REZONING: Mathias Shopping Centers, R-1, Single Family Residential to I-1, Light Industrial

Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Beau Thompson, Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: July 21, 2015

GENERAL INFORMATION

H.T.E. Project Number: 15-09000026

Applicant/Current Owner: Mathias Shopping Centers Inc.

Representative: Josh Hite with Kutak Rock LLP

Requested Action: Rezoning

Location: Southwest Regional Airport Boulevard and Southwest Barron Road

Existing Zoning: R-1, Single Family Residential

Proposed Zoning: I-1, Light Industrial

Future Land Use Map Designation: Commercial and Industrial

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is currently vacant in a rural area.

Previous Rezoning Requests for this Property: The property was rezoned from A-1, Agricultural to R-1, Single Family Residential on July 20, 2004. A single family subdivision was approved on November 2, 2004 but never constructed.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Benton County Fairgrounds	A-1, Agricultural	Public
South	Agricultural	Benton County	Low Density Residential
East	Fueling Station and Agricultural	C-2, General Commercial and Agricultural	Agricultural and Mixed Use
West	Agricultural	R-4, High Density Residential and A-1, Agricultural	Industrial

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North	Southwest Regional Airport Boulevard	Arterial	2 lane no curb or gutter
South			
East	Southwest Barron Road	Collector Street	Asphalt no curb or gutter
West			

LEGAL NOTIFICATIONS

Public Notice: On June 12, 2015, the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on June 19, 2015. In addition, staff posted a notice of public hearing sign on the property on July 6, 2015. This DOES meet legal noticing requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: The property is currently designated as commercial and industrial however it is zoned as single family residential at this time. According to Economic Development policy 12 within the City of Bentonville General plan, the city should re-evaluate the supply of industrial property to ensure there is an adequate supply. Based on the current assessment of vacant Industrial zoned property within the city's core, it is staff's opinion that the uses allowed within those areas are not the best use of the property at this time. Therefore additional industrial land is needed in other areas of the city to further the surplus and availability of industrial land.

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff:

The proposed zoning request is located at the intersection of Southwest Regional Airport Boulevard and Southwest Barron Road. This is the intersection of an arterial street and a collector street. Neither road is constructed or improved to facilitate the traffic that they are intended to carry. Southwest Barron road is designated as a collector street however the arterial street network has not be constructed to allow Barron Road to function appropriately. Improvements to Barron Road and Southwest Regional Airport Boulevard will be assessed during review of the Large Scale Development.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

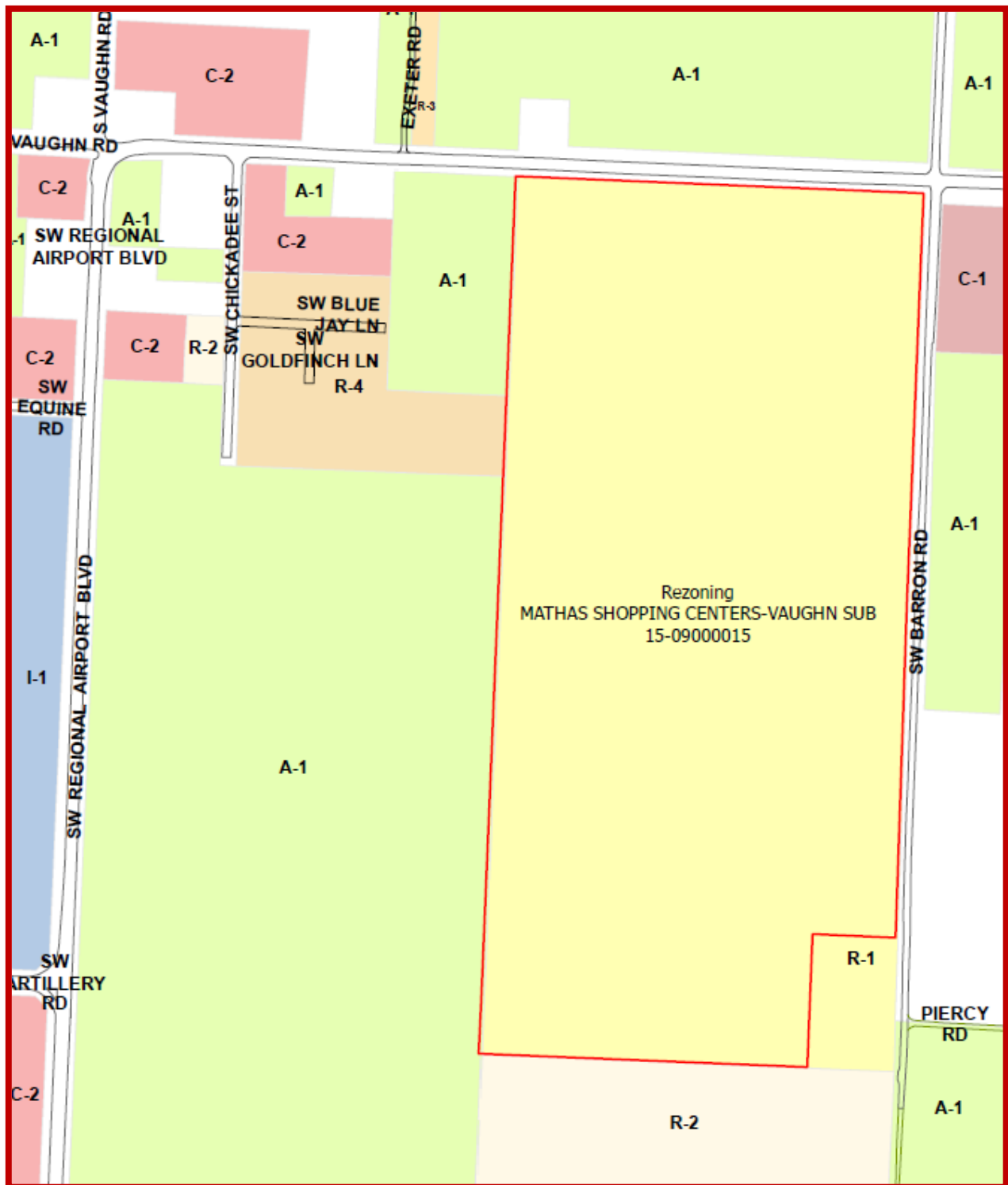
Finding(s) of Staff: City utility services are adequate at this location. Water and sewer is available on the north side of Southwest Regional Airport Boulevard. The emergency services for this area are currently underserved. Fire station #6 on Southwest 1 Street is the closet station to this location and it is located approximately 5.5 miles from the site.

ANALYSIS, CONCLUSION, & SUMMARY

The rezoning request is consistent with the City of Bentonville's Future Land Use Map, which depicts this property as commercial and industrial. At this time the vacant industrial land within the city of Bentonville does not meet the needs of the applicant. Much of the vacant industrial property is located in an area of the city that is transition from industrial to office and a mix of other uses. The majority of the reserved industrial property is no longer viable for industrial uses therefore; the city shall encourage additional industrial zoned property where such uses are more compatible to adjacent uses.

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends APPROVAL of this rezoning from R-1, Single Family Residential to I-1, Light Industrial.



Rezoning Request Narrative; Parcel No. 01-11494-000

The subject property consists of approximately 78.98 acres within the Vaughn Subdivision and located at 7647 SW Regional Airport Boulevard (Hwy. 12) (the “Property”). The Property is undeveloped and currently zoned R-1 (Single Family Residential). Kutak Rock LLP, as the authorized agent of the current owner of the Property, Mathias Shopping Centers, Inc., is respectfully requesting a rezoning of the Property to I-1 (Light Industrial) in order for the future development and use of the Property to permit warehousing, distribution and light assembly consistent with an I-1 (Light Industrial) zoning designation.

An I-1 (Light Industrial) zoning designation is substantially consistent with the proposed future use of the Property pursuant to the Bentonville Future Land Use Map (the “Land Use Map”). The Land Use Map identifies the southern half of the Property as industrial and the northern half of the Property as commercial. The general area in which the Property is located is rural in nature with the exception of the Northwest Arkansas Regional Airport and the National Guard Armory to the southwest of the Property and the minor residential developments to the north and northwest of the Property. The adjacent properties are currently zoned residential or agricultural; however, the Land Use Map identifies the 35-acre tract directly to the south of the Property as well as other significant tracts to the south and west of the Property as industrial. The remaining surrounding properties are identified by the Land Use Map as a mixture of industrial, commercial, agriculture, public, residential and mixed-use.

Mathias Shopping Centers, Inc. has entered into an agreement to sell the Property to Ft. Scott Property, LLC. Assuming such sale occurs, Ft. Scott Property, LLC intends to use the Property for warehousing, distribution and light assembly. Ft. Scott Property, LLC does not plan to use the Property for manufacturing.

In selecting the Property, Ft. Scott Property, LLC conducted a search of other available properties in the general vicinity. After conducting the search and reviewing the available properties, the Property was selected as best suiting the needs of Ft. Scott Property, LLC for the following reasons:

- Approximately 80 acres (the size of the Property) is the optimal size for planned future development.
- The negotiated price for the Property is substantially lower than similarly sized and situated properties in the area with topography favorable to development.
- The vast majority of truck traffic to a warehouse facility would be traveling to and from the direction of Interstate 49. Any available properties to the west of the Property would require truck and other traffic to travel a greater distance on existing roadways and use the 25mph banked intersection of Hwy 12 and Vaughn Road. This is not favorable, as it would impact a greater extent of existing roadways, cause an increase in traffic at the already congested intersection of Hwy 12 and Vaughn Road, and increase truck travel times.

- The Property provides two points of access, Barron Road and Hwy 12. This is optimal from a site development prospective, as it will allow for an entry and exit route for both trucks (Hwy 12) and employees (Barron Road) accessing the facility. Other available properties considered do not provide two points of access to a major road and would require trucks and employees to enter and exit Hwy 12 from the same point of access.
- The Property is the best available property meeting the needs of Ft. Scott Property, LLC that lies outside of the XNA overlay districts. Other available properties considered are located directly in the flight path of aircraft approaching and departing from XNA.

Ft. Scott Property, LLC does not currently have specific development plans for the Property. As such, signage and appearance are unknown at this time, but would be consistent with development plans approved by the City of Bentonville. Traffic would access the Property from SW Regional Airport Boulevard (Hwy. 12), a substantial existing thoroughfare, and Barron Road.

Water (12") runs along the northeast boundary of the Property. Sewer (Force Main) runs along the north side of SW Regional Airport Boulevard (Hwy. 12) to the north of the Property, and other gravity sewer lines run from the northwest corner and west boundary of the Property.

Planning Commission Staff Report
Conditional Use: Chinmaya Mission Northwest Arkansas
Project Number: 15-02000010

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: July 21, 2015

GENERAL INFORMATION:

Applicant: John R. Burckart (Procon, Inc.)

Representative: Subra Bhat

Requested Action: Conditional Use Permit Approval

Location: South East 22nd Street (Lots 14, 15, 16 & 17 Werts 3rd Addition)

Existing Zoning: C-3, Central Commercial

Land Use Plan: Commercial

Proposed Use: Indian Hindu Religious Facility

BACKGROUND:

The applicant is requesting a conditional use permit for an Indian Hindu Religious Facility to be constructed upon Lots 14, 15, 16 & 17 of Werts 3rd Addition along Southeast 22nd Street. The applicant anticipates the construction of one or two story building that will be approximately 15,000 square feet and will include a care takers facility within the primary structure. Two Hundred patrons are expected on weekends and 50 patrons on weekdays. It is estimate that 120 parking spaces will be needed. A property line adjustment and large scale development will be required before a building permit will be issued.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	R-O, Residential Office and C-2, General Commercial	Commercial
South	C-2, General Commercial	Commercial
East	C-2, General Commercial	Commercial
West	C-2, General Commercial	Commercial

STREETS

Direction	Name	Classification
North	West Central Avenue	Arterial Street
South		
East		
West		

Site Inspection: A site inspection was completed; this property is currently the site of a residential structure being used as an office with a gravel parking lot.

Public Notice: On **June 6, 2015** a notice was published in the *Arkansas Democrat-Gazette, Northwest Arkansas Addition* and a public hearing notice sign was posted on the property on **June 22, 2015**. This meets legal noticing requirements and is adequate for the scope of this project.

STANDARD CONDITIONS OF APPROVAL:

1. All technical review comments must be addressed before building permits are issued.
2. A property line adjustment and large scale development will be required before a building permit will be issued.

ISSUES / ANALYSIS:

SEC. 301.6. Planning Commission

E. Standards for Approval. In carrying out the purpose of this section, the Commission's consideration shall include, but not be limited to, the following development standards and design specifics. The appropriateness of these standards shall be determined at the discretion of the Planning Commission for each specific conditional use location.

1. The proposed use shall be so designated, located and operated so that the public health, safety and welfare will be protected.
2. The proposed land use shall be compatible with other area properties located near it.
3. The proposed use shall be in compliance with the provision of "Conditional Uses" as set out in this Ordinance.
4. The proposed use shall be in conformance with all applicable provisions stated in this Ordinance for the district in which the use is to be located. The use shall facilitate public convenience at that location.
5. The proposed conditional use shall be in conformance with all off-street parking and loading requirements of this Ordinance and ingress and egress and pedestrian ways shall be adequate.
6. Safeguards limiting noxious or offensive emissions, including lighting, noise, glare, dust and odor shall have been addressed in the proposed use application.
7. Landscaping and screening of the proposed use shall be in accordance with these Ordinance regulations and the City of Bentonville landscaping regulations.
8. Proposed use signage shall be in accordance with the provisions of this Ordinance.
9. Open space located on the proposed use shall be maintained by the owner/developer.
10. The size and shape of the site, including size, shape and arrangement of proposed structures shall be in keeping with the intent of this Ordinance.

11. The Planning Commission shall in no case authorize less than minimum requirements of the Ordinance relating to height, area, setbacks, parking or landscaping.
12. The Planning Commission shall not permit any use in a zone as a conditional use that is not permitted under the Zoning Ordinance.

The conditional use is allowed on appeal in the **(C-3, Central Commercial)** district.

Allowed under the Protective Covenants of the subdivision. Not applicable

To date staff **has not** been contacted regarding this request.

RECOMMENDATION:

Staff has reviewed this application and recommends APPROVAL.

SEC ST

SE VILLAGE LOOP

SE 22ND ST

SEC ST

SE JAYHAWK BLVD

SE F ST



1 inch = 200 feet

15-02000010
Chinmaya Mission NWA
Lots 14, 15, 16, 17 Werts Addition
Religious Facility
2.72 Acres Total



Chinmaya Mission Northwest Arkansas

(Lots 14 through 17, Werts 3rd Addition, SE 22nd Street, Bentonville, AR)

Chinmaya Mission Northwest Arkansas is a non-profit religious organization catering to the religious and spiritual needs of the Indian Hindu community living in Northwest Arkansas. Majority of this community resides in the City of Bentonville. The Mission has been leasing a space for several years at the Center for Non-Profits located at the corner of Walnut Street and 13th Street in Rogers, Arkansas. Currently the Mission's activities include Sunday classes for kids and invited guest lectures for adults.

In order to serve the community better, the Mission is planning to build a facility on a 2.71-acre tract on SE 22nd Street in Bentonville, Arkansas, referred to as Lots 14 through 17, Werts 3rd Addition. The site is currently a vacant land. The property is under contract with closing scheduled on July 23, 2015. The Mission wants to make sure before closing on the property that such a facility can be built at this site. A professional Architect and a Civil Engineer will be on-board at a later date and a large scale development plan will be submitted to the City for approval.

The new facility will likely include a one- to two-story building with a floor area of about 15000 sq ft which will cater to about 200 patrons. The facility will mainly be utilized during the weekends with the anticipated patrons of 150 to 200. Activities during the evening hours of the weekdays will be much less with an anticipated crowd of 50. The building may house a single bedroom residential quarter for the preacher.

The facility will include a paved parking area with about 120 parking spaces. The main entrance to the facility will be from SE 22nd Street with an optional exit at the existing concrete drive on the south side of the property. The remainder of the property will be utilized as a maintained landscape. The Mission is operated by volunteers, and there are no paid employees.