



**Planning Commission
Agenda
September 6, 2016**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**
 - 1. Lots 17 & 18 of Seals Addition** **Lot Split**
3101 Southwest 'I' Street
 - 2. Lot 1 of Calcon Subdivision** **Lot Split**
10620 Southwest 2nd Street
 - 3. Lots 88 & 89 of Heathrow Subdivision** **Property Line Adjustment**
Stonehenge Drive & North Walton Boulevard
 - 4. Speedy Splash Car Wash 216** **Large Scale Development**
Southeast Walton Boulevard
- IV. New Business**
 - 1. Capstone Investments Group, LLC** **Rezoning***
(R-O, Residential Office to R-C2, Central Residential Moderate Density)
510 Southwest 'E' Street
 - 2. Women's Health Associates** **Large Scale Development**
500 Southeast Plaza Avenue
 - 3. Lewis** **Sidewalk Waiver**
1603 Dogwood Drive
- V. Other Business**
- VI. Planner's Report**
- VII. Adjournment**

Planning Commission
Minutes
August 16, 2016

Meeting called to order at 5:00 p.m. by Richard Binns, Chairman

Present: Joe Haynie, Scott Eccleston, Greg Matteri, Jim Grider, Rod Sanders and Richard Binns

Absent: Debie Havner

Motion by Grider, seconded by Haynie to approve the minutes of August 2, 2016, Approved 6-0

Consent Agenda

- | | |
|---|------------------|
| 1. Lot 17, Block H of Orchards Addition
407 Southeast 'C' Street | Lot Split |
| 2. Lochmoore Club II
Southwest Edinburgh Avenue | Preliminary Plat |
| 3. Windmill Farms Subdivision
Southwest 'H' Street & Windmill Road | Preliminary Plat |

New Business

Item #1

Rezoning: (16-09000022) Lamplighter Restoration LLC, Southwest 'D' Street and Southwest 6th Street.

Rezoning from R-3 Medium Density Residential to R-C2, Central Residential Moderate Density. (West)

The applicant has requested a rezoning on vacant property in a mixed use area along an urban corridor.

The proposed rezoning will not create an increase to traffic in the area, and city services are adequate at this location. The applicant plans to use the property for a residential single-family home.

Opened public hearing

No public comment

Approved 6-0

Item #2

Rezoning: (16-09000023) Lamplighter Restoration LLC, Southwest 'D' Street and Southwest 6th Street,

Rezoning from R-3, Medium Density Residential to R-C2, Central Residential Moderate Density. (East)

The applicant has requested a rezoning on vacant property in a mixed use area along an urban corridor.

City services are adequate at this location. Rezoning request is for a Single Family Residential Home with room for a small music Studio.

Opened public hearing

No public comment

Approved 6-0

Item #3

Land Use Map Amendment: (16-01800004) Aurora Properties LLC, South Morningstar Road, Benton County (City of Bentonville planning boundary).

Applicants have requested a change to the Land Use Map Amendment from Agriculture to Low Density Residential. This property is currently vacant. The proposed land use modification is near the intersection of a proposed east to west and north to south corridor.

Opened public hearing

No public comment

Approved 6-0

Item #4

Conditional Use: (16-02000008) Annoor Academy of Bentonville, 1110 & 1112 North Walton Boulevard Zoned C-2, Pre-K & Private School Educational Facility.

The applicant has submitted a Conditional Use application for a Pre-K & Private School Educational facility located at 1110 & 1112 North Walton Boulevard in the C-2 General Commercial zoning district. The educational facility shall be allowed a maximum of 20 children. Hours of operation will Monday through Friday from 7:30am to 3:30pm. Four (4) designated parking spaces will be provided on the southern end of the existing parking lot for drop-off and pick-up, these spaces will have signs specific to school parking. Parents will be required to escort their children into and out of the facility. If necessary, drop-off and pick-up times can be staggered. Employee parking will be in non-designated spots within the existing parking lot. Classroom walls will be constructed in the interior of the existing building and a fence will be installed in the outdoor area on the rear (east side) of the building to allow for an outdoor play area. The front of the facility will not be accessible to children except during drop-off and pick-up times. The school intends to have 4 employees, No additional outdoor lighting is planned. Both the fire department and ADH have completed preliminary inspections.

Opened public hearing

No public comment

Question-when do you plan on opening-3 months

Closed public hearing

Approved 6-0

Planners Report:

- a. Proposed Downtown Residential Zoning Districts Open House August 31, 2016 from 4:30 to 6:30pm @ the Bentonville Public Library
- b. PC workshop next Tuesday at 3:30 for approximately an hour on August 23, 2016 to finish items for public meeting.
- c. TG- thank all the planning commissioners for all your hard work and input for the upcoming public meeting.
- d. BT- attended meeting regarding the "Missing Middle Housing" by Dan Parolek

Meeting adjourned

Diane Shastid

Planning Commission Staff Report

Lot Split: Lots 17 & 18 of Seals Addition

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: September 6, 2016

GENERAL INFORMATION:

Project Number: 16-05000030

Applicant: Agracel, Inc.

Representative: Bates & Associates (Justin Reid)

Requested Action: Lot Split Approval

Location: 3101 Southwest 'I' Street

Existing Zoning: I-1, Light Industrial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a lot split for property located at 3101 Southwest 'I' Street in a Light Industrial zoning district. The plat as provided by the applicant indicates the creation of two new lots that will be known as Lot 17 (3.78 acres) and Lot 18 (4.0 acres) of Seals Addition. A variable width public access easement and a 20' wide utility easement are being dedicated with the plat. Both lots will have access to public water and sewer services.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	A-1, Agricultural	Bentonville Municipal Airport
South	A-1, Agricultural	Manufacturing Facility
East	A-1, Agricultural	Bentonville Municipal Airport
West	A-1, Agricultural	Agricultural land

STREETS

Direction	Name	Classification
North	-	-
South	-	-
East	-	-
West	Southwest 'I' Street	Arterial

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: No traffic data exists for this location.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this is the location of an existing single office building and a vacant industrial lot along a rapidly developing arterial street in the southwest section of the city.

Drainage Report: A drainage report is not required for this lot split.

Water / Sewer: Per the G.I.S. site, water and sewer are currently in use on the site.

Waiver(s): N/A

Analysis / Conclusion: This lot split **DOES** meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.

Legend

-  Pending Planning Commission Items
-  Commercial
-  Misc
-  Public
-  Single Family Residential

SW 1 ST

SW AVIATION ST

SW 28TH

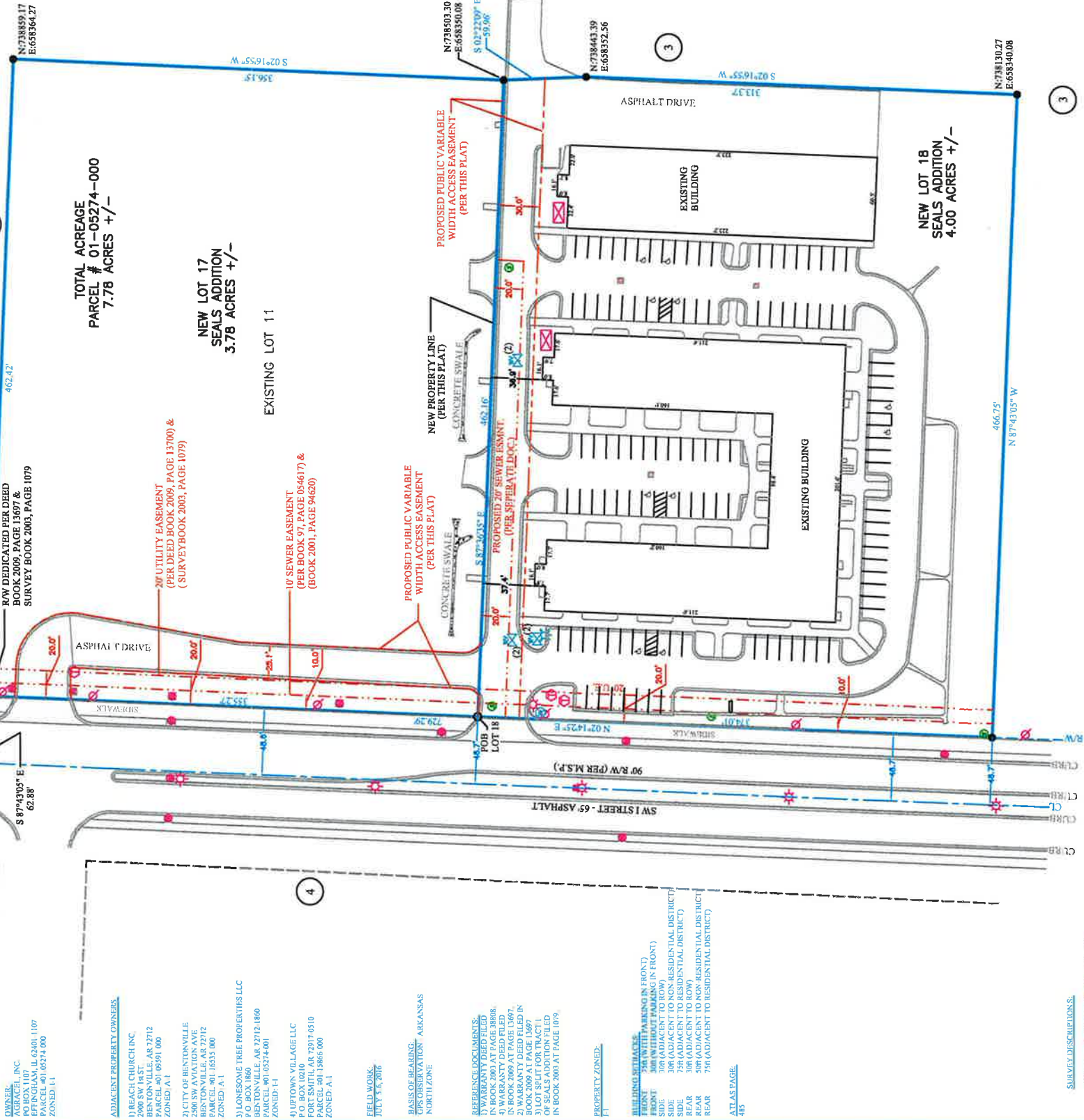


1 inch = 267 feet

16-05000030
LOT SPLIT
AGRACEL - SEALS ADDITION



LOT SPLIT OF LOT 11 CREATING
LOTS 17 & 18 OF SEALS ADDITION



OWNER:
AGRACEL, INC.
BENTONVILLE, AR 72712
PARCEL #01 05214 000
ZONED L1

ADJACENT PROPERTY OWNERS:
1) BEACH CHURCH, INC.
2600 SW 145TH
BENTONVILLE, AR 72712
PARCEL #01 05951 000
ZONED A1
2) CITY OF BENTONVILLE
2500 SW AVIATION AVE
BENTONVILLE, AR 72712
ZONED A1
3) LONESOME TREE PROPERTIES LLC
10000 N. 10TH AVE
BENTONVILLE, AR 72712 1860
PARCEL #01 05214 001
ZONED L1
4) UPTOWN VILLAGE LLC
P.O. BOX 10210
FORT SMITH, AR 72917 6010
PARCEL #01 15865 000
ZONED A1

FIELD WORK:
JULY 5, 2016

BASIS OF BEARING:
GPS OBSERVATION ARKANSAS
NORTH ZONE

REFERENCE DOCUMENTS:
1) WARRANTY DEED FILED IN BOOK 2009 AT PAGE 13697
2) WARRANTY DEED FILED IN BOOK 2009 AT PAGE 13697
3) LOT SPLIT FOR TRACT 11 IN BOOK 2003 AT PAGE 1079

PROPERTY ZONED:
L1

BUILDING SETBACKS:
FRONT 30' (WITHOUT PARKING IN FRONT)
SIDE 30' (ADJACENT TO ROW)
REAR 30' (ADJACENT TO NON-RESIDENTIAL DISTRICT)
REAR 30' (ADJACENT TO NON-RESIDENTIAL DISTRICT)
REAR 75' (ADJACENT TO RESIDENTIAL DISTRICT)

ATTN: AS PAGE 485

SURVEY DESCRIPTIONS:

PARENT TRACT MAP: AGRACEL, INC. 01-05214-000

LOT 11: (1) OF SEALS ADDITION TO THE CITY OF BENTONVILLE, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: TO WIT: BEGINNING AT A POINT ON THE EAST RIGHT-OF-WAY OF SOUTHWEST STREET, THENCE S87°43'05" E 462.42' TO AN EXISTING REBAR, THENCE S02°16'55" W 356.15' TO AN EXISTING REBAR, THENCE S02°22'09" E 59.96' TO AN EXISTING REBAR, THENCE S02°16'55" W 313.17' TO AN EXISTING REBAR, THENCE N87°43'05" W 466.75' TO AN EXISTING REBAR ON THE EAST RIGHT-OF-WAY OF SW 1ST STREET, THENCE ALONG SAID EAST RIGHT-OF-WAY OF SW 1ST STREET, THENCE ALONG SAID EAST RIGHT-OF-WAY OF SW 1ST STREET, MORE OR LESS, SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY OF RECORD.

LOT 17 DESCRIPTION:

A PART OF LOT ELEVEN (11) OF SEALS ADDITION TO THE CITY OF BENTONVILLE, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: TO WIT: BEGINNING AT AN EXISTING REBAR ON THE EAST RIGHT-OF-WAY OF SOUTHWEST STREET, THENCE S87°43'05" E 462.42' TO AN EXISTING REBAR, THENCE S02°16'55" W 356.15' TO AN EXISTING REBAR, THENCE S02°22'09" E 59.96' TO AN EXISTING REBAR, THENCE S02°16'55" W 313.17' TO AN EXISTING REBAR, THENCE N87°43'05" W 466.75' TO AN EXISTING REBAR ON THE EAST RIGHT-OF-WAY OF SW 1ST STREET, THENCE ALONG SAID EAST RIGHT-OF-WAY OF SW 1ST STREET, MORE OR LESS, SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY OF RECORD.

LOT 18 DESCRIPTION:

A PART OF LOT ELEVEN (11) OF SEALS ADDITION TO THE CITY OF BENTONVILLE, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: TO WIT: BEGINNING AT A POINT ON THE EAST RIGHT-OF-WAY OF SOUTHWEST STREET, THENCE S87°43'05" E 462.42' TO AN EXISTING REBAR, THENCE S02°16'55" W 356.15' TO AN EXISTING REBAR, THENCE S02°22'09" E 59.96' TO AN EXISTING REBAR, THENCE S02°16'55" W 313.17' TO AN EXISTING REBAR, THENCE N87°43'05" W 466.75' TO AN EXISTING REBAR ON THE EAST RIGHT-OF-WAY OF SW 1ST STREET, THENCE ALONG SAID EAST RIGHT-OF-WAY OF SW 1ST STREET, MORE OR LESS, SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY OF RECORD.

- NOTES:
- 1) SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.
 - 2) BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
 - 3) OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.
 - 4) WHEN THE PROPERTY TO THE NORTH DEVELOPS AN EASEMENT WILL BE REQUIRED IF THAT PROPERTY WISHES TO CONNECT TO THE EXISTING PUBLIC WATER OR SEWER LINE INSTALLED ALONG THE PROPERTY LINE.

CERTIFICATE OF OWNERSHIP:
I, THE UNDERSIGNED, BEING A LICENSED SURVEYOR OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE Laid OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____

SIGNED: _____

NAME & ADDRESS: _____

SOURCE OF TITLE: D.R. DEED BOOK 2001

PAGE: 3808

SUBSCRIBED AND SWORN BEFORE ME, THIS _____ DAY OF _____, 2016

NOTARY PUBLIC: _____

CERTIFICATE OF OWNERSHIP AND APPROVAL:
PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

SIGNED: _____

BENTONVILLE PLANNING COMMISSION CHAIRMAN

SIGNED: _____

MAYOR CITY OF BENTONVILLE

SIGNED: _____

CITY CLERK, CITY OF BENTONVILLE

CERTIFICATE OF SURVEY AND ACCURACY:
THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION: _____

SIGNED: _____

REGISTERED LAND SURVEYOR

NO STATE OF ARKANSAS



GRAPHIC SCALE (IN FEET)
1 Inch = 60ft

I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT
ON THIS THE 06th DAY OF JULY, 2016.

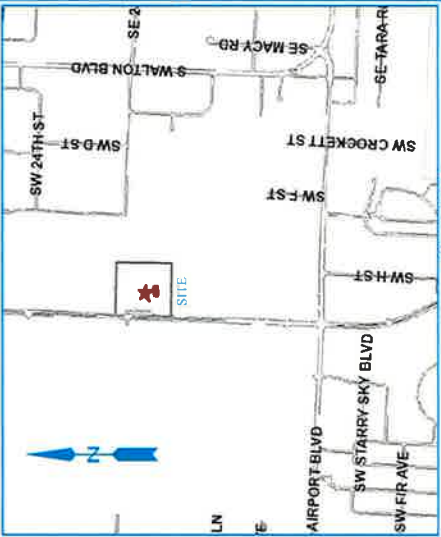


NOTE:
THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVEGROUND APURTENANCES. ALL UTILITY LINES APPEARING ON THIS PLAT, AS WELL AS THOSE THAT MAY EXIST UNDERGROUND, ARE TO BE EXAMINED PRIOR TO DOING ANY CONSTRUCTION. THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF ANY UTILITIES THAT MAY ALSO EXIST THAT WERE NOT SHOWN ON THIS PLAT.

FLOOD CERTIFICATION:
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN THE FLOOD HAZARD ZONE OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS (FIRM PANEL #6007C0255C, DATED 06/05/2012).

IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL AND NOT THE SIGNATURE OF THE SURVEYOR, THIS SEAL MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

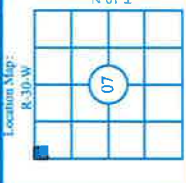
VICINITY MAP



RECORDING NUMBER/DATE:



LEGEND:
THESE STANDARD SYMBOLS WILL BE FOUND IN THE DRAWING:



Bates & Associates, Inc.
Civil Engineering, Land Surveying, Landscape Architecture
2708 S. Pleasant Ridge Dr. Fayetteville, Arkansas 72733 479-442-3330 Fax 479-431-5330
LATES & ASSOCIATES, INC. (Copyright 2016)
This survey was conducted for the project of personal vision shown on this plat. The plat is intended for the project of personal vision shown on this plat. The plat is intended for the project of personal vision shown on this plat. The plat is intended for the project of personal vision shown on this plat.

AGRACEL, INC.	FOR USE AND BENEFIT OF
DATE: 06/16/16	SCALE: 1"=60'
DRAWN BY: J. ST.	REVISIONS: 01
CHECKED BY: J. ST.	DATE: 07/26/16
APPROVED BY: J. ST.	DATE: 07/26/16

VICINITY MAP NOT TO SCALE

Planning Commission Staff Report

Lot Split: Lot 1 Calcon Subdivision

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: September 6, 2016

GENERAL INFORMATION:

Project Number: 16-05000031

Applicant: Calcon, Inc.

Representative: Bates & Associates (Justin Reid)

Requested Action: Lot Split Approval

Location: 10620 Southwest 2nd Street

Existing Zoning: PUD, Planned Unit Development

Land Use Plan: Agriculture

BACKGROUND:

The applicant has submitted a lot split for property located at 10620 Southwest 2nd Street in a Planned Unit Development zoning district. The plat as provided by the applicant indicates the creation of one new lot that will be known as Lot 1 (4.98 acres) of Calcon Subdivision. Additional right-of-way is being dedicated along Southwest 2nd Street per the current Master Street Plan. A 15' wide utility easement is also being dedicated along Southwest 2nd Street for a public water main extension to the west. The new lot will have access to public water and sewer service will be provided by the installation of a septic system.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	Benton County	Benton County – Undeveloped
South	Benton County & R-3, Medium Density Residential	Benton County – Single Family Residence
East	Benton County	Single Family Residence
West	Benton County	Benton County – Office/Warehouse

STREETS

Direction	Name	Classification
North	-	-
South	Southwest 2 nd Street	Arterial
East	-	-
West	-	-

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: No traffic data exists for this location.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this is the location of a vacant lot along a state highway in the southwest part of the city.

Drainage Report: A drainage report is not required for this lot split.

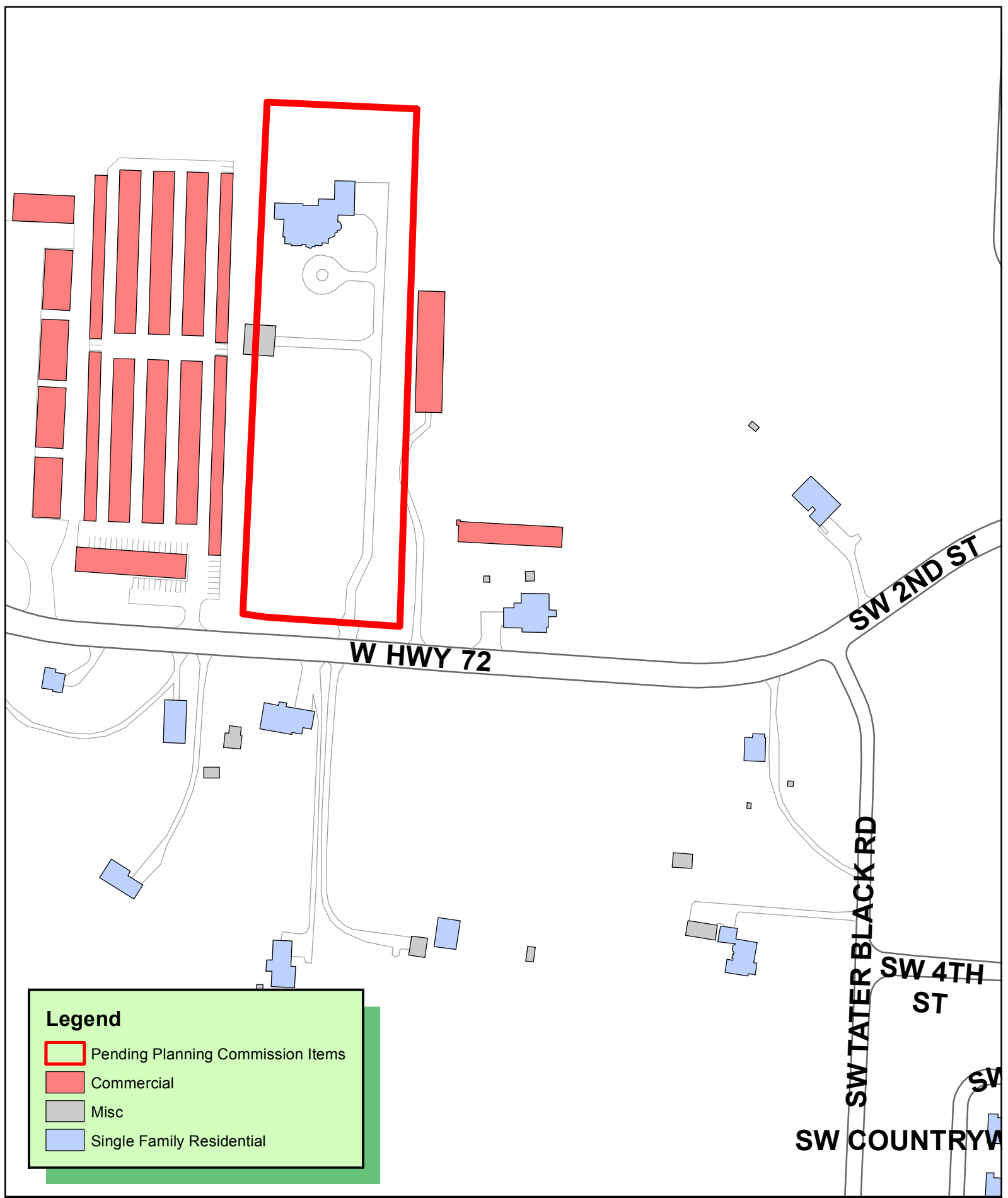
Water / Sewer: Per the G.I.S. site, water and sewer are currently in use on the site.

Waiver(s): N/A

Analysis / Conclusion: This lot split **DOES** meet the minimum requirements of the subdivision regulations.

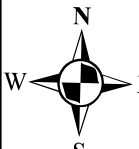
RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



Legend

- Pending Planning Commission Items
- Commercial
- Misc
- Single Family Residential



1 inch = 200 feet

16-05000031
LOT SPLIT
CALCON
LOT 1



LOT SPLIT CREATING LOT 1 OF CALCON SUBDIVISION

ADJACENT LAND OWNERS

1) VERNETTI PROPERTIES LLC
400 NW SADDLEBROOK DR
BENTONVILLE, AR 72712
PARCEL #18-10092-000
ZONED: BENTONVILLE PLANNING AREA
2) SMITH, DAVID G
909 LAKEVIEW DR
ROGERS, AR 72756-3010
PARCEL #18-09900-000
ZONED: CENTERTON PLANNING AREA
3) VANDERHOFF, HUDSON L II & PATRICIA A
PO BOX 549
CENTERTON, AR 72719-6549
ZONED: BENTONVILLE PLANNING AREA
4) SIMPSON, STEVEN R & TERRI D
510 TIGER BLVD
BENTONVILLE, AR 72712-4208
PARCEL #01-00942-470
ZONED: R-3
5) FOSTER, LAURA L TRUSTEE
PO BOX 114
HIWASSEE, AR 72739
PARCEL #18-10088-000
ZONED: BENTONVILLE PLANNING AREA

PROPERTY OWNER

CALCON INC
10636 HWY 72 W
BENTONVILLE, AR 72712-9017

PROPOSED USE

COMMERCIAL STORAGE FACILITY

ATLAS PAGE

400

CORNER REFERENCE #1:

- 1) N 60°31'55" E 9.30' TO A 12" ELM TREE.
2) N 73°40'04" E 12.57' TO A 18" OAK TREE.

NOTES PER THIS PLAT:

- 1) BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE IN THE RIGHT-OF-WAY.
2) OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EAST LOT HAS WATER, SEWER, AND ELECTRIC SERVICE.
3) SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.
4) THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.

FIELD WORK:

JULY 25, 2016

BASIS OF BEARING:

GPS OBSERVATION - AR NORTH ZONE

REFERENCE DOCUMENTS:

- 1) WARRANTY DEED FILED IN BOOK 2015 AT PAGE 27127
2) TRACT SPLIT SURVEY FOR ESHNAUR FAMILY TRUST FILED IN BOOK 2002 AT PAGE 148
3) TRACT SPLIT SURVEY FOR ESHNAUR FAMILY TRUST FILED IN BOOK P4 AT PAGE 196
4) TOPOGRAPHIC SURVEY FILED IN BOOK 2015 AT PAGE 293

PROPERTY ZONED:

PUD
VARIANCE FOR MINIMUM DISTRICT AREA REQUIREMENTS FOR A PUD APPROVED MAY 16, 2016

BUILDING SETBACKS:

FRONT 50ft (WITH PARKING IN FRONT)
FRONT 25ft (WITHOUT PARKING IN FRONT)
SIDE 10ft (ADJACENT TO ALL DISTRICTS)
REAR 25ft (ADJACENT TO ALL DISTRICTS)

SURVEY DESCRIPTION:

PARENT TRACT (PARCEL #18-10087-005):

A PART OF TRACT 2 AS RECORDED IN PLAT RECORD "P4" AT PAGE 196, SAID TRACT 2A AS SHOWN ON PLAT RECORD "2002" AT PAGE 148, BEING A PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 20 NORTH, RANGE 31 WEST, ALL IN BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING STATE MONUMENT MARKING THE NORTHWEST CORNER OF SAID FORTY ACRE AND RUNNING THENCE ALONG THE NORTH LINE THEREOF S87°21'46"E 247.91' TO AN EXISTING REBAR, THENCE LEAVING SAID NORTH LINE S01°52'33"W 861.37' TO AN EXISTING REBAR ON THE NORTH RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY #72, THENCE ALONG SAID RIGHT-OF-WAY N85°44'04"W 165.37' TO AN EXISTING RIGHT-OF-WAY MONUMENT, THENCE CONTINUING ALONG SAID RIGHT-OF-WAY N81°45'15"W 95.83' TO AN EXISTING REBAR, THENCE LEAVING SAID RIGHT-OF-WAY N02°43'35"E 847.23', TO THE POINT OF BEGINNING, CONTAINING 5.00 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

LOT 1 DESCRIPTION:

A PART OF TRACT 2 AS RECORDED IN PLAT RECORD "P4" AT PAGE 196, SAID TRACT 2A AS SHOWN ON PLAT RECORD "2002" AT PAGE 148, BEING A PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 20 NORTH, RANGE 31 WEST, ALL IN BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A EXISTING STATE MONUMENT MARKING THE NORTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE ALONG THE NORTH LINE THEREOF S87°21'46"E 247.91' TO AN EXISTING REBAR, THENCE LEAVING SAID NORTH LINE S01°52'33"W 856.20' TO A POINT ON THE NORTH MASTER STREET PLAN RIGHT-OF-WAY OF ARKANSAS STATE HIGHWAY #72, THENCE ALONG SAID RIGHT-OF-WAY N86°03'01"W 221.76', THENCE CONTINUING ALONG SAID RIGHT-OF-WAY N81°45'15"W 39.00' TO AN EXISTING REBAR, THENCE LEAVING SAID RIGHT-OF-WAY N02°43'35"E 847.23', TO THE POINT OF BEGINNING, CONTAINING 4.98 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

TOTAL ACREAGE
PARCEL #18-10087-005
5.00 ACRES +/-

LOT 1
4.98 ACRES +/-

NW CORNER
NE1/4, NE1/4
SECTION 34
T-20-N, R-31-W
COR. REF. #1

POB
PARENT TRACT
& LOT 1
CALCON SUBDIVISION

N: 749917.1
E: 646393.3

S 87°21'46" E
247.91'

CAP #1287
N: 749905.7
E: 646640.9

ACCEPTANCE:

APPROVED AND RECOMMENDED FOR ACCEPTANCE BY THE CITY PLANNING COMMISSION OF BENTONVILLE, ARKANSAS, THIS ____ DAY OF ____, 2016.

PLANNING COMMISSION CHAIRMAN

THIS PLAT IS HEREBY ACCEPTED BY THE BENTONVILLE CITY COUNCIL THIS ____ DAY OF ____, 2016.

MAYOR

THIS PLAT IS HEREBY ACCEPTED BY THE BENTONVILLE CITY COUNCIL THIS ____ DAY OF ____, 2016.

CITY CLERK

OWNER'S CERTIFICATION:

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC., AS SHOWN ON SAID PLAT.

DATE OF EXECUTION:

PRINTED NAME:

NAME & ADDRESS

SIGNATURE:

SOURCE OF TITLE: D.B. BOOK 2015, PAGE 27127

CERTIFICATE OF SURVEY AND ACCURACY:

DERRICK THOMAS, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION:

SIGNED:

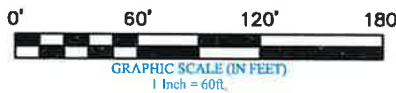
REGISTERED LAND SURVEYOR
NO. _____
STATE OF ARKANSAS

NOTE:

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES. ALL UTILITY LINES APPEARING ON THIS PLAT, AS WELL AS THOSE THAT MAY EXIST UNDERGROUND NEED TO BE VERIFIED PRIOR TO DOING ANY TYPE OF EXCAVATION OR DESIGN. SOME UTILITY LINES MAY ALSO EXIST THAT WERE NOT SHOWN ON THIS PLAT.

FLOOD CERTIFICATION:

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS.
(FIRM PANEL #05007C0235K, DATED 06/05/2012)



STATE RECORDING NUMBER:
500-20N-31W-0-34-110-04-1642

I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS THE 25TH DAY OF JULY, 2016.



IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL AND NOT BLUE IN COLOR THEN IT SHOULD BE ASSUMED THAT THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

VICINITY MAP



VICINITY MAP NOT TO SCALE

FOR USE AND BENEFIT OF:
JON CALLIS
CALCON, INC.

ADDRESS:
10636 HWY 72
BENTONVILLE, ARKANSAS

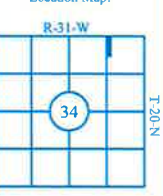
DATE: 8/16/2016
SCALE: 1"=60'
LOCATION: SECTION 34
TOWNSHIP: 20 NORTH
RANGE: 31 WEST



Bates & Associates, Inc.
Engineers - Surveyors - Landscape Architects
1330 S. Pleasant Ridge Dr. Fayetteville, Arkansas 72704 479 442 9300 Fax 479 521 9306

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This survey was conducted for the person or persons whose name(s) appear on this plat. This plat is provided by copyright. No one including the person(s) named may reproduce this plat without the express written consent of Bates & Associates, Inc. Surveyor has made no independent investigation for the existence of record, encroachments, restrictive covenants, zoning, title evidence, or any other facts which a complete and accurate title search may disclose. Any flood information provided on this plat is for information only and Bates & Associates, Inc. assumes no liability for the correctness of the survey data or any other information shown on this plat. This represents the opinion of Bates & Associates, Inc. of the probability of flooding.

Location Map:



LEGEND:

THESE STANDARD SYMBOLS WILL BE FOUND IN THE DRAWING.

- FOUND 5/8" REBAR
- SET 5/8" REBAR/CAP
- FOUND STATE MONUMENT
- RIGHT-OF-WAY MARKER
- CABLE PEDESTAL
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- POWER POLE

- ADJACENT PROPERTIES
- BOUNDARY LINE (MEASURED)
- BOUNDARY LINE (PREVIOUS)
- ADJACENT PROPERTY LINE
- CENTERLINE OF ROAD
- RIGHT-OF-WAY
- UTILITY EASEMENT



RECORDING NUMBER/DATE

Planning Commission Staff Report
Property Line Adjustment: Lots 88 & 89 of Heathrow Subdivision

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: September 6, 2016

GENERAL INFORMATION:

Project Number: 16-07000021

Applicant: Open Spaces Forever, LLC, Bentonville/Bella Vista Trailblazers Association & H CO, LLC

Representative: Sand Creek Engineering (Ken Booth)

Requested Action: Property Line Adjustment Approval

Location: Stonehenge Drive & North Walton Boulevard

Existing Zoning: R-1, Single Family Residential

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a property line adjustment for property located north of the intersection of Stonehenge Drive and North Walton Boulevard in an R-1, Single Family Residential zoning district. The plat as provided by the applicant indicates the creation of two new lots from all or portions of 10 exiting lots that will be known as Lot 88 (2.14 acres) and Lot 89 (1.83 acres) of Heathrow Subdivision. Both of the new lots will be non-buildable and Lot 88 will be exclusive to trail construction only. A 20' wide utility easement is also being dedicated for an existing public sewer main that resides on Lot 89. Both of the new lots will have access to public water and sewer services.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-1, Neighborhood Commercial	Vacant commercial lot
South	R-O, Residential Office	
East	C-2, General Commercial & R-1, Single Family Residential	Vacant commercial lot & Single Family Residence
West	R-1, Single Family Residential	Single Family Residences

STREETS

Direction	Name	Classification
North	-	-
South	Stonehenge Drive	Local
East	North Walton Boulevard	Arterial
West	-	-

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows: N/A.

(b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is the location of two vacant non-buildable residential lots. A portion of the North Walton Trail resides on the new Lot 88.

Drainage Report: A drainage report is not required for this property line adjustment.

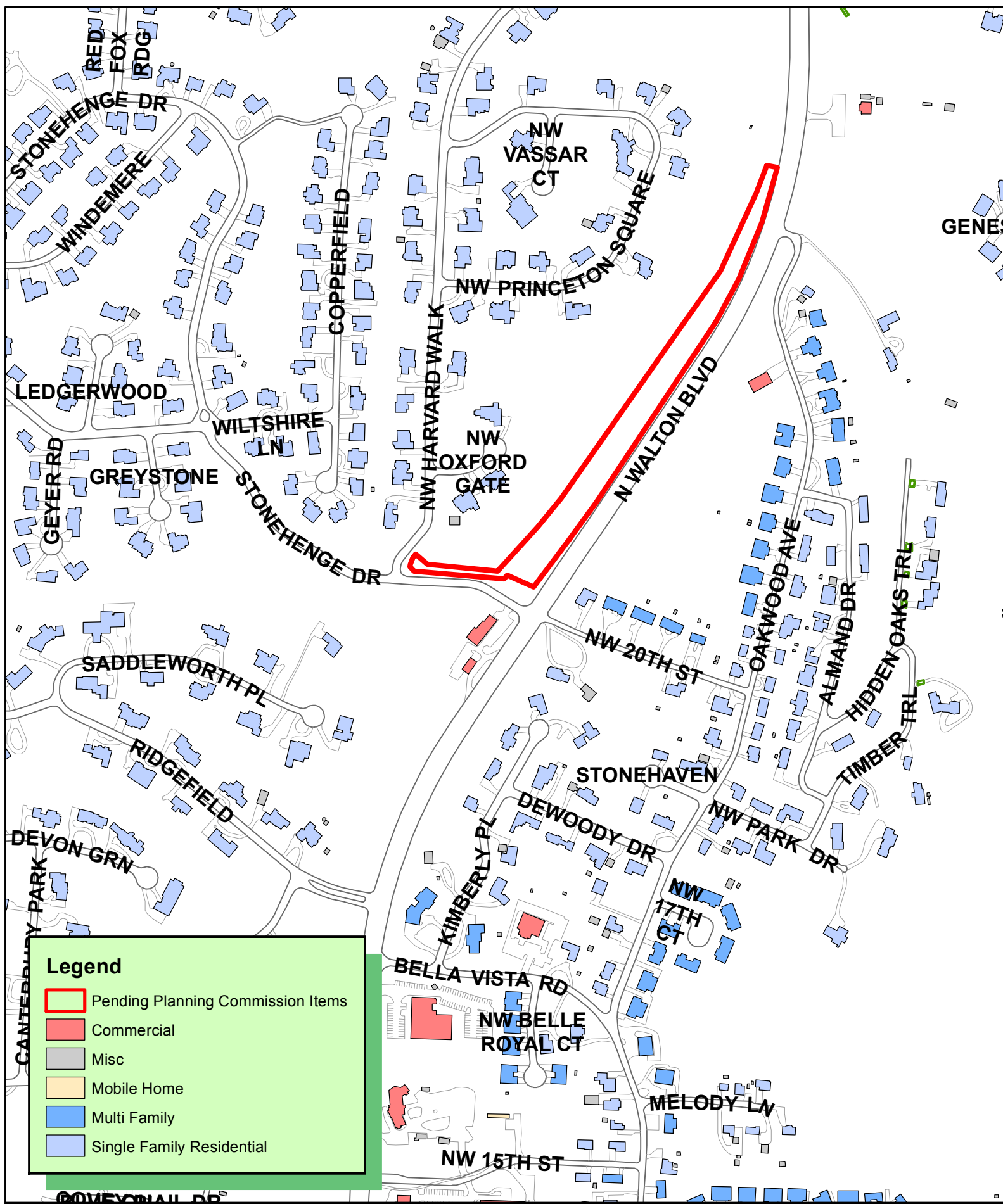
Water / Sewer: Per the G.I.S. site, water and sewer are currently in use on site.

Waiver(s): N/A

Analysis / Conclusion: This property line adjustment **DOES** meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



Planning Commission Staff Report

Large Scale Development: Speedy Splash Car Wash

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: September 6, 2016

GENERAL INFORMATION:

Project Number: 16-06000031

Applicant: Speedy Splash Car Wash AR, LLC

Representative: Harrison French & Associates (Ryan Gill)

Requested Action: Large Scale Development Approval

Location: 216 Southeast Walton Boulevard

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a Large Scale Development for a 5,864 sq. ft. drive through car wash facility located at 216 Southeast Walton Boulevard in the C-2, General Commercial zoning district. Nineteen (19) parking spaces are being provided. Ingress/egress to the site will be from an existing private drive (Southeast Guess Who Drive) that has direct access to Southeast Walton Boulevard and Southeast 'C' Street. A 6' wide sidewalk will be constructed along Southeast Walton Boulevard and Southeast 'C' Street. All stormwater run-off will be detained on-site. Additional right-of-way will be dedicated by a separate document to accommodate the sidewalk construction along Southeast 'C' Street. Half street road improvements will be constructed along Southeast 'C' Street per the current Master Street Plan. All proposed landscaping meets ordinance. The proposed materials along the exterior of the building are split faced CMU, fiber cement panels, store front glass, aluminum awnings and EFIS trim.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front with Parking:	50' min	104' North
Front without Parking:	20' min	-
Side: Adjacent to non-residential	7' min	60' West & 45' East
Side: Adjacent to residential	30' min	-
Rear: Adjacent to non-residential	20' min	101'/South
Rear: Adjacent to residential	30' min	-
Height	60'	26'
Landscape Coverage	8%	8+%
Parking		
Standard Stalls	10	18
Handicap Stalls	1	1
Total:	11	19

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Hotel
South	C-2, General Commercial	Liquor store and fueling station
East	C-2, General Commercial	Vacant bank/office building
West	C-2, General Commercial	Retail/Office/Restaurant under construction

STREETS

Direction	Name	Classification
North	Southwest 20 th Street	Local
South	-	-
East	South Walton Boulevard	Arterial
West	-	-

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this is the location of a vacant commercial lot along an established commercial corridor in the southeast part of the city.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

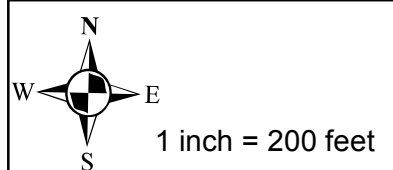
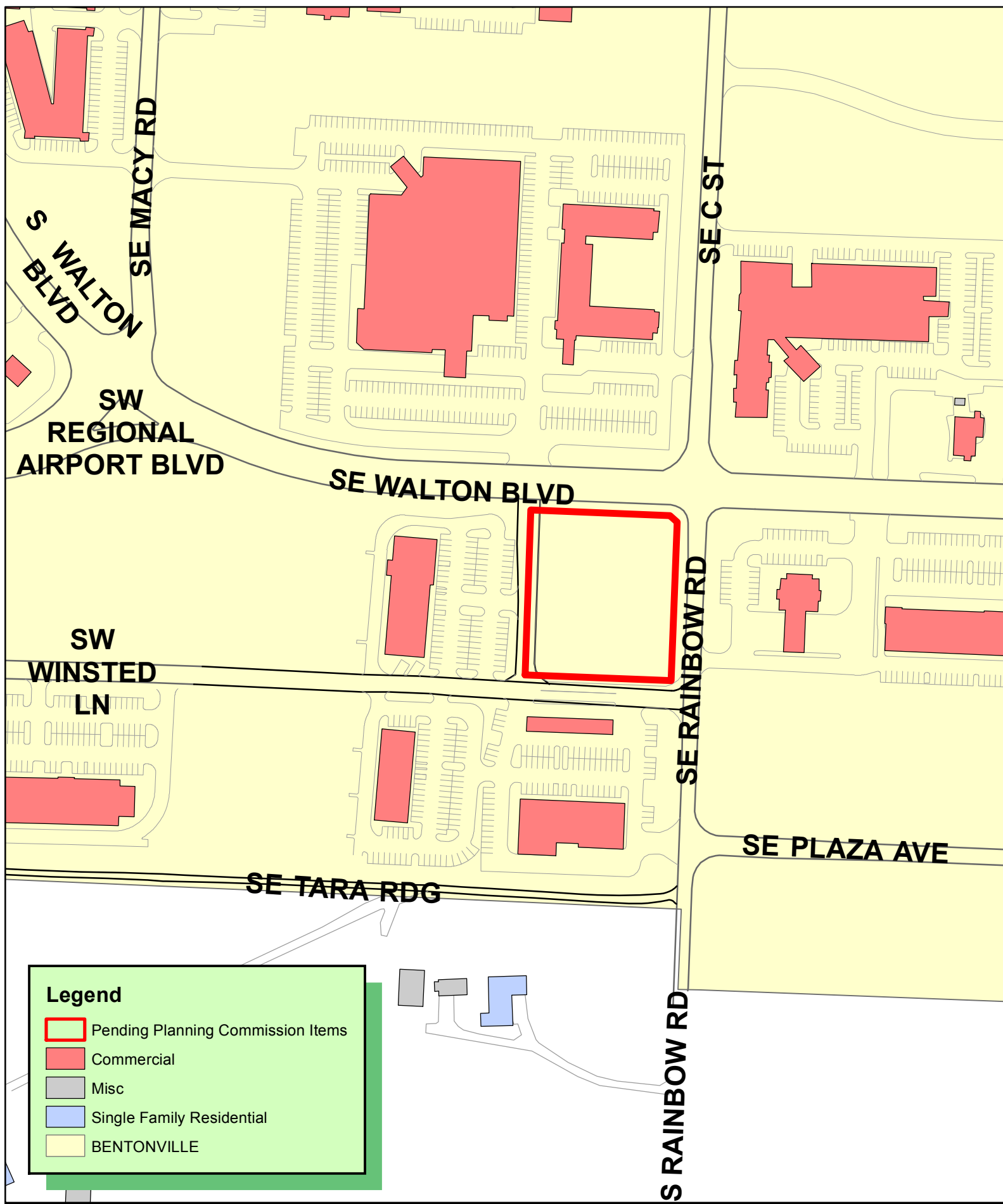
Water / Sewer: Per the G.I.S. site, water and sewer ARE available to this site.

Waiver(s): N/A

Analysis / Conclusion: This large scale development **DOES** meet the minimum requirements of the subdivision regulations.

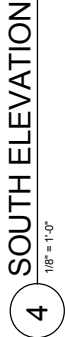
RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



16-06000031
LARGE SCALE DEVELOPMENT
SPEEDY SPLASH CAR WASH
216 SE WALTON BLVD







REZONING: CAPSTONE INVESTMENT GROUP, LLC

PC Date: 9/6/2016

510 Southwest 'E' Street

From: R-O, Residential Office

To: R-C2, Central Residential - Moderate Density

Recommendation: Approval

Reviewer: Jon Stanley, Planner

Project Number	15-09000009
Applicant / Current Owner	Capstone Investment Group, LLC PO Box 1915 Bentonville, Arkansas
Site Area	.26 acre
Current Zoning	R-O, Residential Office
Requested Zoning	R-C2, Central Residential - Moderate Density
Future Land Use Map Designation	Downtown Mixed Use Residential (DMUR)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Property Description

This property is the location of a single family residence adjacent to a major commercial office complex.

Projected Traffic Impact

The proposed zoning designation will not adversely impact traffic in the area. The downtown street grid will provide multiple options for ingress and egress.

Utility Infrastructure

Water and sewer is available along Southwest F Street on the east side of the property.

Relationship to the General Plan

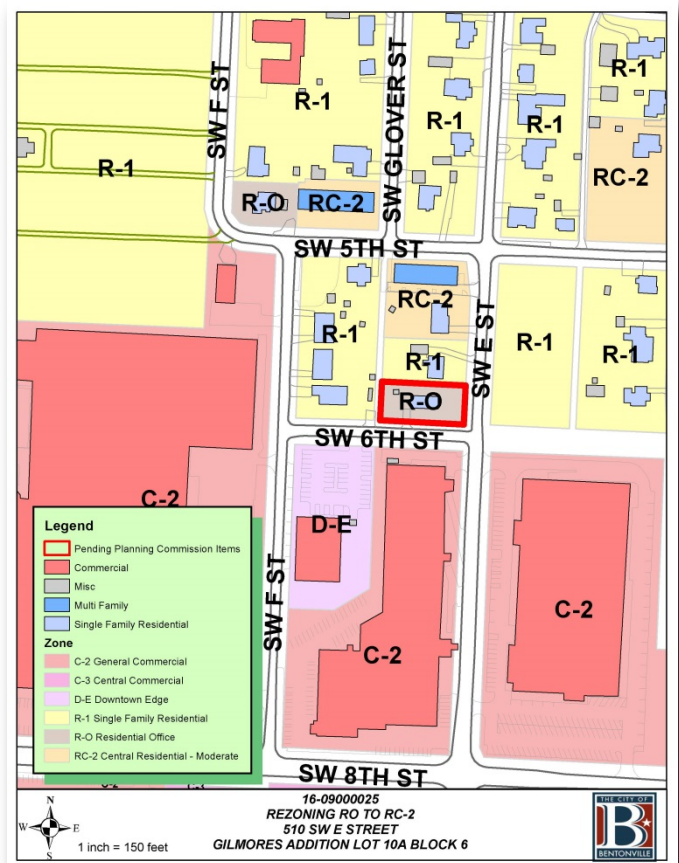
The master land use plan depicts this property as Downtown Mixed Use Residential. The RC-2 zoning is an appropriate zoning district for this designation.

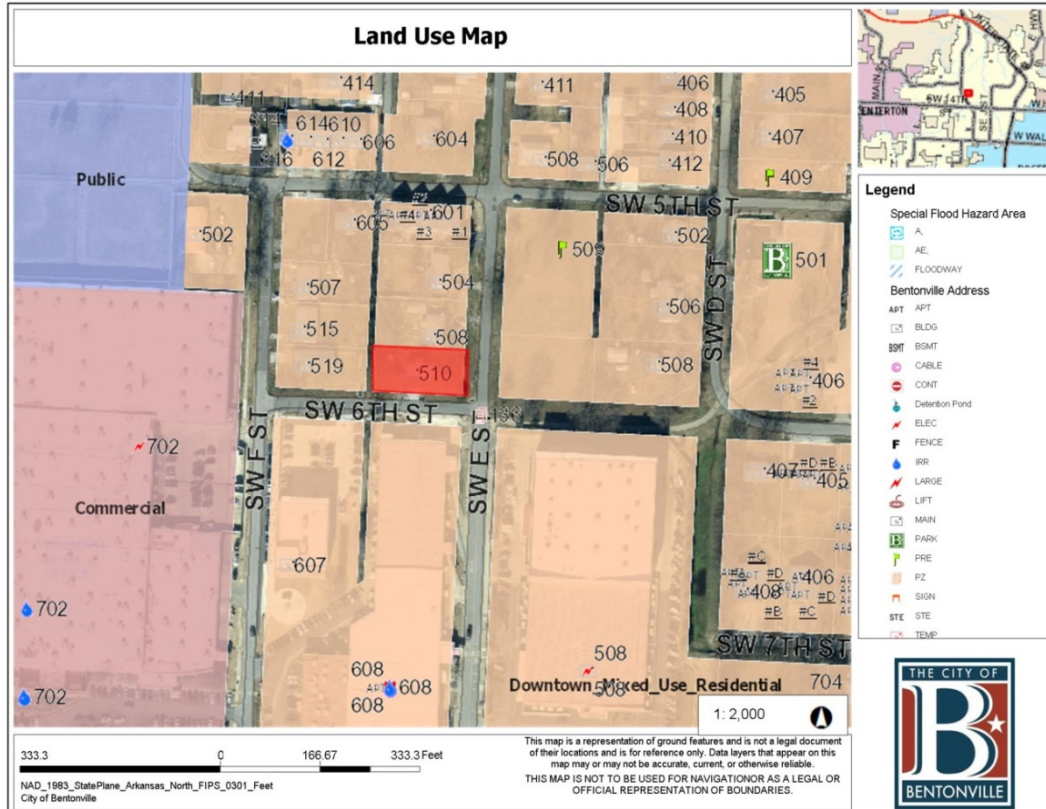
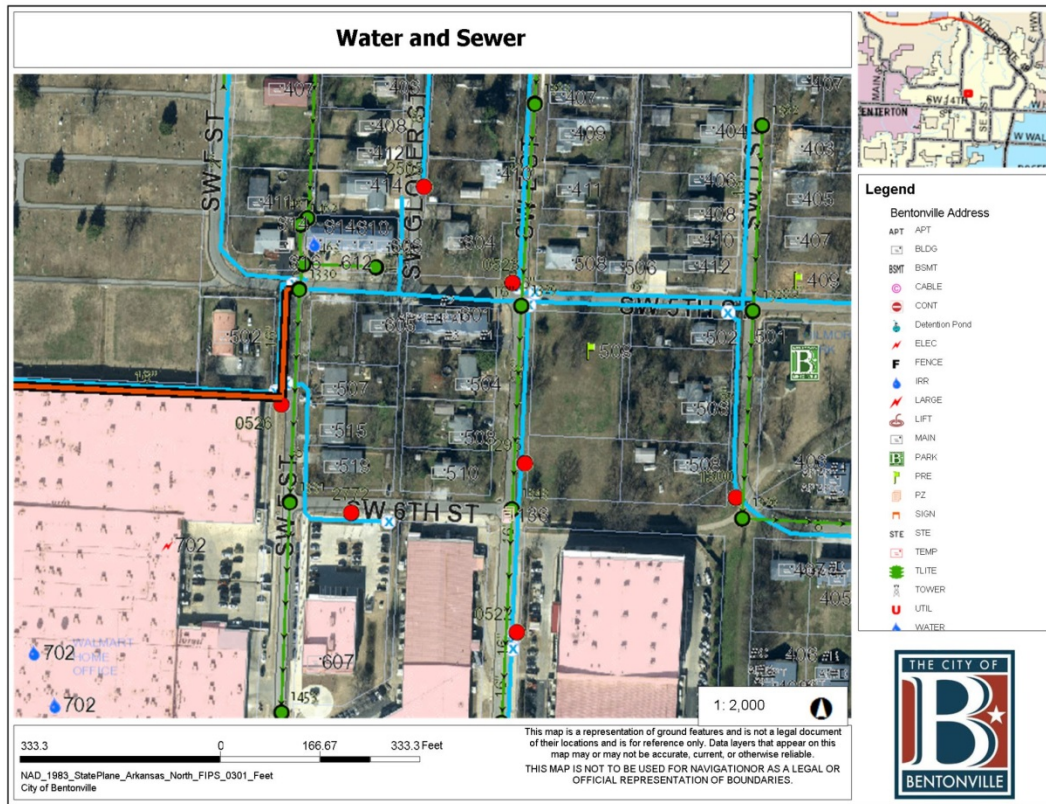
ANALYSIS, CONCLUSION AND SUMMARY

The RC-2, Central Residential-Moderate Density zoning designation will allow for the construction of a variety of single family housing types. The additional density within this district will reduce the impact on the transportation network while utilizing the existing utility infrastructure. The additional housing choices will help support the growing commercial uses within the downtown Arts District.

RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends APPROVAL of this rezoning from R-O, Residential Office to RC-2, Central Residential-Moderate Density.





5. Narrative

State the current zoning designation and proposed zoning designation. Explanation of the proposed zoning change including current owner information and any proposed sales.

The current Zoning is R-O, and proposed zoning designation is R-C2 Central Residential-Moderate Density. The proposed R-C2 Central Residential-Moderate zoning request is to build town houses for rental purposes. The current owners of this property is CAPSTONE INVESTMENTS GROUP LLC.

Reason (need) for requesting the zoning change.

Purpose of the rezone is to build town houses for rental purposes. R-O zoning does not allow

Statement of how the property will relate to surrounding properties.

The new town Homes will blend with existing residential and other town homes in the same area provide Housing for Wal-Mart employees and others looking for newer housing in that area

Use.

Town Homes

Traffic.

Easy access from 8th street

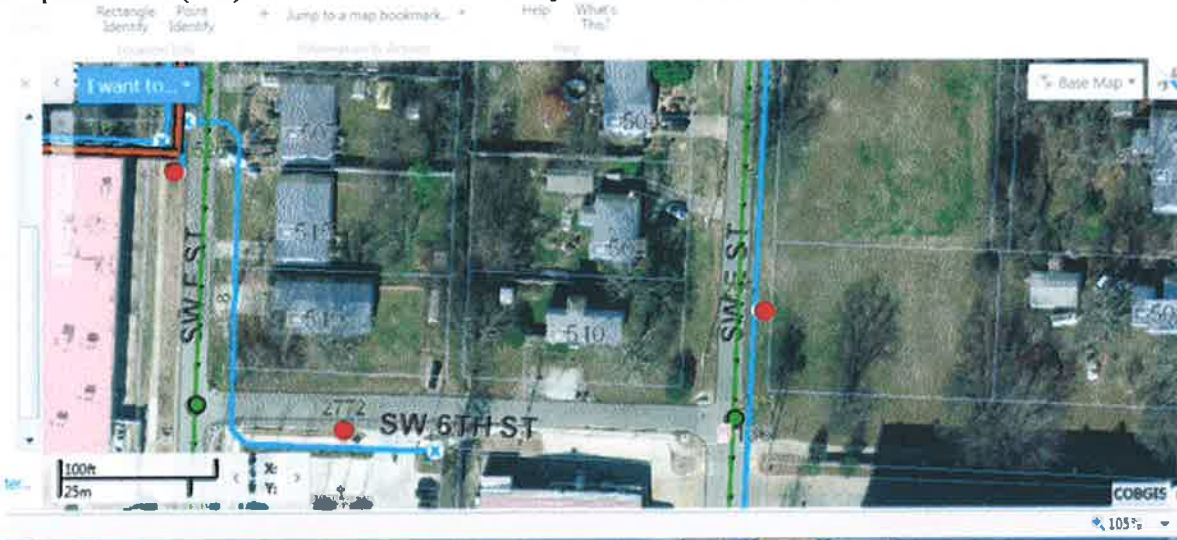
Signage.

None

Appearance.

Will improve the neighborhood

Availability of water and sewer (state size of lines). If direct water and / or sewer is not available, state how lines will be accessed and connected. This information is available from the Water Department at (479) 271-3141 or off of the City of Bentonville's G.I.S. site.



Utilities will need to be extended to each lot from E Street. A 186' sewer main and water extension will be required..

Planning Commission Staff Report

Large Scale Development: Women's Health Associates

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: September 6, 2016

GENERAL INFORMATION:

Project Number: 16-06000032

Applicant: Dynamic Development, Inc.

Representative: CEI Engineering Associates (Nathan Bachelor)

Requested Action: Large Scale Development Approval

Location: 500 Southeast Plaza Avenue

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a Large Scale Development for a 9,070 sq. ft. single story office building located at 500 Southeast Plaza Avenue in the C-2, General Commercial zoning district. Forty Five (45) parking spaces are being provided. Ingress/egress to the site will be from two proposed curb cuts on Southeast Plaza Avenue. A 5' wide sidewalk will be constructed along Southeast Plaza Avenue. A regional stormwater detention pond exists immediately to the west of the project site and will be utilized to detain any stormwater run-off from the project. A pedestrian connection will be provided to the sidewalk along Southeast Plaza Avenue and to the Community Center trail located along the southern property line of the project site. All proposed landscaping meets ordinance. The exterior of the building will be constructed of brick, stone veneer, composite wall panels, store front glass and metal trim.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front with Parking:	50' min	78' North
Front without Parking:	20' min	-
Side: Adjacent to non-residential	7' min	16'/West & 75' East
Side: Adjacent to residential	30' min	-
Rear: Adjacent to non-residential	20' min	23'/South
Rear: Adjacent to residential	30' min	-
Height	60'	20'
Landscape Coverage	8%	8+%
Parking		
Standard Stalls	29	43
Handicap Stalls	2	2
Total:	31	45

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Undeveloped Commercial Lot
South	City of Rogers	Undeveloped
East	C-2, General Commercial	Undeveloped Commercial Lot
West	C-2, General Commercial	Regional Stormwater Detention Basin

STREETS

Direction	Name	Classification
North	Southeast Plaza Avenue	Local
South	-	-
East	-	-
West	-	-

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this is the location of a vacant commercial lot along an established commercial corridor in the southeast part of the city.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

Water / Sewer: Per the G.I.S. site, water and sewer ARE available to this site.

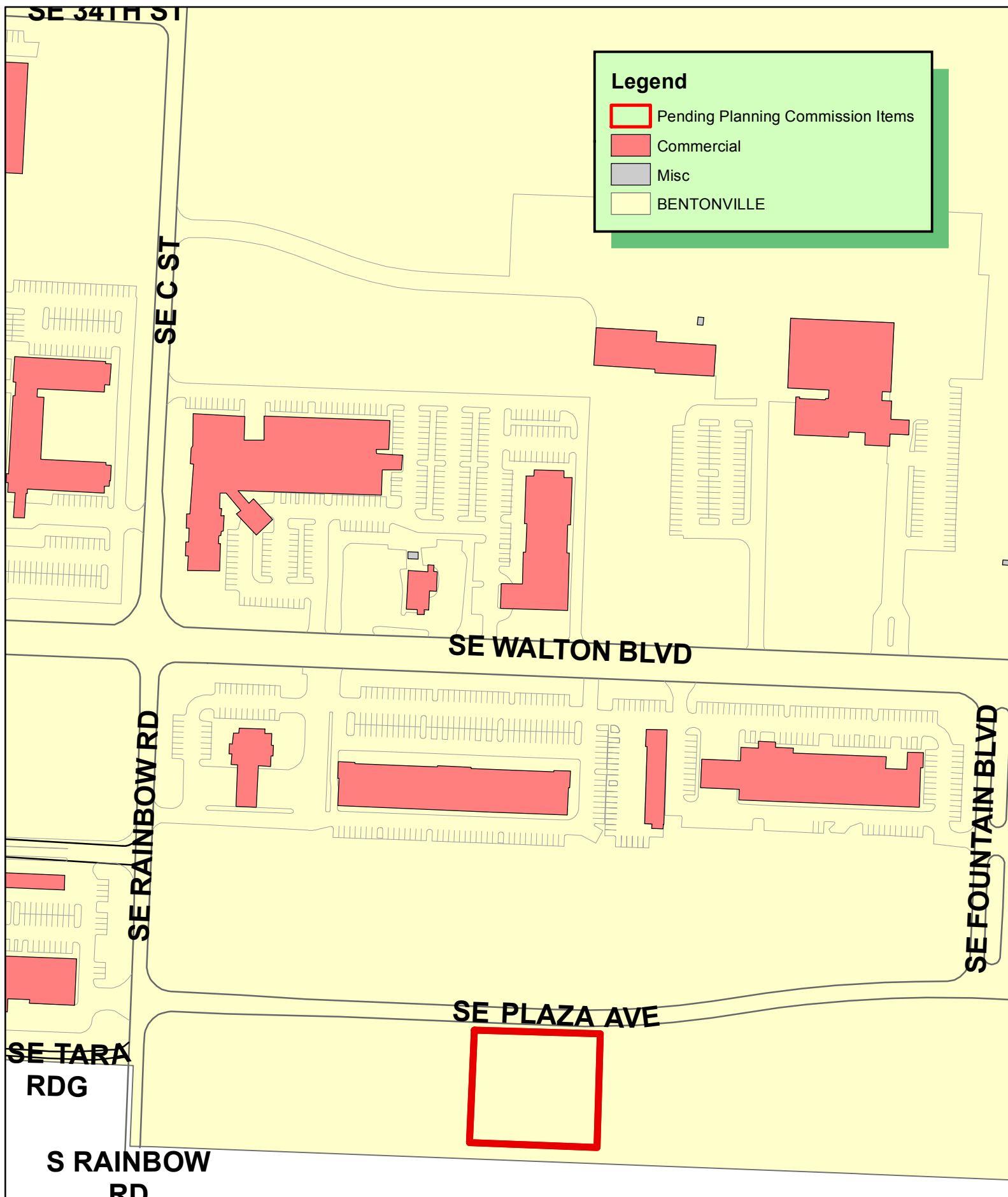
Waiver(s):

- The applicant has request a waiver to the Article 1400, Section 1400.6.A.1, Street Frontage Buffer, Minimum Width. Ordinance states that “The Landscaped street frontage buffer shall be a minimum of twenty (20) feet. The applicant is requesting 15’ of street frontage buffer be allowed to accommodate the depth of the property being reduced by the donation of land for the trail system along the southern property line.

Analysis / Conclusion: This large scale development **DOES NOT** meet the minimum requirements of the subdivision regulations due to the waiver request.

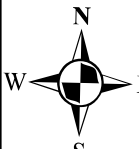
RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



Legend

- Pending Planning Commission Items
- Commercial
- Misc
- BENTONVILLE



1 inch = 200 feet

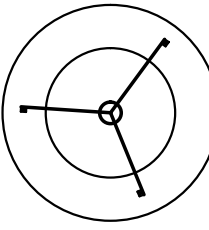
16-06000032
LARGE SCALE DEVELOPMENT
WOMENS HEALTH ASSOCIATION
500 SE PLAZA AVE





50A
TREE PLANTING
N.T.S.

N.T.S.

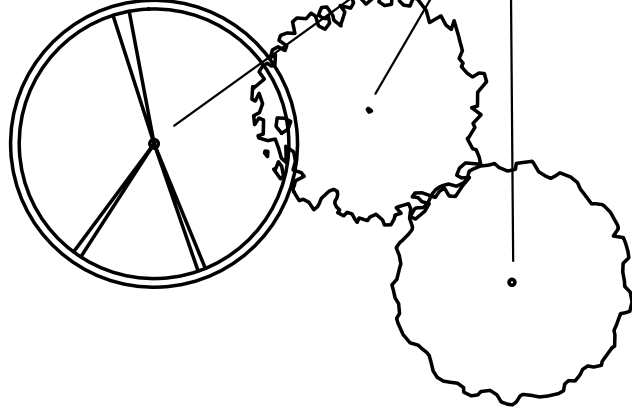


PLAN

- 8" 2-PLY RUBBER HOSE
WHITE FLAGGING (TYP.)
COURTESY STANLEY
COURTESY STANLEY
PAINTED FLUORESCENT ORANGE
- TREE WRAP
4 INCHES MULCH
4 INCH DEEP SAUCER
8" STEEL TEE POST - 3 REQUIRED AT 120'
BACKFILL MIX
UNDISTURBED SUBSOIL
REMOVE BURLAP & ROPE FROM
TOP 1/3 OF THE BALL

REMOVE BURLAP & ROPE FROM
TOP 1/3 OF THE BALL

NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.



QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
7	RED BIRCH <i>Betula nigra</i>	BAB	2.5' CAL	PLANT AS SHOWN
19	RED MAPLE <i>Acer rubrum</i>	BAB	2.5' CAL	PLANT AS SHOWN
5	GOLDENRAINTREE <i>Koeleria paniculata</i>	BAB	2.5' CAL	PLANT AS SHOWN

PLANT LIST

1. CONTRACTOR IS RESPONSIBLE FOR THE INSURING THAT ALL PROPOSED SPECIFICATIONS ARE APPLICABLE AND ALL LOCAL CODES AND REQUIREMENTS.
2. CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONS OF EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PLANT, DIMENSIONS, SPECIFICATIONS AND APPLICABLE CODES AND REQUIREMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR WORK IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS AND APPLICABLE CODES AND REQUIREMENTS.
4. QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLANT TIES PRECEDENCE OVER TABLE QUANTITIES.
5. IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNERS REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF ANY SPECIFIED PLANT MATERIAL. CONTRACTOR SHALL PROVIDE ALTERNATE REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WHO WILL PROVIDE ALTERNATE PLANT MATERIAL SPECIFICATIONS IF UNAVAILABILITY OCCURS; SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A REDUCTION IS DUE TO THE OWNER.
6. ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
7. CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS OWN WEIGHT.
8. ALL PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
9. THE OWNERS REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
10. COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS AND SOIL IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
11. REQUIRED CONTRACTOR TO ENSURE THAT ALL UTILITIES BELOW GROUND SYSTEMS ARE IDENTIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES PRIOR TO INSTALLING TREES. THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SENSITIVITY TESTING PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STOPPING ALL CONSTRUCTION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
12. ALL SLORES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED TO MATCH EXISTING SURFACE. CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY UTILITIES THAT ARE IN THE AREA. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
13. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL EXISTING UTILITIES AND THE LOCATION OF ANY EXISTING BURIED UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ALL EXISTING UTILITIES LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITIES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES 4) TO PROTECT ALL EXISTING UTILITIES 5) AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR THE INSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
2. CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR WORK IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS AND APPLICABLE CODES AND REQUIREMENTS.
4. QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. UNDESIRABLE MATERIAL QUANTITIES SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
5. IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNERS REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANTS. PROVIDE AN ALTERNATE PLANT OR PLANTS TO THE REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WHO WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
6. ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
7. CONTAINER GROWN STOCK SHOULD HAVE DEVELOPED IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE GROWN SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
8. ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
9. THE OWNERS REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
10. COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
11. IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM BE INSTALLED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ADVISE ARCHITECT OF INSTALLING TREES. THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. CONTRACTOR SHALL MAINTAIN IRRIGATION SYSTEM THROUGHOUT CONSTRUCTION. SENSOR INDICATING STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
12. ALL SLORES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FREE OF ROCKS OR OTHER HAZARDOUS MATERIALS. ACCURATE TOPSOIL IS NOT REQUIRED WHERE IT IS NOT SHOWN ON PLANS. TOPSOIL SHALL BE APPLIED TO ALL AREAS DISTURBED BY THE OWNER AS NEEDED. THE AREA SHALL THEN BE SEED/SODD AS REQUIRED.
13. FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. CONTRACTOR SHALL MAINTAIN MULCH THROUGHOUT CONSTRUCTION UNTIL SUCH FERT AS THERE IS RELY VALUISHED. ANY AREAS DESTROYED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
14. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING EXISTING UTILITIES AND RECORDING THEIR LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATIONS DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE UTILITY CONTRACTORS RESPONSIBILITY TO OBTAIN THE NECESSARY RECORD DRAWING LINES AND ADJACENT TO THE WORK AREA 2). TO PROTECT ALL OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD TO REMAIN ANY AND ALL DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE UTILITY COMPANY AT NO COST TO THE OWNER. RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.

LANDSCAPE REQUIREMENTS				
		REQUIREMENT	REQUIRED	PROPOSED
STREET		1 TREE PER 20 L.F.	217 L.F.	11
INTERIOR		2 SHADE TREES PER ISLAND	4 ISLANDS	8 TREES
INTERIOR GREENSPACE		8 % INTERIOR PARKING AREA, 16,865 S.F.	1,349 S.F.	1,640 S.F.
PERIMETER		1 SHADE TREE PER 50 L.F.	588 L.F.	14

LANDSCAPE REQUIREMENTS

	REQUIREMENT	REQUIRED	PROPOSED
STREET	1 TREE PER 20 L.F.	217 L.F.	11
INTERIOR	2 SHADE TREES PER ISLAND	4 ISLANDS	6
INTERIOR GREENSPACE	8 % INTERIOR PARKING AREA, 16,665 S.F.	1,349 S.F.	1,640 S.F.
PERIMETER	1 SHADE TREE PER 50 L.F.	598 L.F.	14

LEGEND

EXISTING		OVERHEAD ELECTRIC		OVERHEAD TELEPHONE	
9	NORTH	—	OHT	—	OVERHEAD TV
10	OVERHEAD	—	OHTV	—	SANITARY SEWER
5	SOUTH OR SEWER	—	X'SS	—	UNDERGROUND ELECTRIC
10	UNDERGROUND	—	UGE	—	UNDERGROUND ELECTRIC AND TELEPHONE
10	WEST OR WATER	—	UGE&T	—	UNDERGROUND TELEPHONE
10	PROPERTY LINE	—	UGT	—	UNDERGROUND TV
10	RIGHT OF WAY LINE	—	UGTV	—	WATER
10	STORM DRAIN	—	X'W	—	—
10	GAS	—	—	—	—
10	OVERHEAD ELECTRIC	—	5'-10-11	50.5	—
10	OHE	—	—	—	—
10	OHE&T	—	—	—	—

PROPOSED

PROPERTY LINE/RIGHT OF WAY LINE

STORM DRAIN

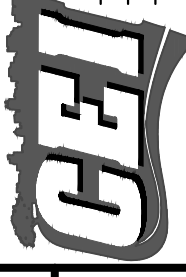
LIMITS OF SITE TRIANGLE

LIMITS OF INTERIOR PARKING ISLANDS

TYPICAL PLANTING WITH QUANTITY AND KEY
(SEE PLANT LIST)

PROPOSED

14. WEED MAT IS REQUIRED IN LANDSCAPED AREAS AS SPECIFIED.
15. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
16. IF SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED. TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
17. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
18. ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOWN WITH GRASS SEED MIX OF 10% BERMAUDA (4 TBS) / 100% 95°.
19. SEEDING SHALL BE HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. CONTRACTOR SHALL HYDROSEED WITH GRASS SEED AND HYDROSEED MIXTURE COMPOSED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE GEL APPLIED AT A RATE OF 2,000 LBS./ACRE. WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER 14 DAYS, CONTRACTOR SHALL HYDROSEED WITH GRASS SEED AND HYDROSEED MIXTURE LONGER THAN 2 HOURS. BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE GRADING PLAN. CONTRACTOR SHALL SEE SPECIFICATIONS FOR SOIL SEEDING ESTABLISHMENT REQUIREMENTS.
20. ALL PLANT MATERIAL IN TREE-PLACING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL ROOTED.
21. ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL CITY UTILITIES.
22. ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED. (SEE 1400.5 C-10)
23. TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE MAINTENANCE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEE 1400.5 C-11)
24. HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF THE ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEE 1400.5 C-12)
25. LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVERS (IE. JUNCHEER OR LIRIOPE, ETC.) SHALL COVER A MINIMUM OF EIGHTY PERCENT OF THE EXPOSED SOIL SURFACE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING MATERIALS IS STRONGLY ENCOURAGED. (SEE 1400.6 A-8 & 1400.9 C-7)



3108 S.W. REGENCY PARKWAY, SUITE 2
Bentonville, AR 72712

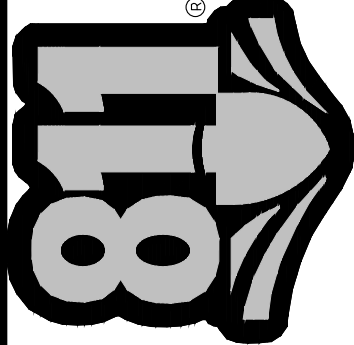
MANAGEMENT LIFE

500 SE PLAZA AVE.
BENTONVILLE, ARKANSAS

LANDSCAPE PLAN

DATE
22/16
EV-1

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**Know what's below.
Call before you dig.**



SITE BENCHMARK

MARK 1: APPROX. 40' NORTH OF NORTHWEST PROPERTY LINE. CEI SET MAG NAIL.

ELEV=1288.72
MARK 2: APPROX 40' NORTH OF NORTHEAST

PROPERTY LINE, CEI SET MAG NAL.
FIFV#1298.07

North Elevation - Main Entrance

BRICK MASONRY	1,238 SF	48%
STOREFRONT	612 SF	24%
SIMULATED STONE	182 SF	7%
COMPOSITE WALL PANELS	444 SF	17%
PREFINISHED METAL PARAPET CAP	67 SF	3%
TOTAL	2,544 SF	

South Elevation

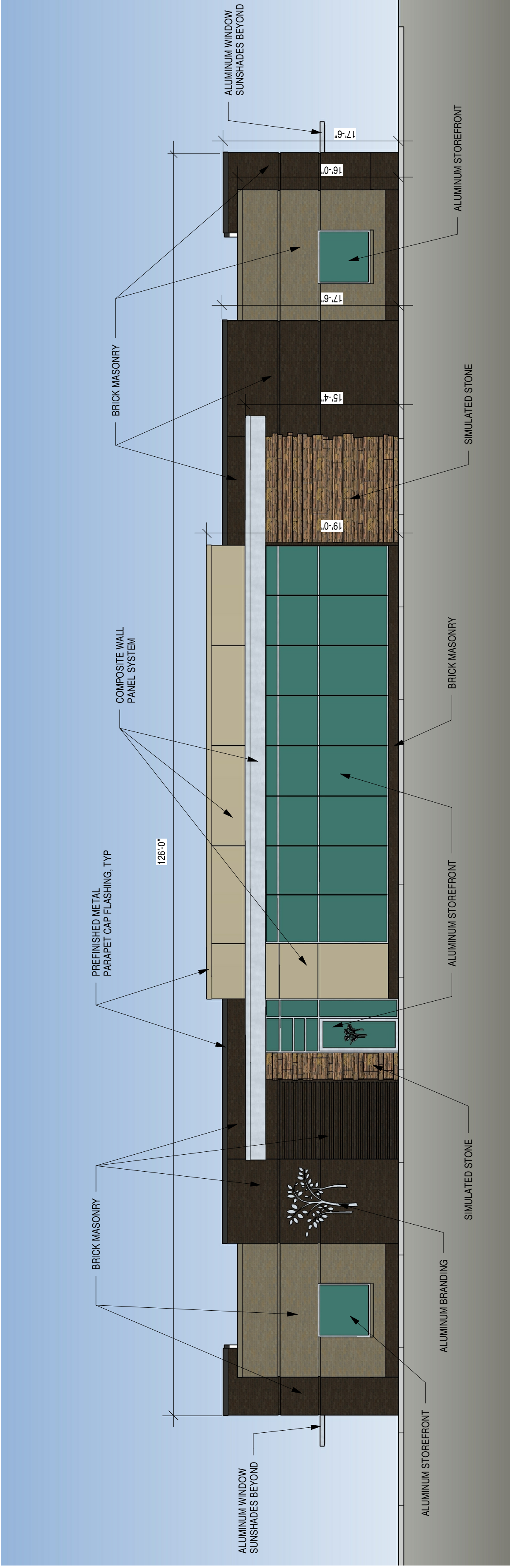
BRICK MASONRY	1,686 SF	85%
STOREFRONT	213 SF	4%
PREFINISHED METAL PARAPET CAP	82 SF	11%
TOTAL	1,980 SF	

East Elevation

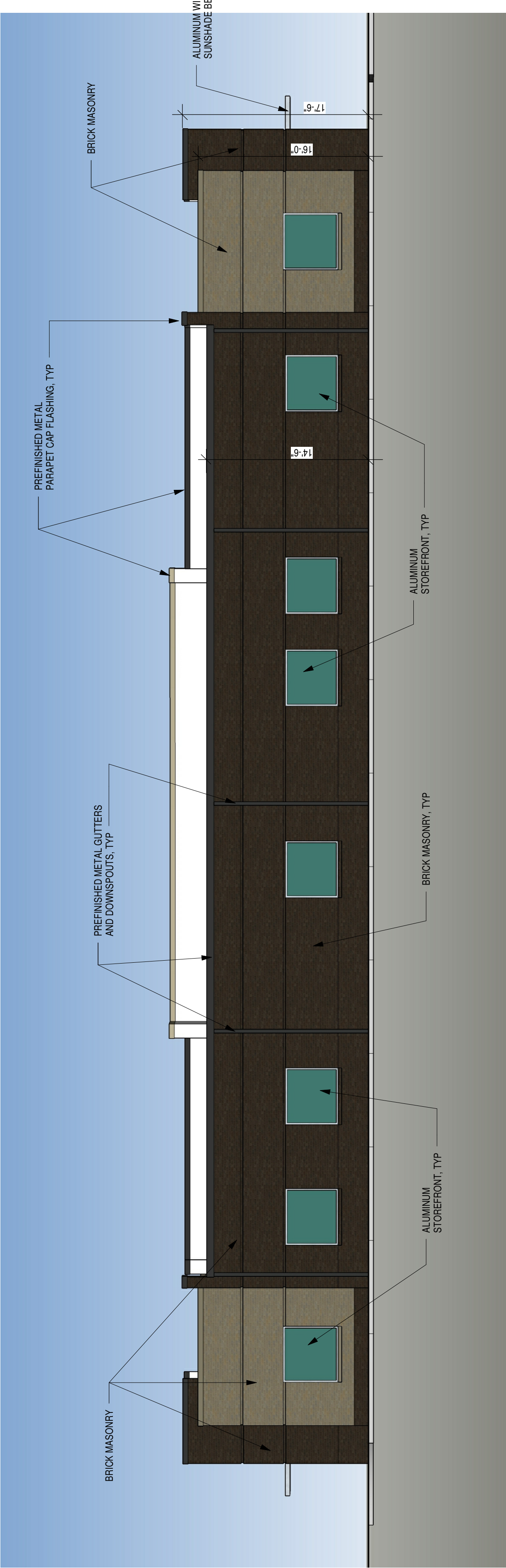
BRICK MASONRY	821 SF	61%
STOREFRONT	276 SF	20%
SIMULATED STONE	78 SF	6%
COMPOSITE WALL PANELS	97 SF	7%
PREFINISHED METAL PARAPET CAP	45 SF	3%
PREFINISHED METAL WALL PANELS	40 SF	3%
TOTAL	1,357 SF	

West Elevation

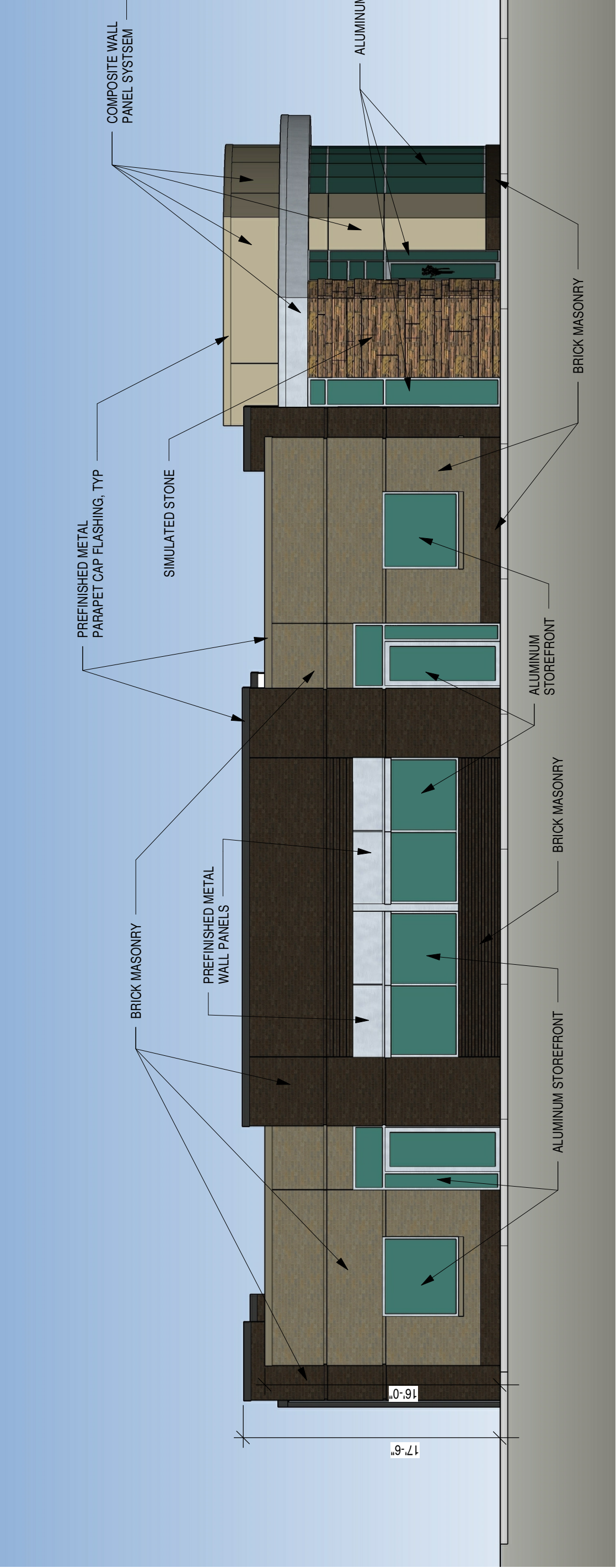
BRICK MASONRY	882 SF	55%
STOREFRONT	281 SF	19%
SIMULATED STONE	182 SF	12%
COMPOSITE WALL PANELS	115 SF	8%
PREFINISHED METAL PARAPET CAP	46 SF	3%
PREFINISHED METAL WALL PANELS	40 SF	3%
TOTAL	1,486 SF	



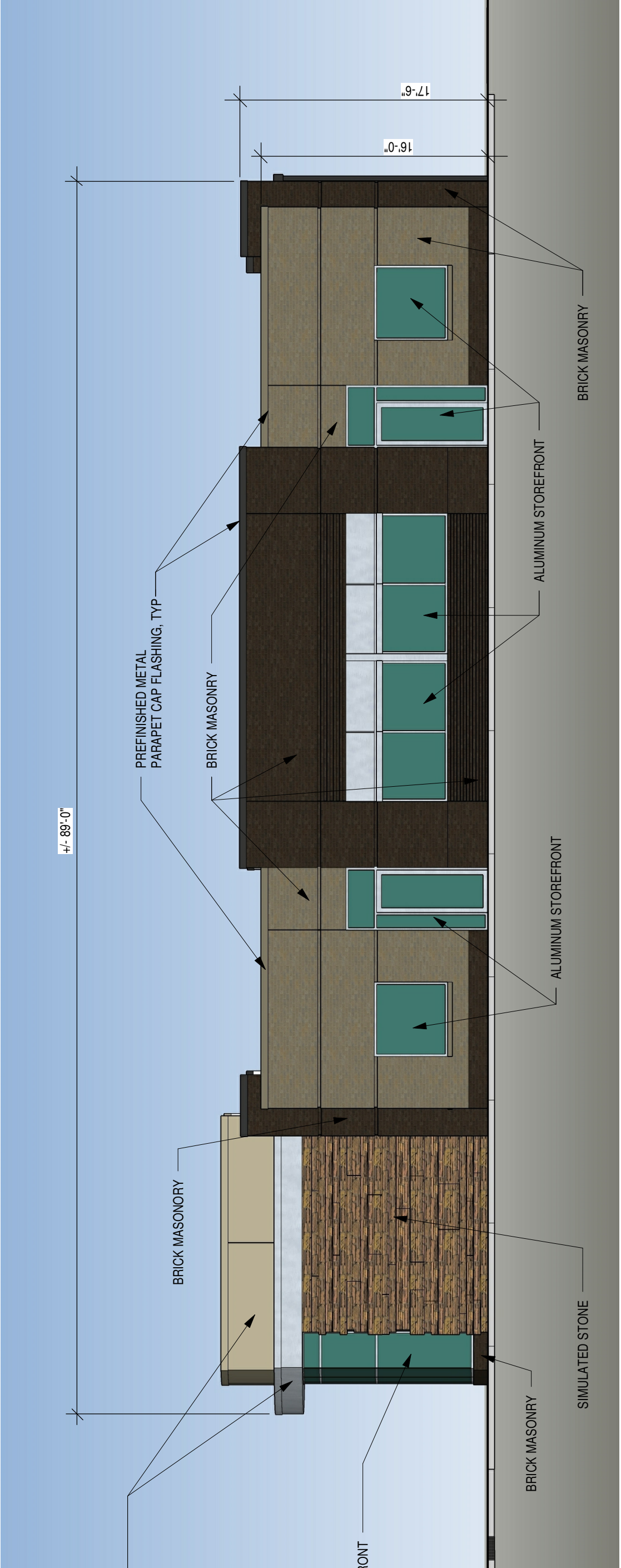
North Elevation - Main Entrance



South Elevation



East Elevation



West Elevation



CEI Engineering Associates, Inc.

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2
Bentonville, AR 72712
(479) 273-9472 Fax (479) 273-0844
www.ceieng.com

August 29, 2016

Jon Stanley
City of Bentonville
305 SW "A" Street
Bentonville, AR 72712

RE: Women's Health Associates Landscape Waiver Request

Dear Mr. Stanley,

On behalf of Dynamic Development, CEI Engineering is hereby requesting a waiver of the City of Bentonville Subdivision Code, Article 1400 Section 1400.6 Street Frontage Buffer Landscaping requirement. The code requires 20 feet of landscaped area along the street side of the development. The application proposes 15 feet of landscaped area and 5 feet of sidewalk in this area.

The waiver is requested to allow reduction in the landscaping green space between the front parking aisle and the edge of street from the required 20 feet to 15 feet, not inclusive of the sidewalk in this area. The required street trees are still proposed to be planted along the street frontage. The proposed waiver is being requested based upon the depth of the property being reduced by the donation of land for the Southwest Bentonville Trail (see attached). All other provisions of the landscape code are expected to be met.

Thank you for your consideration of this request.

Nate Bachelor, PE
Project Manager

Attachment: Southwest Bentonville Trail Property letter

Providing Consolidated Land Development Services

CALIFORNIA ■ TEXAS ■ ARKANSAS ■ MINNESOTA ■ PENNSYLVANIA

Planning Commission Staff Report

Waiver Request: Lewis - Design Standards - Sidewalks

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: September 6, 2016

GENERAL INFORMATION:

Building Permit Number: Building Permit has not been issued at the time of this waiver request.

Applicant: Robert Lewis

Representative: Gary Still

Requested Action: Design Standards, Sidewalk Waiver Request

Location: 1603 Dogwood Drive

Existing Zoning: A-1, Agricultural

Land Use Plan: Low Density Residential

BACKGROUND:

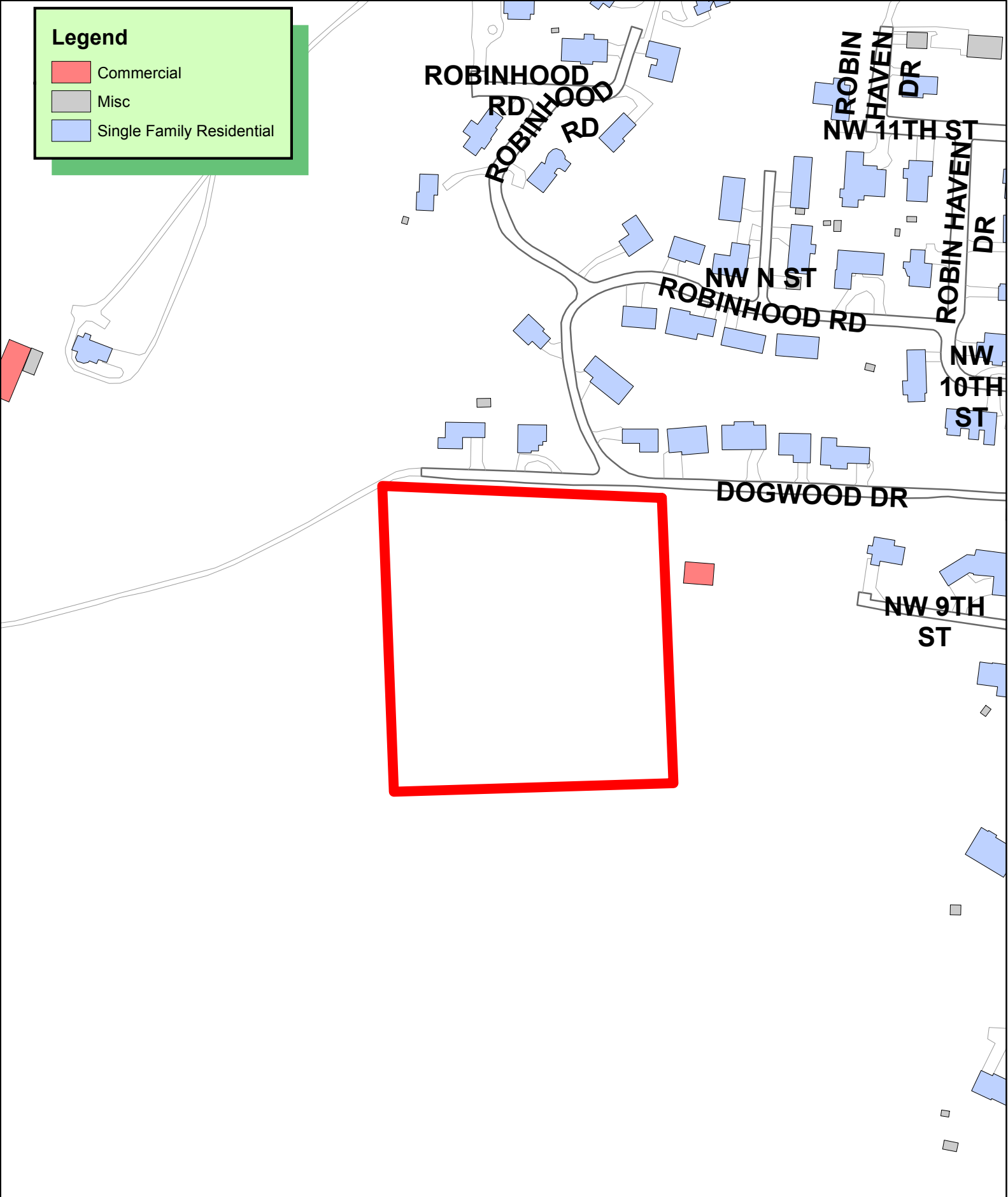
The applicant has submitted a waiver to the sidewalk section of the Design Standards in the City of Bentonville's Subdivision Regulations. Section 11.6 states all new residential construction must construct a sidewalk when abutting a public street and shall construct the sidewalk per the street standards. The property is located in an established neighborhood without sidewalks. Dogwood Drive is an unimproved two lane local street and the nearest sidewalk network is located approximately ½ mile to the east along North Walton Boulevard.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL** of the sidewalk waiver.

Legend

-  Commercial
-  Misc
-  Single Family Residential



1 inch = 212 feet

16-05000032
LOT SPLIT
TENNIE RUSSELL ADDITION PH 1
LOTS 3





Bespoke Builders, Inc.
Rogers, AR
479.316.4308
info@bespokebuildersinc.com

August 19, 2016

Jon Stanley
Planner, City of Bentonville
305 SW A Street
Bentonville, AR 72712

Dear Mr. Stanley,

We are requesting a waiver to [Article 1100, Design Standards, Section 1100.6, Sidewalks of the subdivision code](#) for a new residence that will be accessed from Dogwood Street. Per the submitted plat the distance is approximately 485' along the northern property line and within the dedicated public right-of-way.

The reason for our request is because of a lack of connectivity and/or future potential for connectivity to an existing sidewalk system. Such potential connectivity would be highly unlikely due to the location and the lack of an existing sidewalk anywhere near the area.

Sincerely,

Gary Still
Bespoke Builders, Inc.