



**Planning Commission
Agenda
April 19, 2016**

**I. Call to Order
II. Approval of Minutes
III. Consent Agenda**

- | | |
|--|---------------------------------|
| 1. Lot 1 Mattingly Addition
Northwest 3 rd Street | Lot Split |
| 2. Lot 1 Mount Carmel Community
Southwest Regional Airport Boulevard & Southwest Cornerstone Road | Lot Split |
| 3. Lots 17 & 18, Block 8 Clark's Second Addition
Southwest 'A' Street & Southwest 4 th Street | Property Line Adjustment |
| 4. Mount Carmel Community
Southwest Regional Airport Boulevard & Southwest Cornerstone Road | Large Scale Development |
| 5. Clarks Second Commercial Development
326 & 350 Southwest 'A' Street | Large Scale Development |
| 6. Infiniti Cheer
246 Southeast 22 nd Street | Large Scale Development |

IV. Old Business

- | | |
|---|------------------------|
| 1. Meteor Radio Tower
128 West Central Avenue | Conditional Use |
|---|------------------------|

V. New Business

- | | |
|--|-------------------------|
| 1. Cars, Bikes & BBQ
805 Southeast Moberly Lane | Conditional Use* |
| 2. Mount Carmel Community Bentonville, LLC
(R-1, Single Family Residential to C-2 General Commercial)
Southwest Cornerstone Road | Rezoning* |
| 3. LUAU Properties, LLC
(R-1, Single Family Residential to R-C2, Central Residential – Moderate Density)
202 SW 'C' Street | Rezoning* |
| 4. SW A Building, LLC
Southwest 'A' Street & Southwest 4 th Street | Rezoning* |
| 5. CHP, LLC
(R-1, Single Family Residential to R-C2, Central Residential – Moderate Density)
304 Southwest Glover Street | Rezoning* |
| 6. Parsley | Rezoning* |

(A-1, Agriculture to R-1, Single Family Residential)
9004 Windmill Road

7. **Laman** **Rezoning***
(R-1, Single Family Residential to R-C2, Central Residential - Medium Density
Southeast 5th Street
8. **Bentonville Child Care & Development Center, Inc.** **Rezoning***
(R-1, Single Family Residential, R-E, Residential Estate, & A-1, Agriculture to
R-O, Residential Office)
Northeast 'J' Street

- VI. Other Business**
VII. Planner's Report
VIII. Adjournment

Planning Commission Staff Report

Lot Split: Lot 1 Mattingly Subdivision

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: April 19, 2016

GENERAL INFORMATION:

Project Number: 15-05000043

Applicant: Josh Mattingly

Representative: Josh Mattingly

Requested Action: Lot Split Approval

Location: 2902 Northwest 3rd Street

Existing Zoning: R-1, Single Family Residential

Land Use Plan: Residential Estate

BACKGROUND:

The applicant has submitted a Lot Split for .62 of an acre to be known as Lot 1 Mattingly Subdivision. Right of way is being dedicated 35' from the centerline of Northwest 3rd Street consistent with Master Street plan for a Collector street. Water and sewer are both available on the south side of the street.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	A-1, Agricultural	Residential Estate
South	R-1, Single Family Residential	Low Density Residential
East	R-1, Single Family Residential	Residential Estate
West	R-1, Single Family Residential	Residential Estate

STREETS

Direction	Name	Classification
North	-	-
South	Northwest 3 rd Street	Collector
East		
West	-	-

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows: No traffic data exists for this location.

(b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this is the location of an existing single family residential home and a detached two car garage within a developed residential subdivision.

Drainage Report: A drainage report is not required for this lot split.

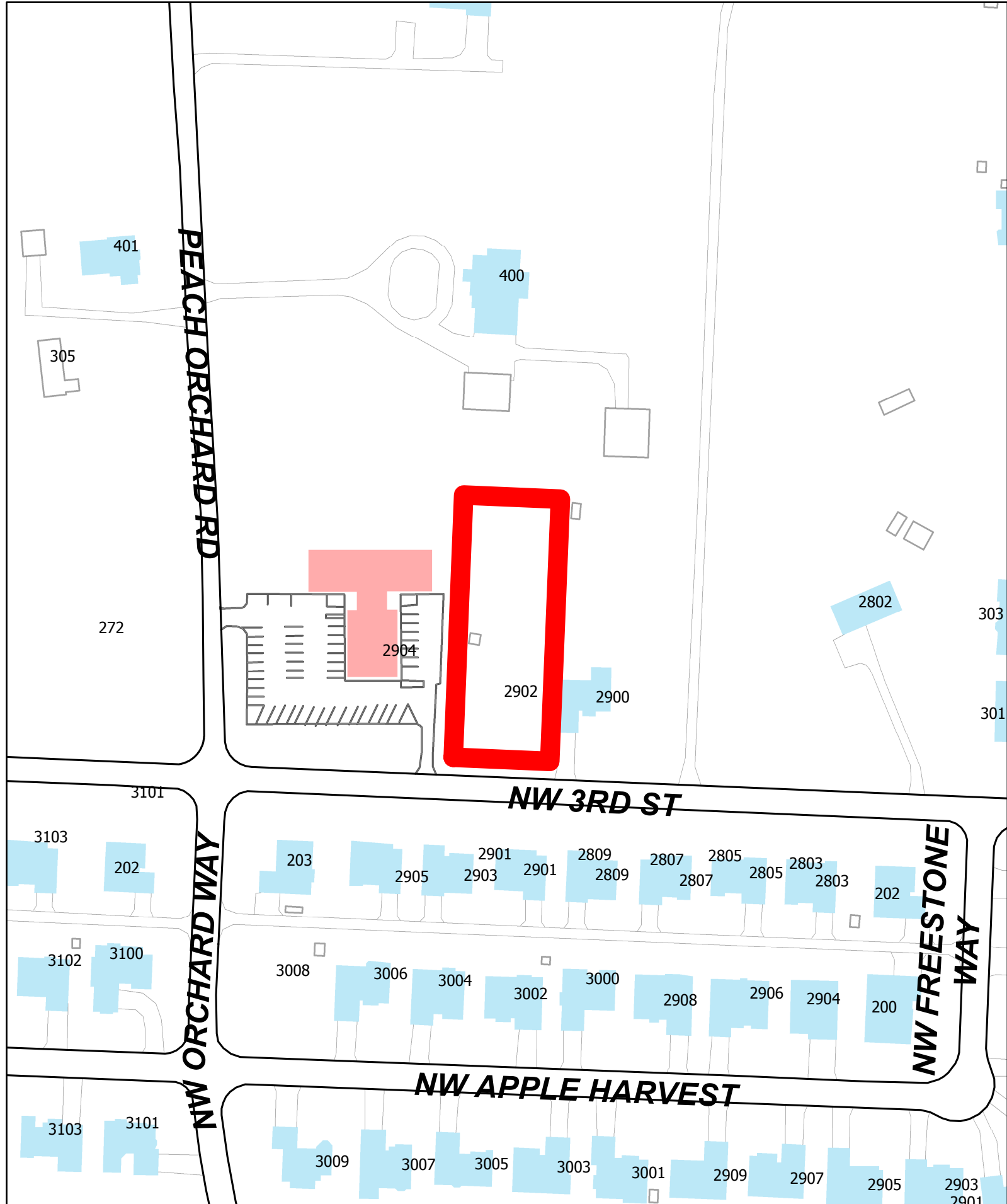
Water / Sewer: Per the G.I.S. site, water and sewer are currently located on site. The sewer taps are in place on the south side and street has been bored for the extension. .

Waiver(s):

Analysis / Conclusion: This lot split DOES meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends APPROVAL.



Planning Commission Staff Report

Lot Split: Lot 1 Mount Carmel Community Subdivision

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: April 19, 2016

GENERAL INFORMATION:

Project Number: 16-05000012

Applicant: Mt. Carmel Community in Bentonville, LLC

Representative: Kyle Salyer

Requested Action: Lot Split Approval

Location: Southwest Regional Airport Boulevard and Shell Road

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a lot split for 18.71 acres located on the South side of Southwest Regional Airport Boulevard and west of Greenhouse road. The property will be known as Lot 1 of Mount Carmel Community Subdivision. The property owner plans to develop a community at this location. The plat reflects the access easements needed to navigate the project. Utility easements are being dedicated to facilitate the expansion of the public water, sewer and electric internal to the site. The Right of way reflects the current improvements that are underway on Southwest Regional Airport Boulevard.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	Benton County	Office
South	C-2, General Commercial and R-1, Single Family Residential	Commercial
East	R-1, Single Family Residential	Low Density Residential
West	R-1, Single Family Residential	Low Density Residential

STREETS

Direction	Name	Classification
North	-	-
South	-	-
East	Southwest 'D' Street	Local
West	-	-

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: No traffic data exists for this location.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this is the location of vacant commercial property along a partially developed commercial corridor.

Drainage Report: A drainage report is not required for this lot split.

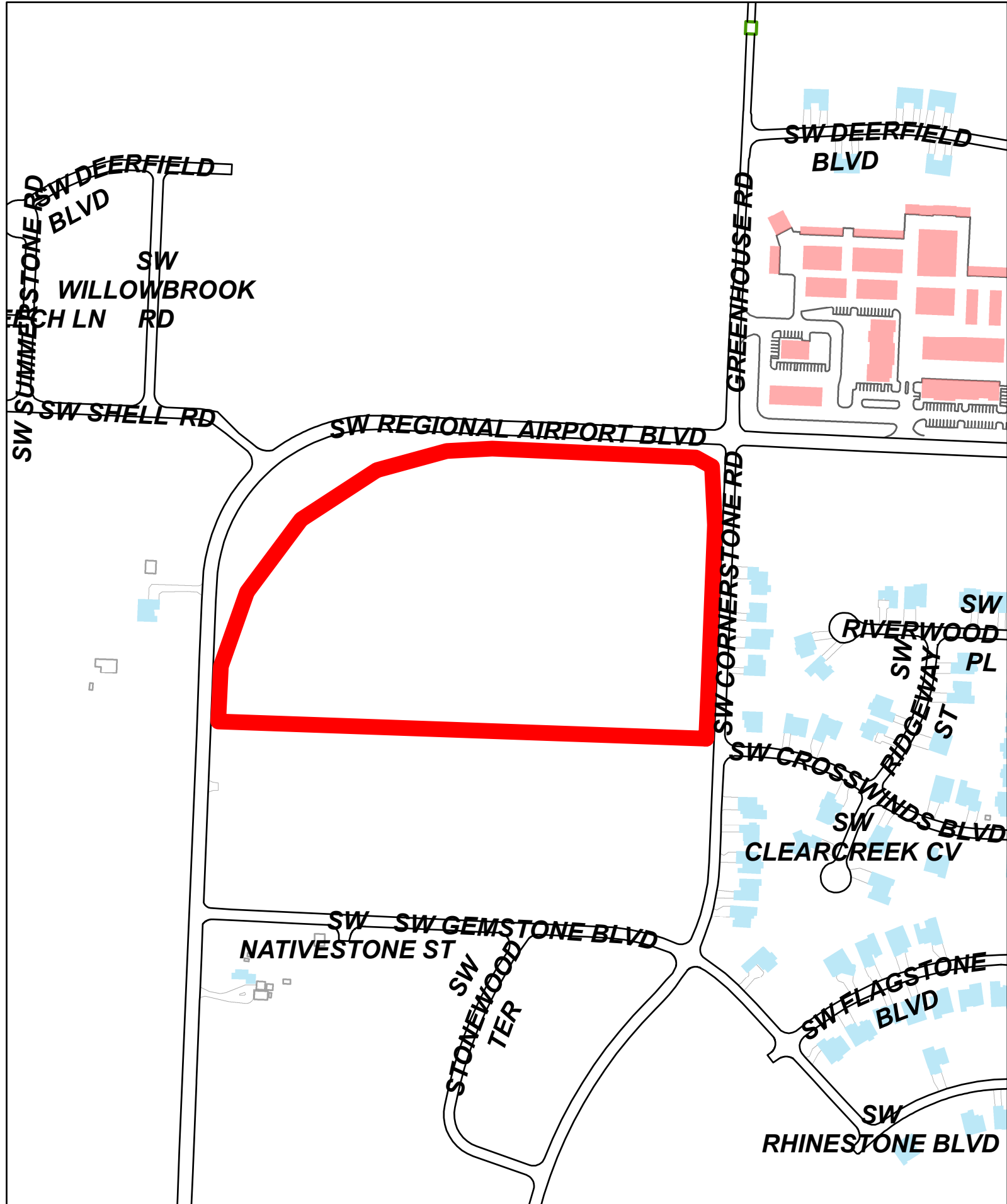
Water / Sewer: Per the G.I.S. site, water and sewer are currently available along Southwest Regional Airport Boulevard. These services will be extended into the property.

Waiver(s):

Analysis / Conclusion: This lot split DOES meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends APPROVAL



Planning Commission Staff Report

Property Line Adjustment: Lots 17 and 18 Block 8 Clark's Second Addition

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: April 19, 2016

GENERAL INFORMATION:

Project Number: 16-07000007

Applicant: SW A Building, LLC

Representative: Brahm Driver

Requested Action: Property Line Adjustment Approval

Location: Southwest A Street and Southwest 4th Street

Existing Zoning: D-C, Downtown Core

Land Use Plan: Mixed Use

BACKGROUND:

The applicant has submitted a Property Line Adjustment for lots 8 through 16 of Clark's Second addition located at the northwest corner of Southwest A Street and Southwest 4th Street. The owner intends to combine the lots into two lots to be known as Lot 17 (.42 acres) and Lot 18 (.97 acres) Block 8 Clark's Second Addition. The property line adjustment is needed to facilitate the development of Clark's Second Commercial Development. All required utility easements are being dedicated with this plat. Right of way is being dedicated along Southwest A Street per the Master Street Plan. The applicant is requesting the east to west alley be relocated south and right of way is being dedicated to accommodate the new alley location. Drainage easements are being dedicated for the storm water infrastructure.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	D-C, Downtown Core	Mixed Use
South	D-C, Downtown Core	Mixed Use
East	D-C, Downtown Core	Mixed Use
West	R-1, Single Family Residential	Downtown Mixed Use Residential

STREETS

Direction	Name	Classification
North		
South	Southwest 4 th Street	Local Street
East	Southwest A Street	Urban Collector
West		

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: N/A.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently vacant in a downtown mixed use area.

Drainage Report: A drainage report is not required for this property line adjustment.

Water / Sewer: Per the G.I.S. site, water and sewer currently in use on site.

Waiver(s):

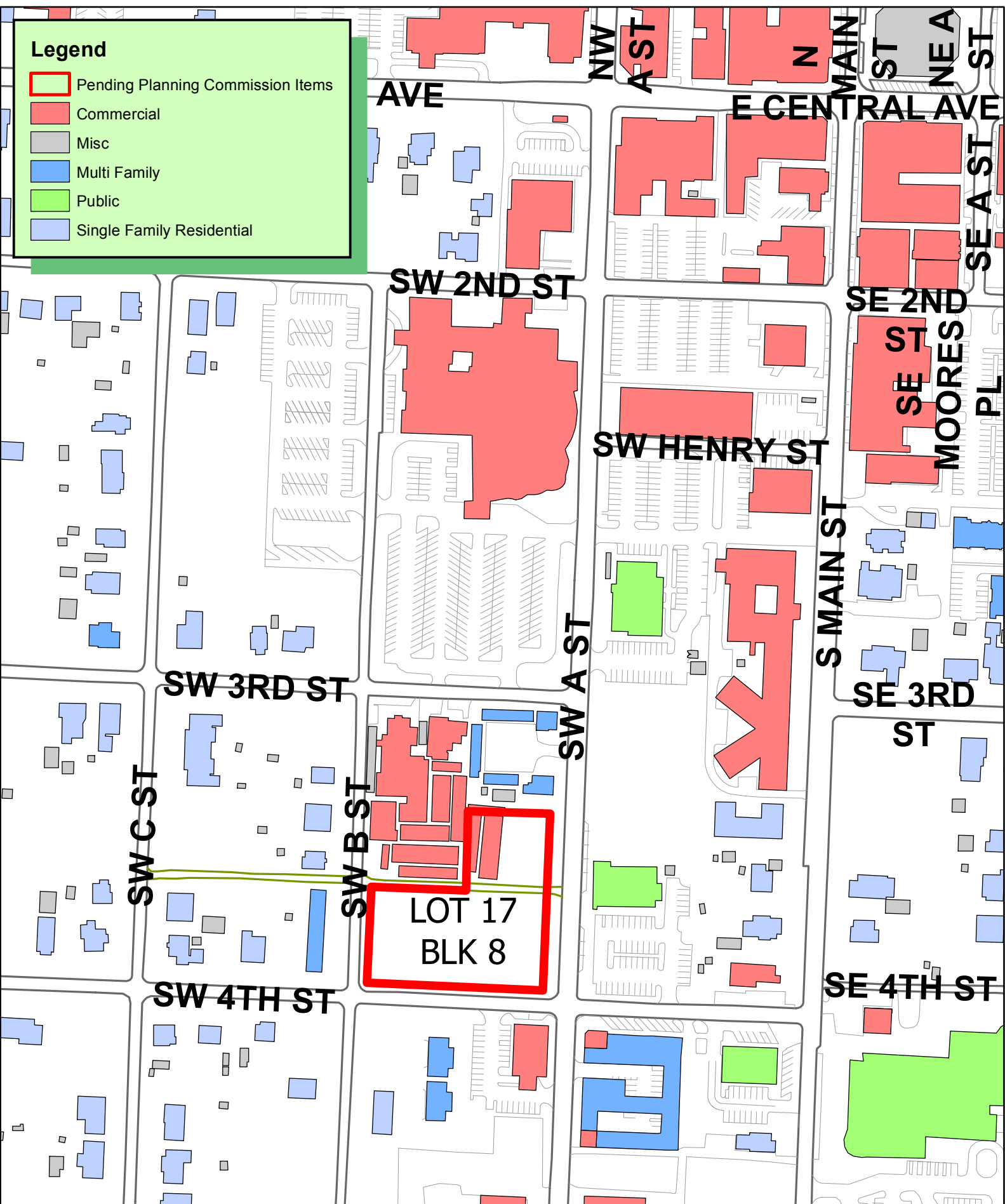
Analysis / Conclusion: This property line adjustment does meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends Approval.

Legend

-  Pending Planning Commission Items
-  Commercial
-  Misc
-  Multi Family
-  Public
-  Single Family Residential



1 inch = 200 feet

16-0700007
PROPERTY LINE ADJUSTMENT
CLARKS 2ND ADDITION NEW LOT 17 BLOCK 8



FLOOD STATEMENT:

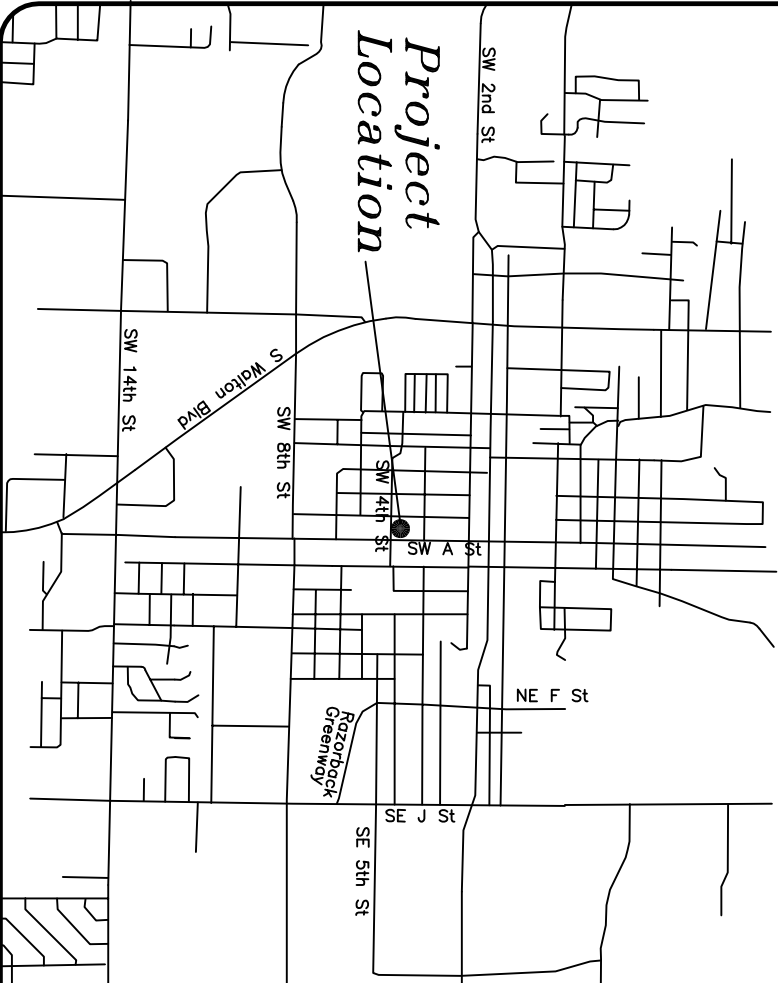
BY GRAPHIC PLOTTING OF THE INFORMATION SHOWN ON FLOOD INSURANCE RATE MAP NO. 0500Z0225K, DATED JUNE 5, 2012, COMMUNITY BENTONVILLE, CITY OF, NUMBER 050012; PANEL 0255; SUEFEX K INDICATES THAT A PORTION OF THE PROPERTY SHOWN ON SURVEY LIES WITHIN:
ZONE X (UNSHADED) (OTHER AREAS) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
**FLOOD STATEMENT DOES NOT GUARANTEE AGAINST LOCALIZED FLOODING.

SUBJECT PROPERTY DESCRIPTION: (AS PER SURVEY)

LOTS 8, 9, 11, 12, 13, 14, 15 AND 16, AND A 16 FOOT ALLEY LAYING SOUTH OF LOT 9 AND NORTH OF LOTS 15 AND 16 AND A PART OF LOT 14, ALL IN BLOCK 8, CLARK'S SECOND ADDITION TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AS SHOWN ON PLAT RECORD Q AT PAGE 502.
BEGINNING AT THE NORTHWEST CORNER OF LOT 8, BLOCK 8, CLARK'S ADDITION, THENCE RUN SOUTH 87 DEGREES 25 MINUTES 34 SECONDS EAST A DISTANCE OF 145.05 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF SW A STREET, THENCE WEST 02 DEGREES 08 MINUTES 15 SECONDS NORTH A DISTANCE OF 120.23 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF SW 4TH STREET, THENCE LEAVING SAID WEST LINE AND ALONG SAID NORTH RIGHT OF WAY LINE, NORTH 07 DEGREES 25 MINUTES 18 SECONDS WEST A DISTANCE OF 126.17 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF SW 4TH STREET, THENCE LEAVING SAID NORTH LINE AND ALONG SAID EAST RIGHT OF WAY LINE, NORTH 02 DEGREES 13 MINUTES 58 SECONDS EAST A DISTANCE OF 148.72 FEET TO A POINT ON THE SOUTH LINE OF A PLANTED 16 FOOT ALLEY, THENCE LEAVING SAID EAST LINE, SOUTH 87 DEGREES 25 MINUTES 34 SECONDS WEST A DISTANCE OF 145.05 FEET TO A POINT, THENCE NORTH 02 DEGREES 08 MINUTES 15 SECONDS EAST A DISTANCE OF 136.32 FEET BACK TO THE POINT OF BEGINNING. TRACT HAVING AN AREA OF 65,311 SQUARE FEET, 1.489 ACRES MORE OR LESS.

SUBJECT PROPERTY DESCRIPTION: (AS PER WARRANTY DEED BOOK 2015, PAGE 43487)

LOTS 8, 9, 11, 12, 13, 14, 15 AND 16, BLOCK 8, CLARK'S SECOND ADDITION TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AS SHOWN ON PLAT RECORD Q AT PAGE 502.



VICINITY MAP - N.T.S.

PLAT CERTIFICATIONS:

CERTIFICATE OF SURVEYING ACCURACY:

I, PAXTON R. SINGLETON HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.

PRELIMINARY
DATE OF EXECUTION

PAXTON R. SINGLETON REGISTERED PROFESSIONAL LAND SURVEYOR NO. AR1402

REGISTERED PROFESSIONAL LAND SURVEYOR

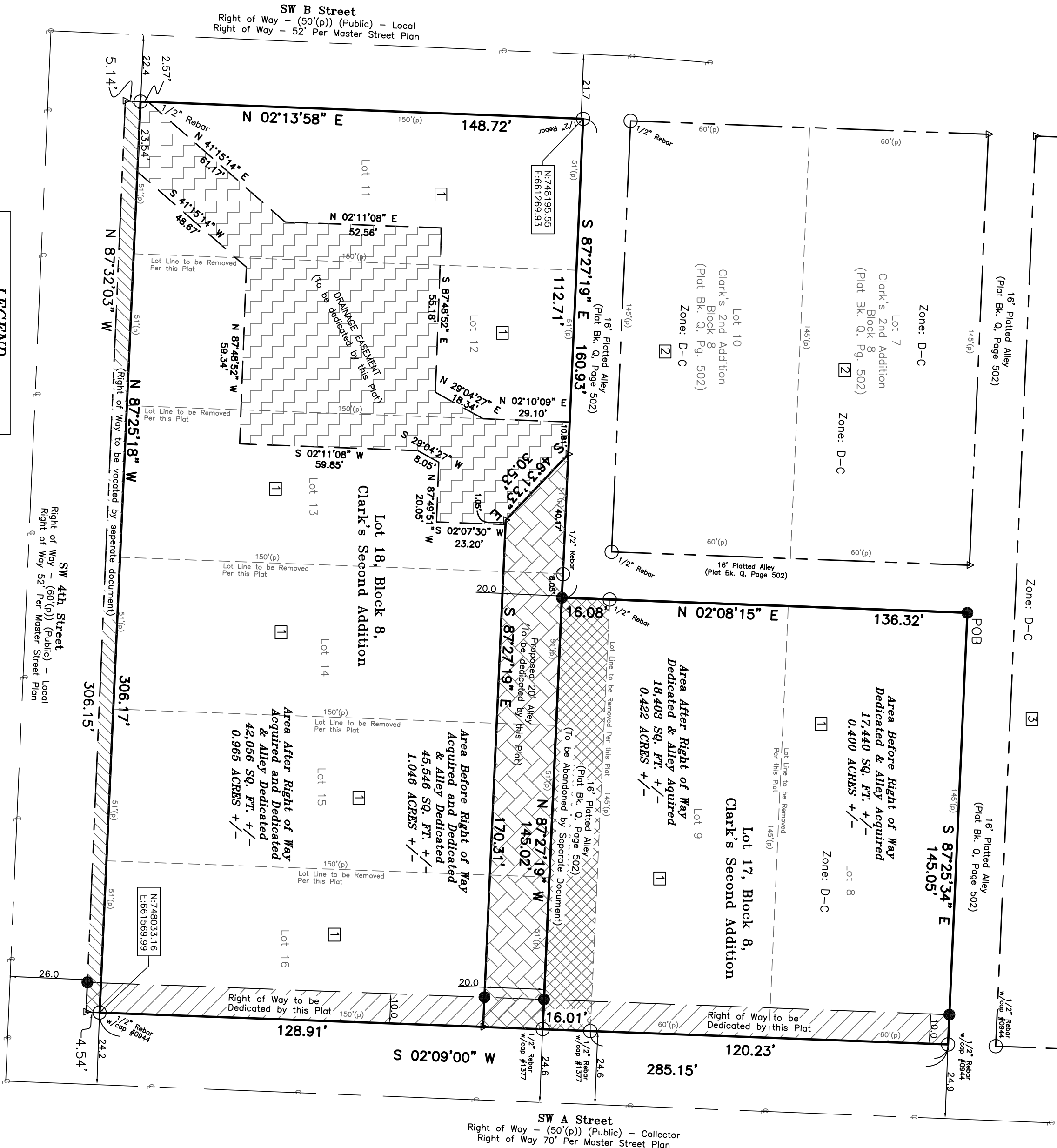
STATE OF ARKANSAS REGISTRATION NO. _____

CERTIFICATE OF FINAL APPROVAL:

THIS PLAT HAS BEEN GIVEN PRELIMINARY PLAT APPROVAL ONLY AND HAS NOT BEEN APPROVED FOR RECORDING PURPOSES AS A PUBLIC RECORD. THIS CERTIFICATE SHALL EXPIRE ON ____.

DATE OF EXECUTION

CHAIRMAN, BENTONVILLE PLANNING COMMISSION



LEGEND

SHOW FOR DIRECTION ONLY
(LINE CONTINUES)
CALCULATED POINTS
SET 1/2" REBAR W/ CAP (UNLESS NOTED)
FIND 1/2" RB (UNLESS NOTED)
(p) PER CLARK'S SECOND ADDITION PLAT

HATCH LEGEND

16' PLATTED ALLEY
ABANDONED BY SEPARATE DOCUMENT
RIGHT OF WAY TO BE ABANDONED AND ACQUIRED
BY SEPARATE DOCUMENT
RIGHT OF WAY TO BE DEDICATED PER THIS PLAT
20' ALLEY TO BE DEDICATED TO THE PUBLIC
DRAINAGE EASEMENT (TO BE DEDICATED PER THIS PLAT)

All Symbols May Not Appear on Drawing. Use As Applicable.

Property Line Adjustment:

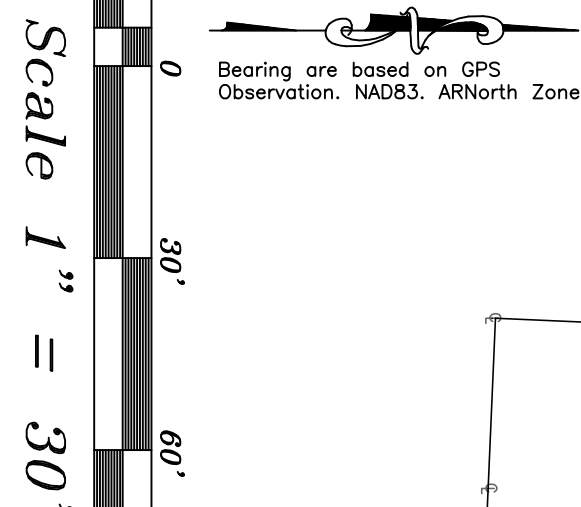
Lots 8 & 9, Lots 11-16, Block 8, Clark's Second Addition;
Creating Lot 17 and 18, Block 8, Clark's Second Addition,
to the City of Bentonville, Benton County, Arkansas

SCALE: 1" = 30'
DATE: 3/27/16
Survey For: SW A BUILDING, LLC
DRAWN BY: CHRIS HARRIS/
SEBRINA RICKS
PART OF SECTION 31, TOWNSHIP 20 NORTH, RANGE 30 WEST
GLOBAL SURVEYING CONSULTANTS, INC. - PROJECT NO. 15-1077.01

GENERAL NOTES:

- BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITH-IN THE RIGHT-OF-WAY.
- OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER, AND ELECTRIC SERVICE.
- SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.

- VACANT
PARCEL: 01-01800-000; 01-01801-000;
PARCEL: 01-01802-000; 01-01798-000;
OWNER: SW A BUILDING, LLC
(MAILING ADDRESS)
P.O. BOX 1860
BENTONVILLE, AR 72712-1860
WARRANTY DEED BOOK 2015, PAGE 43487
ZONED R-1(LOTS 11-12) D-C(LOTS 14-16 & 8-9)
- RESIDENCE
PARCEL: 01-01795-000
PARCEL: 01-01796-000
PARCEL: 01-01797-000
PARCEL: 01-01798-000
PARCEL: 01-01799-000
OWNER: SW A BUILDING, LLC
(MAILING ADDRESS)
P.O. BOX 1860
BENTONVILLE, AR 72712-1860
WARRANTY DEED BOOK 2015, PAGE 43487
ZONED R-1(LOTS 11-12) D-C(LOTS 14-16 & 8-9)
- RESIDENCE
PARCEL: 01-01795-000
PARCEL: 01-01796-000
PARCEL: 01-01797-000
PARCEL: 01-01798-000
PARCEL: 01-01799-000
OWNER: SW A BUILDING, LLC
(MAILING ADDRESS)
P.O. BOX 1860
BENTONVILLE, AR 72712-1860
WARRANTY DEED BOOK 2015, PAGE 43487
ZONED R-1(LOTS 11-12) D-C(LOTS 14-16 & 8-9)



Scale 1" = 30'

Planning Commission Staff Report

Large Scale Development: Mount Carmel Community

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: April 19, 2016

GENERAL INFORMATION:

Project Number: 16-06000016

Applicant: Mt. Carmel Community in Bentonville, LLC

Representative: Kyle Salyer

Requested Action: Large Scale Development Approval

Location: Southwest Airport Road and Shell Road

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a Large Scale Development for a 76 room 64, 460 square foot assisted living facility and 31 1,400 square foot single family cottages to be known as Mount Carmel Community. The large scale development also includes a 2315 square feet clubhouse, 99 parking spaces and the internal private street network to serve each cottage. Storm water is be addressed with the use of two existing retention ponds in Cornerstone Ridge Subdivision. The exterior elevations for the Assisted Living facility depict a brick exterior with a stone wainscot and stone accents. The cottages will also be constructed of a mix of brick and stone that is consistent with larger facility. An asphalt shingle roof will be installed on the Cottages and main facility. Public water, sewer and electric mains will be extended into the site to serve the development.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front: Without parking in front	20'	30'
Side: Adjacent to residential district	30'	30'
Rear: Cottages	20'	25'
Landscape Coverage	10%	24%
Parking Standard Stalls	76	99

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	Benton County	Office
South	C-2, General Commercial and R-1, Single Family Residential	Commercial
East	R-1, Single Family Residential	Low Density Residential
West	R-1, Single Family Residential	Low Density Residential

STREETS

Direction	Name	Classification
North	-	-
South	-	-
East	Southwest 'D' Street	Local
West	-	-

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows:

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this is the location of vacant commercial property along a partially developed commercial corridor.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

Water / Sewer: Per the G.I.S. site, water and sewer are currently available along Southwest Regional Airport Boulevard. These services will be extended into the property.

Waiver(s):

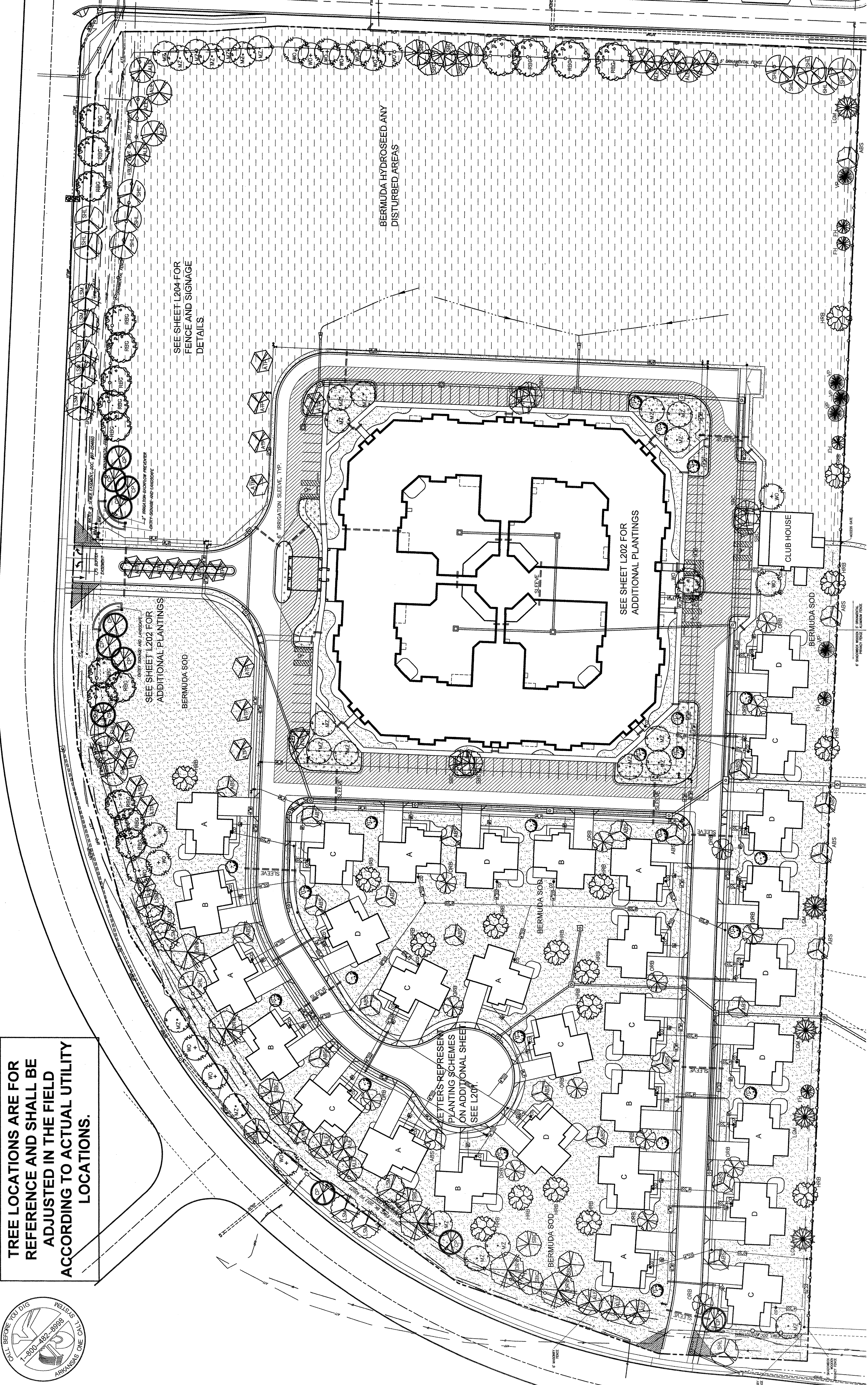
Analysis / Conclusion: This large scale development DOES meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends APPROVAL.



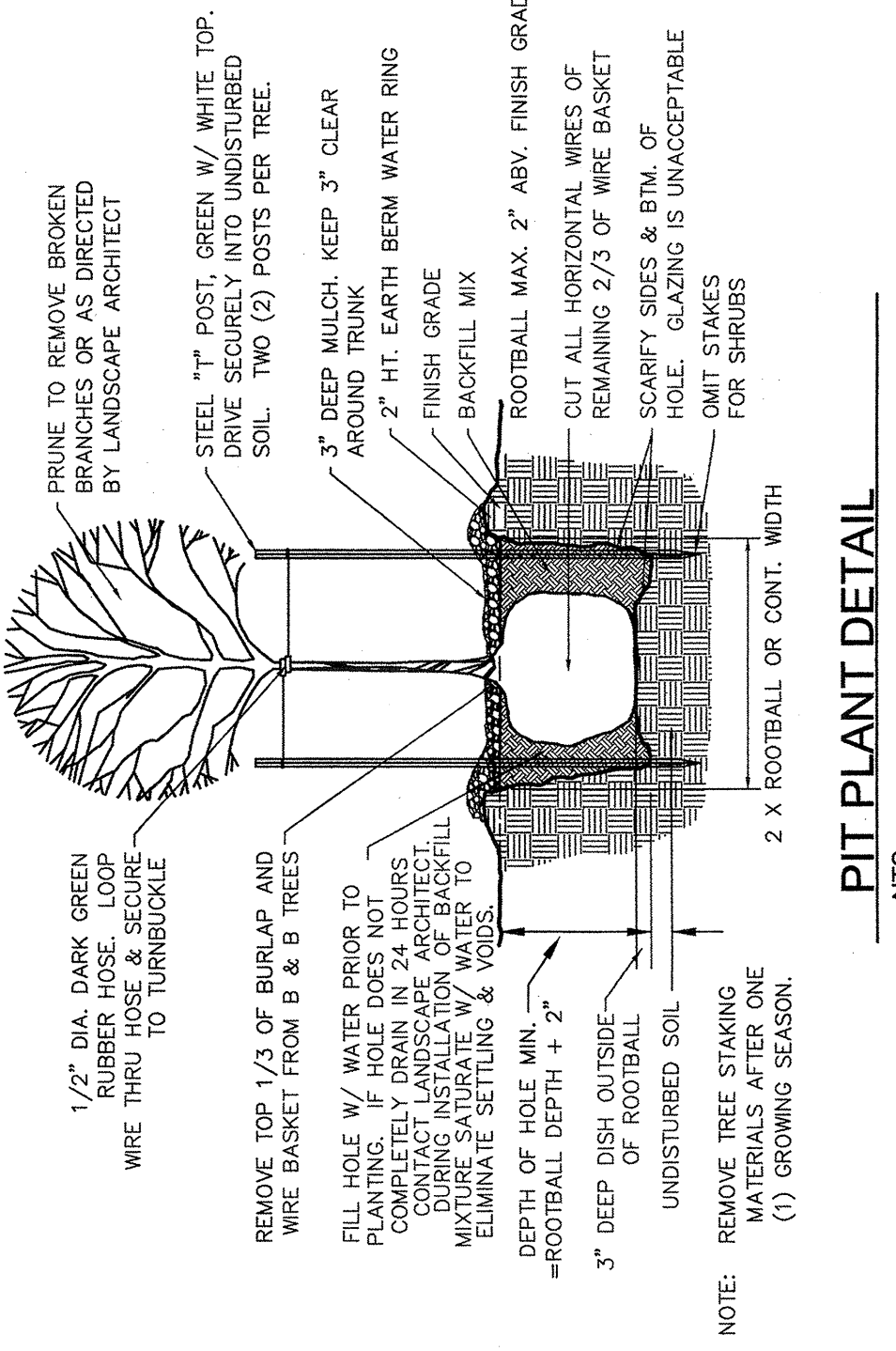
TREE LOCATIONS ARE FOR
REFERENCE AND SHALL BE
ADJUSTED IN THE FIELD
ACCORDING TO ACTUAL UTILITY
LOCATIONS.



LANDSCAPE SITE PLAN

PERIMETER/ INTERIOR TREE PLANTING LIST/ SHADE AND ORNAMENTAL UNDERSTORY TREES

SYM.	Alias	QTY.	Scientific Name	Common Name	Planting Size	Comments
DRW	5		WETLAND GLYCYRRHIZA	DAWN REDWOOD	2.5" CAL	NURSERY GROWN, BALL AND BURLAP, SYMMETRICAL STAKE AFTER PLANTING
SHL	15		GLIRICIA TRACANTROS 'SHADEMASTER'	SHADEMASTER HONEYSUCK	2.5" CAL	NURSERY GROWN, BALL AND BURLAP, SYMMETRICAL STAKE AFTER PLANTING
LSM	11		ALER SACHARUM 'LEAFY'	LEGACY SUGAR MAPLE	2.5" CAL	NURSERY GROWN, BALL AND BURLAP, SYMMETRICAL STAKE AFTER PLANTING
RBG	18		NYSSA SYLVATICA 'RED RAIN'	BLACK GUM RED RAGE	2.5" CAL	NURSERY GROWN, BALL AND BURLAP, SYMMETRICAL STAKE AFTER PLANTING
ALE	16		ULMUS PARVIFLUA 'ALLEE'	ALLEE LACEBARK ELM	2.5" CAL	NURSERY GROWN, BALL AND BURLAP, SYMMETRICAL STAKE AFTER PLANTING
ATP	20		LIRODENDRON TULIPIFERA PASTORUM ARNOLD	ARNOLD TULIP POPLAR	2.5" CAL	NURSERY GROWN, BALL AND BURLAP, SYMMETRICAL STAKE AFTER PLANTING
SBC	17		TAXODIUM DISTICHUM 'SHAWNEE BRAVE'	SHAWNEE BRAVE BALD CYPRESS	2.5" CAL	NURSERY GROWN, BALL AND BURLAP, SYMMETRICAL STAKE AFTER PLANTING
HRB	17		BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	2.5" CAL	NURSERY GROWN, BALL AND BURLAP, SYMMETRICAL STAKE AFTER PLANTING
WO	17		QUERCUS ALBA	WHITE OAK	2.5" CAL	NURSERY GROWN, BALL AND BURLAP, SYMMETRICAL STAKE AFTER PLANTING

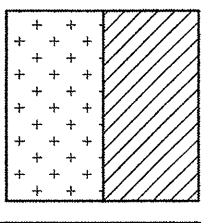


PIT PLANT DETAIL
NTS

TREE REQUIREMENTS:

- 2,396 LF STREET FRONTAGE
- 1 SHADE TREE PER 20' REQUIRED= 120 TREES
- 120 STREET TREES PROVIDED
- 1,266 LF BUFFER ALONG SOUTH PROP. LINE
- 1 TREE PER 50' REQUIRED= 25 TREES
- 25 BUFFER TREES PROVIDED
- 15 OF WHICH ARE EVERGREEN
- 31 INDIVIDUAL COTTAGES
- 2 TREES PROVIDED FOR EACH= 62 TREES
- 17 ADDITIONAL TREES PROVIDED

PARKING CALCULATIONS:



- 10,505 SF. INTERIOR GREENSPACE
- 42,994 SF. PARKING AREA
- 8% OR 3,453 SF REQUIRED
- 24% OR 10,505 PROVIDED
- 24 PARKING TREES PROVIDED

GENERAL NOTES:

- CONTRACTOR RESPONSIBLE FOR CALLING ARKANSAS ONE CALL SYSTEM TO LOCATE ALL UTILITIES PRIOR TO BEGINNING ANY WORK ON SITE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK. SIZE AND GRADING SHALL MEET OR EXCEED THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1).
- ALL TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER PRUNING TECHNIQUES SHALL BE USED AS ESTABLISHED IN THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE".
- HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME.
- ONCE INSTALLED, ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION. ALL PLANT OR TREE MATERIAL THAT DIES SHALL BE REPLACED IMMEDIATELY BY OWNER.
- ALL LANDSCAPE SHALL BE WAREANTEED FOR A PERIOD OF 1 YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY THE LANDSCAPE INSTALLER.
- SITE TRIANGLES SHALL BE MAINTAINED AT ALL STREET INTERSECTIONS. NOTHING BETWEEN 30" AND 60" SHALL BE PLACED WITHIN SITE TRIANGLES.
- ALL LANDSCAPE AREAS TO BE WATERED BY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- IRRIGATION SYSTEM TO BE DESIGN BUILD AND SHALL BE 2 WIRE SYSTEM WITH RAINBIRD OR HUNTER COMMERCIAL GRADE PRODUCTS.
- ALL SHADE TREES SHALL BE A MINIMUM OF 2.5" CAL. AT TIME OF PLANTING. ALL ORNAMENTAL AND UNDERSTORY TREES SHALL BE A MINIMUM OF 2" CAL. AT TIME OF PLANTING. ALL SHRUBS REQUIRED TO SATISFY LANDSCAPE REQUIREMENTS SHALL BE A MINIMUM OF 3 GALLON AND 18" MINIMUM HEIGHT AT TIME OF PLANTING. FLOWERING PERENNIALS SHALL BE A MINIMUM OF 1 GALLON AT TIME OF PLANTING.
- ALL TREES SHALL HAVE A MINIMUM 4" DIA. RING OF 3-4" DEPTH MULCH. DO NOT PLACE MULCH WITHIN 3" OF TREE TRUNK. KEEP ROOT FLARE EXPOSED.
- ALL TREES SHALL BE PLANTED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY. IF A CONFLICT IN THE FIELD ARISES, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

MOUNT CARMEL COMMUNITY

AIRPORT RD. BENTONVILLE, AR

OVERALL LANDSCAPE PLAN

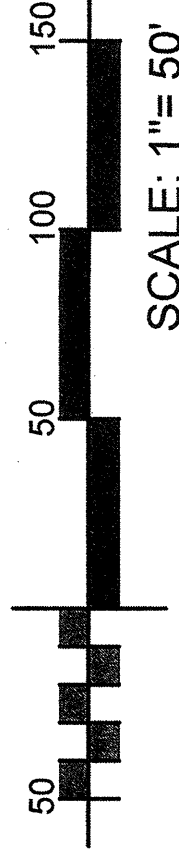
DATE: 4.1.16

SHEET NO.

L101

OF 06

© Copyright 2016



FOR REVIEW AND SUBMITTAL
ONLY

NOT FOR CONSTRUCTION

Mount Carmel

SW Regional Airport Boulevard

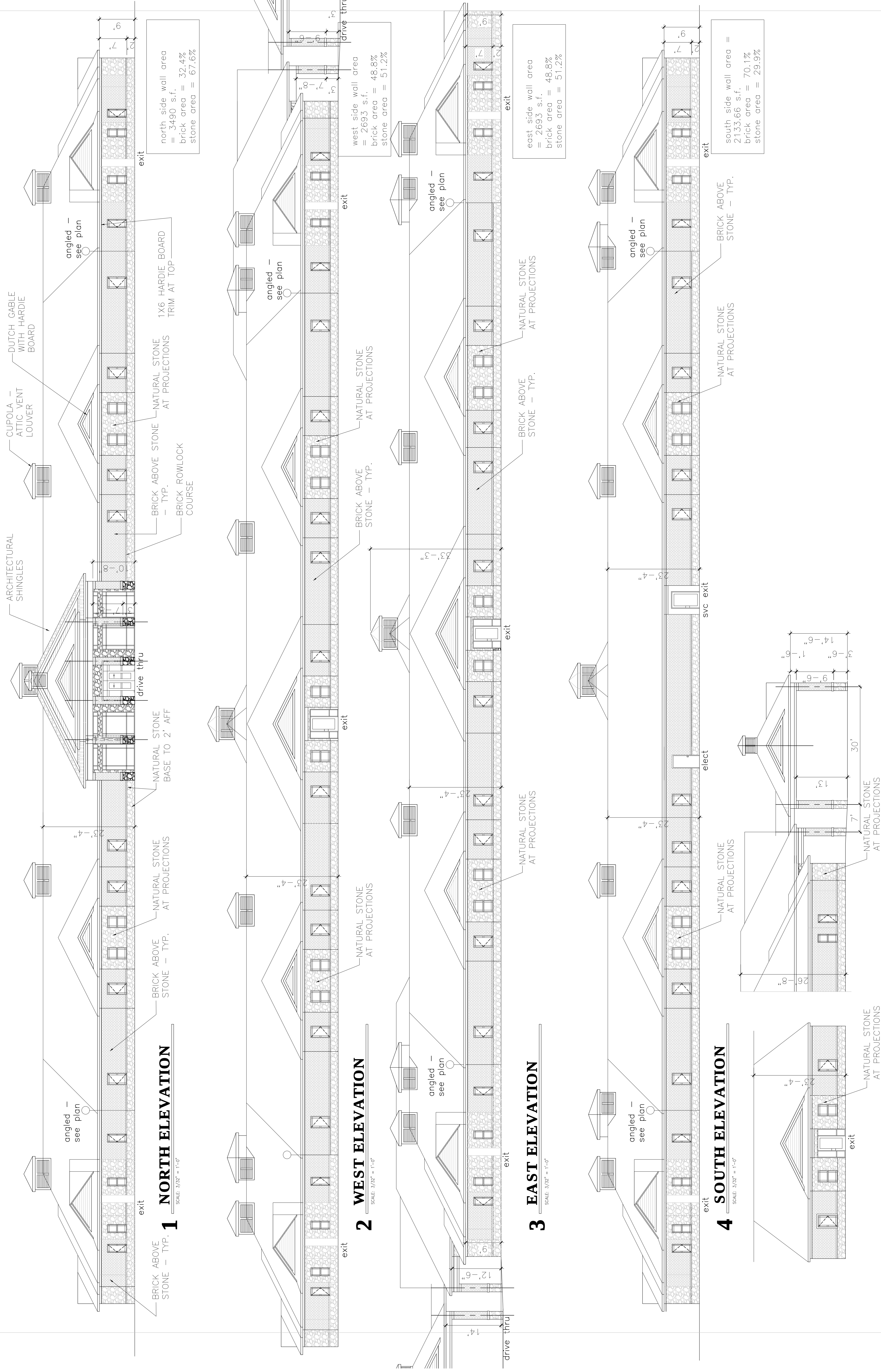
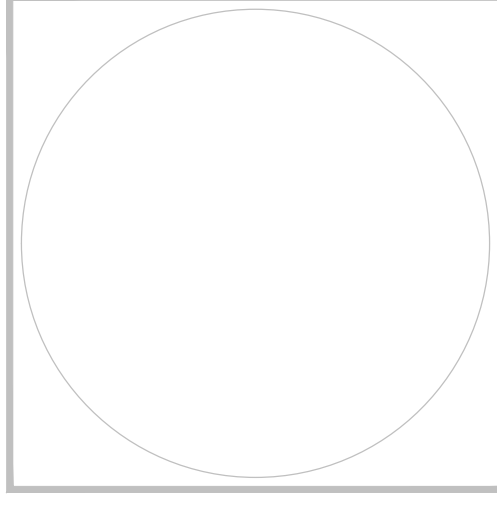
BENTONVILLE, ARKANSAS 72712

112815

DATE:

APRIL 14, 2016

A-8



Planning Commission Staff Report

Large Scale Development: Clark's Second Commercial Development

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: April 19, 2016

GENERAL INFORMATION:

Project Number: 16-06000014

Applicant: SW A Building, LLC

Representative: Brahm Driver, PE

Requested Action: Large Scale Development Approval

Location: 326 and 350 Southwest 4th Street

Existing Zoning: D-C, Downtown Core (proposed)

Land Use Plan: Mixed Use

BACKGROUND:

The applicant has submitted a Large Scale Development for a 15,761 square foot theater and a 16,230 square foot office building on the northwest corner of Southwest A Street and Southwest 4th Street. Fifty four parking spaces are required in the Downtown Core and 82 spaces will be provided by the applicant. A 10' sidewalk will be installed along Southwest A Street with an additional pedestrian plaza located adjacent to the sidewalk. An 8' sidewalk will be installed along Southwest 4th. Patrons will enter the site through an improved alley that will connect SW A street and SW B Street. The parking areas will be accessible from the alley. Street trees will be provided along all three frontages. Off-site street and drainage improvements are being made. The exterior elevations depict a poured concrete, brick and glass storefront on both structures. The north and west elevation on the theater will be constructed on CMU with a full green screen along both walls.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front: SW A Street	0'	0'
Front: SW 4 th Street	0'	0'
Side:	0'	4' office
Rear: Adjacent to non-residential district	0'	77' office
Height Office	80' Max	50'
Theater		35'
Landscape Coverage	10%	10.5%
Parking		
Standard Stalls (Office)	32	50
(Theater)	22	24
		8 on-street

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	D-C, Downtown Core	Mixed Use
South	D-C, Downtown Core	Mixed Use
East	D-C, Downtown Core	Mixed Use
West	R-1, Single Family Residential	Downtown Mixed Use Residential

STREETS

Direction	Name	Classification
North		
South	Southwest 4 th Street	Local Street
East	Southwest A Street	Urban Collector
West		

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently vacant along a mixed use urban corridor.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

Water / Sewer: Per the G.I.S. site, water and sewer ARE available to this site.

Waiver(s):

Analysis / Conclusion: This large scale development DOES meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends APPROVAL.



POLK

STANLEY

WILCOX

ARCHITECTS

509 W. Spring St. | Suite 150
Fayetteville, AR 72701
479.441.1212 office
479.251.7271 mobile
Craig Curzon, Principal
Jessica Lewallen, Project Architect

polkstanleywilcox.com

Design Architect
Craig Curzon, Principal
509 W. Spring St. | Suite 150
Fayetteville, AR 72701
479.441.1212 office
479.251.7271 mobile
Craig Curzon, Principal
Jessica Lewallen, Project Architect

Structural Engineer
Arkansas Valley Engineering, PLLC
479.441.3200 office
479.441.3200 mobile
479.441.3200 fax
Ark Valley Engineering, PLLC
509 W. Spring St. | Suite 8
Fayetteville, AR 72701
479.441.1212 office
479.251.7271 mobile
Craig Curzon, Principal
Jessica Lewallen, Project Architect

MEP/PE
Ark Valley Engineering, PLLC
479.441.3200 office
479.441.3200 mobile
479.441.3200 fax
Ark Valley Engineering, PLLC
509 W. Spring St. | Suite 8
Fayetteville, AR 72701
479.441.1212 office
479.251.7271 mobile
Craig Curzon, Principal
Jessica Lewallen, Project Architect

Civil Engineer
Ark Valley Engineering, PLLC
479.441.3200 office
479.441.3200 mobile
479.441.3200 fax
Ark Valley Engineering, PLLC
509 W. Spring St. | Suite 8
Fayetteville, AR 72701
479.441.1212 office
479.251.7271 mobile
Craig Curzon, Principal
Jessica Lewallen, Project Architect

Landscape Architect
Ark Valley Engineering, PLLC
479.441.3200 office
479.441.3200 mobile
479.441.3200 fax
Ark Valley Engineering, PLLC
509 W. Spring St. | Suite 8
Fayetteville, AR 72701
479.441.1212 office
479.251.7271 mobile
Craig Curzon, Principal
Jessica Lewallen, Project Architect

General Contractor
Finco, LLC
1000 N. Main St. | Suite 100
Springdale, AR 72762
479.441.1212 office
479.251.7271 mobile
Craig Curzon, Principal
Jessica Lewallen, Project Architect

PSW Job Number:

777A777B

SWA BUILDINGS

NORTH

BUILDING

SOUTH

BUILDING

206 SW 4TH STREET
BENTONVILLE, AR 72712

Issue Date:

02/29/2016

Revisions		
number	date	description

Contents:

North Building

Perspective



POLK
STANLEY
WILCOX

ARCHITECTS
509 W. Spring St. | Suite 150
Fayetteville, AR 72701
479.251.7272 office
479.251.7273 office
479.251.7274 office
Craig Curzon, Principal
Jessica Lewallen, Project Architect

polkstanleywilcox.com

Design Architect
Craig Curzon, Principal
509 W. Spring St. | Suite 150
Fayetteville, AR 72701
479.251.7272 office
479.251.7273 office
479.251.7274 office
Structural Engineer
Wesley Wilcox, Principal
479.251.7272 office
479.251.7273 office
479.251.7274 office
MEP Engineer
John Wilcox, Principal
479.251.7272 office
479.251.7273 office
479.251.7274 office
Civil Engineer
John Wilcox, Principal
479.251.7272 office
479.251.7273 office
479.251.7274 office
Landscape Architect
John Wilcox, Principal
479.251.7272 office
479.251.7273 office
479.251.7274 office
Civil Engineer
John Wilcox, Principal
479.251.7272 office
479.251.7273 office
479.251.7274 office

PSW Job Number:
777A777B

SWA BUILDINGS
NORTH
BUILDING
SOUTH
BUILDING
206 SW 4TH STREET
BENTONVILLE, AR 72712

Issue Date:
02/29/2016

Revisions		
number	date	description

Contents:
South Building
Daytime
Perspective

Planning Commission Staff Report

Large Scale Development: Infiniti Cheer

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: April 19, 2016

GENERAL INFORMATION:

Project Number: 16-06000011

Applicant: JTK Development, LLC

Representative: Dirk Thibodaux

Requested Action: Large Scale Development Approval

Location: 246 Southeast 22nd Street

Existing Zoning: C-3, Central Commercial

Land Use Plan: Mixed Use

BACKGROUND:

The applicant has submitted a Large scale development for a 23, 790 square feet indoor recreational facility to be known as Infiniti Cheer. The applicant is proposing 98 parking stalls to serve the various activity within the facility. A 6' sidewalk is being installed along Southeast 22nd Street. Drainage is being addressed with the construction of a detention pond on the east side of the property. The exterior will be constructed of Hardi-panel and architectural steel panels. A textured CMU will be used for the wainscot on the southern and street facing façade.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front:	0'	65'
Side: Adjacent to non-residential district	0'	80', 137'
Side: Adjacent to residential district	10'	
Rear:	0'	74'
Height	80'	27.6'
Landscape Coverage	8%	10%
Parking		
Standard Stalls	95	98
Handicap Stalls	4	8
Total:		

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Mixed Use
South	C-3, Central Commercial	Mixed Use
East	C-3, Central Commercial	Mixed Use
West	C-3, Central Commercial	Mixed Use

STREETS

Direction	Name	Classification
North		
South	Southeast 22 nd Street	Collector
East	Southeast C Street	Collector
West		

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently vacant in a platted commercial subdivision

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

Water / Sewer: Per the G.I.S. site, water and sewer ARE available to this site.

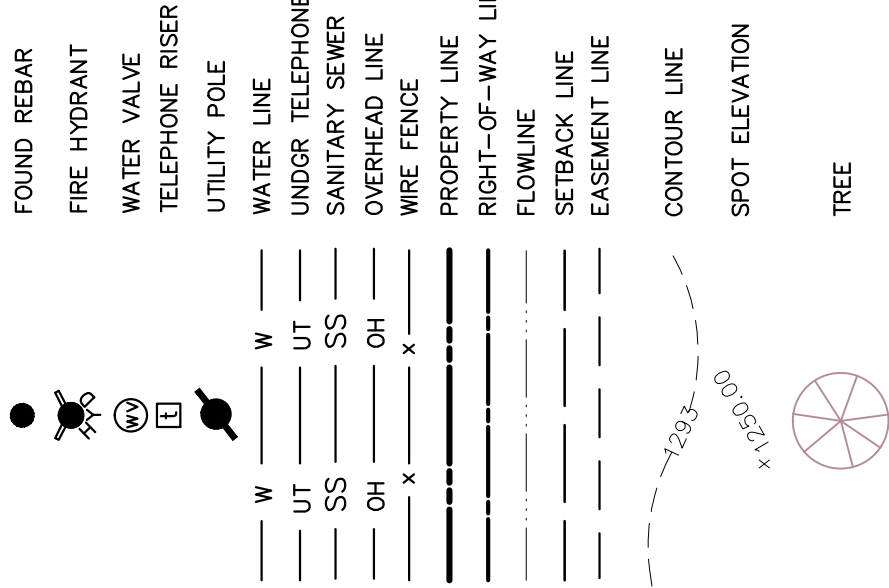
Waiver(s):

Analysis / Conclusion: This large scale development DOES meet the minimum requirements of the subdivision regulations.

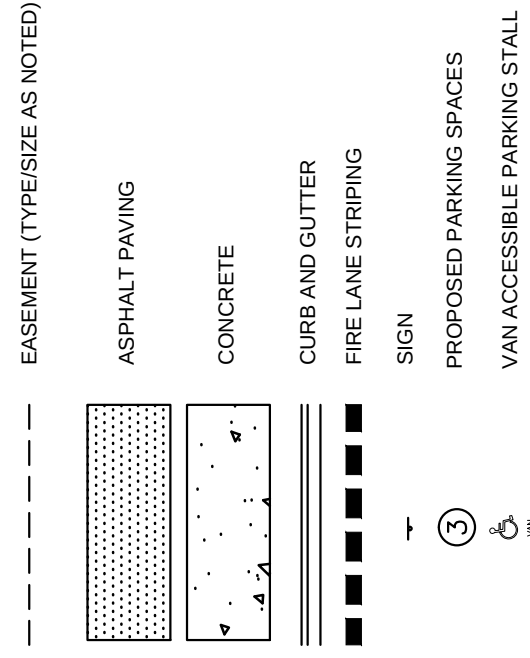
RECOMMENDATION:

Staff has reviewed this application and recommends APPROVAL.

EXISTING LEGEND



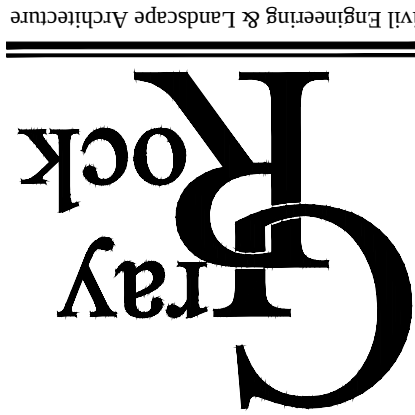
PROPOSED LEGEND



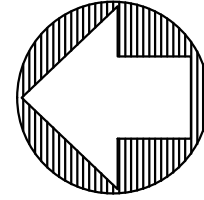
INFINITI CHEER

SE 22ND STREET
BENTONVILLE, AR

GRAY ROCK, LLC.
5204 Village Parkway, Suite 11
Rogers, Arkansas 72758
www.grayrockconsulting.com
479.250.9131 office
800.887.7685 fax



PROJECT NO. 15-241	SCALE 1"=20'
DATE APRIL 4, 2016	
SITE PLAN	
SHEET	NO. C1.0



0 20' 40'
SCALE 1" = 20' FEET

PARKING REQUIREMENTS:
1 SPACE PER 300 SQ FT
REQD: 23,790 SF / 250 = 95 SPACES
PROVIDED: 98 SPACES
ACCESSIBLE: 4 REQUIRED, 8 PROVIDED

BUILDING SETBACK TABLE:

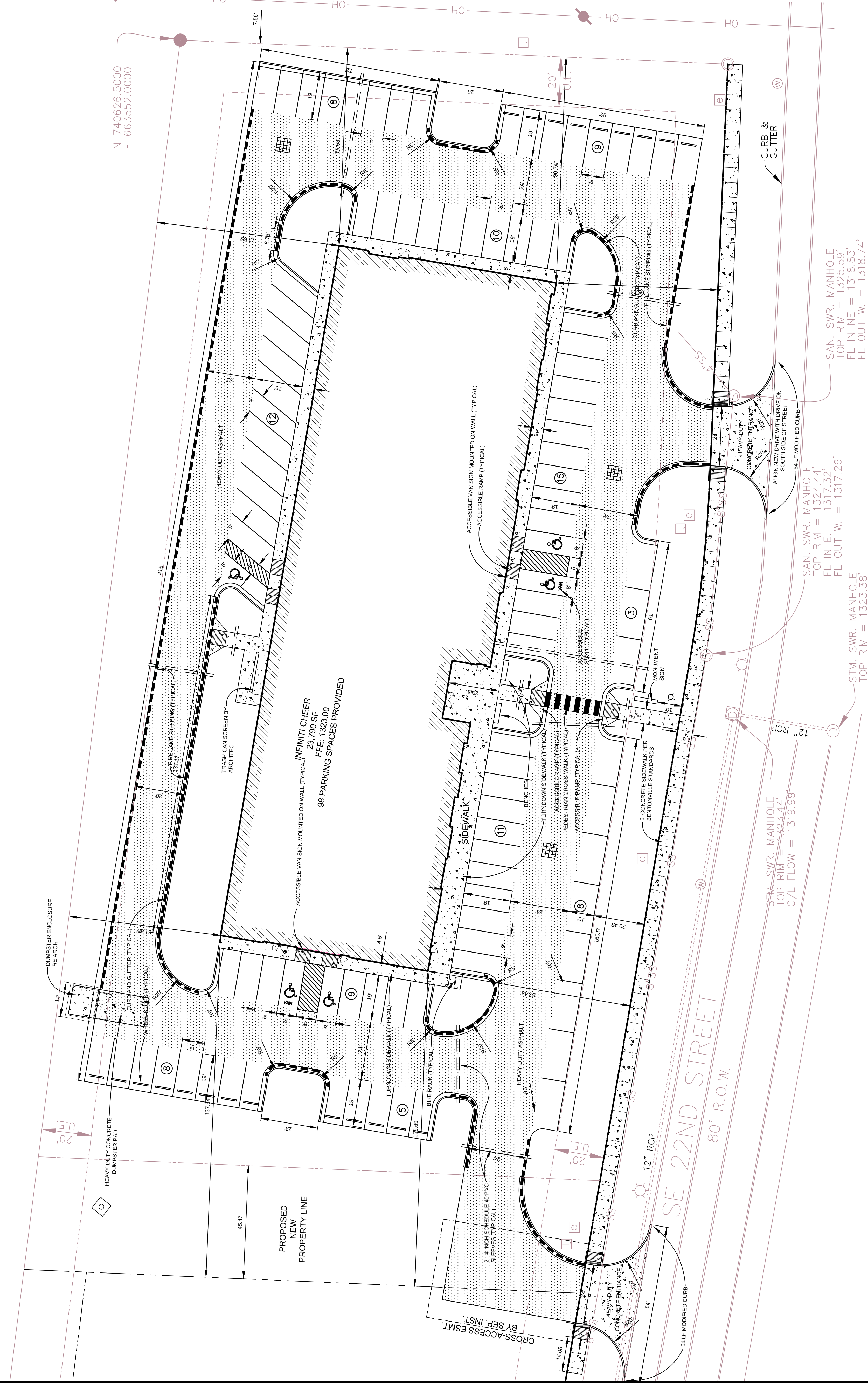
FRONT YARD: 0 FEET
SIDE YARD: 0 FEET (ADJ. TO NON-RESIDENTIAL), 10 FEET (ADJ. TO RESIDENTIAL)
REAR YARD: 0 FEET

SITE NOTES:

1. SIGN INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED BY THE CITY OF BENTONVILLE. SIGNAGE SHALL MEET CURRENT REFLECTIVITY SPECIFICATIONS. ALL SIGNAGE SHALL CONFORM TO THE LATEST MUTCD REQUIREMENTS.
2. CONTRACTOR IS RESPONSIBLE FOR STRIPING INSTALLATION. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE INSTRUCTED IN THE PROJECT SPECIFICATIONS.
3. ALL CONCRETE AND ASPHALT PAVEMENT, CURB AND GUTTER, AGGREGATE BASE, ETC. SHALL BE IN ACCORDANCE WITH THE DETAIL SHEETS AND THE CITY OF BENTONVILLE STANDARDS AND SPECIFICATIONS. ANY CHANGES MUST BE APPROVED BY THE ARCHITECT, THE OWNER, AND THE ENGINEER.
4. ALL SAW CUT EDGES SHALL BE A CLEAN EDGE. WIDTH OF ASPHALT / CURB REMOVAL MAY VARY: SEE PLANS. DISPOSE OF ALL REMOVED ASPHALT / CURB IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS FOR DISPOSAL.
5. ALL DIMENSIONS ARE TO CENTER OF STRIPE, EDGE OF PAVEMENT, FACE OF BUILDING, OR FACE OF CURB UNLESS OTHERWISE SPECIFIED.
6. ALL OFF-SITE EASEMENTS (PERMANENT AND TEMPORARY), IF ANY, ARE THE RESPONSIBILITY OF THE OWNER TO OBTAIN.
7. PER THE CITY OF BENTONVILLE, NO ADDITIONAL STREET CUTS WILL BE ALLOWED ONTO SE 22ND STREET.

GENERAL NOTES:

1. REMOVE ALL VEGETATION AND TOPSOIL FROM PROPOSED AREAS TO BE DISTURBED AND STORE FOR LATER USE. REGRADE AND FURNISH ADDITIONAL TOPSOIL AS REQUIRED. SEED AND STRAW ALL AREAS DISTURBED BY CONSTRUCTION, UNLESS IDENTIFIED TO BE SOD.
2. CONTRACTOR TO MAINTAIN EXISTING DRAINAGE PATTERN DURING CONSTRUCTION.
3. GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, GRADES, AND DIMENSIONS ON SITE AND IMMEDIATELY REPORT ALL MAJOR DISCREPANCIES (IF ANY) TO THE ARCHITECT.
4. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN. ANY DAMAGE TO SAID ITEMS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
5. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF BENTONVILLE REGULATIONS.
6. ALL COSTS ASSOCIATED WITH UTILITY CONNECTIONS (IF ANY) SHALL BE INCLUDED IN BASE BID. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
7. REFER TO PROJECT DETAIL SHEETS FOR ASPHALT PAVEMENT SECTIONS, CONCRETE PAVEMENT SECTIONS, AND SIDEWALK DETAILS.
8. ALL SIGNAGE, PAVEMENT MARKINGS, AND STRIPING SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS AND REGULATIONS.
9. ALL CURB/ACCESSIBLE RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR THE CITY OF BENTONVILLE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
10. CONTRACTOR MUST OBTAIN APPROVAL FROM THE CITY OF BENTONVILLE STREET DEPARTMENT PRIOR TO PERFORMING ANY STREET CUTS.
11. SLOPE FINISH GRADES, SIDEWALKS, AND PAVING AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
12. ALL PARKING SPACES INDICATED AS ACCESSIBLE SPACES SHALL RECEIVE ACCESSIBLE PAVEMENT MARKINGS, AND SHALL BE IN ACCORDANCE WITH ADA STANDARDS OR THE CITY OF BENTONVILLE REGULATIONS, WHICHEVER IS MORE RESTRICTIVE. REFER TO DETAIL SHEETS.



Planning Commission Staff Report
Conditional Use: Meteor Radio Tower
Project Number:

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: April 19, 2016 and April 5, 2015

GENERAL INFORMATION:

Applicant: Shirley Ferguson

Representative: Garrett Brewer

Requested Action: Conditional Use Permit Approval

Location: 128 West Central

Existing Zoning: D-C, Downtown Core

Land Use Plan: Mixed Use

Proposed Use: Wireless Communication Tower

BACKGROUND:

The applicant is requesting a Conditional Use to allow a wireless communication facility at 128 West Central. A 40' monopole with 4 guy wires is being proposed on top of the Meteor Theatre. The Antenna is needed to broadcast a Bentonville Community Radio Station. The studio will be located in the Meteor. No other structure changes are being requested at this time. No additional parking is needed. One to two employees will run the studio. A setback variance was approved for the location of pole at the Board of Adjustment meeting on February 2, 2016. The planning department has received letter of support from the both property owners to west. Please see the attached exhibits for further details.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	D-C, Downtown Core	Mixed Use
South	D-C, Downtown Core	Mixed Use
East	D-C, Downtown Core	Mixed Use
West	D-C, Downtown Core	Mixed Use

STREETS

Direction	Name	Classification
North		
South	West Central Avenue	Collector
East		
West		

Site Inspection: A site inspection was completed; this property is currently the site of the Meteor Theater.

Public Notice: On **February 1, 2016** a notice was published in the *Arkansas Democrat-Gazette, Northwest Arkansas Addition* and a public hearing notice sign was posted on the property on February 2, 2016. This meets legal noticing requirements and is adequate for the scope of this project.

STANDARD CONDITIONS OF APPROVAL:

1. All technical review comments must be addressed before building permits are issued.
2. The applicant must get approval through the sign permit process for any signage.

ISSUES / ANALYSIS:

SEC. 301.6. Planning Commission

E. Standards for Approval. In carrying out the purpose of this section, the Commission's consideration shall include, but not be limited to, the following development standards and design specifics. The appropriateness of these standards shall be determined at the discretion of the Planning Commission for each specific conditional use location.

1. The proposed use shall be so designated, located and operated so that the public health, safety and welfare will be protected.
2. The proposed land use shall be compatible with other area properties located near it.
3. The proposed use shall be in compliance with the provision of "Conditional Uses" as set out in this Ordinance.
4. The proposed use shall be in conformance with all applicable provisions stated in this Ordinance for the district in which the use is to be located. The use shall facilitate public convenience at that location.
5. The proposed conditional use shall be in conformance with all off-street parking and loading requirements of this Ordinance and ingress and egress and pedestrian ways shall be adequate.
6. Safeguards limiting noxious or offensive emissions, including lighting, noise, glare, dust and odor shall have been addressed in the proposed use application.
7. Landscaping and screening of the proposed use shall be in accordance with these Ordinance regulations and the City of Bentonville landscaping regulations.
8. Proposed use signage shall be in accordance with the provisions of this Ordinance.
9. Open space located on the proposed use shall be maintained by the owner/developer.
10. The size and shape of the site, including size, shape and arrangement of proposed structures shall be in keeping with the intent of this Ordinance.
11. The Planning Commission shall in no case authorize less than minimum requirements of the Ordinance relating to height, area, setbacks, parking or landscaping.

12. The Planning Commission shall not permit any use in a zone as a conditional use that is not permitted under the Zoning Ordinance.

The conditional use is allowed on appeal in the **(D-C, Downtown Core)** district.

A Conditional Use is defined as a use permitted in one or more districts as defined by this ordinance upon approval by the Planning Commission, but which use, because of characteristics peculiar to it, or because of size, technological processes or type of equipment, or because of the exact location with reference to surroundings, streets and existing improvements or demands upon public facilities, requires a special degree of control to make such uses consistent with and compatible with other existing or permissible uses in the same district or districts, and to assure that such uses shall not be inimical to the public interest.

Allowed under the Protective Covenants of the subdivision. Not applicable

To date staff **HAS NOT** been contacted regarding this request.

RECOMMENDATION:

Staff has reviewed this application and recommends the applicant request a shorter term for the installation of the tower at 128 West Central. A temporary approval at this location will allow the applicant adequate time to find a permanent location.

Planning Commission Staff Report
Conditional Use:. (Cars, Bikes & BBQ)
Project Number: 16-02000004

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: April 19, 2016

GENERAL INFORMATION:

Applicant/Owner: Walmart Stores Inc.

Representative: Maggie Jenkins

Requested Action: Conditional Use Permit Approval

Location: 805 Southeast Moberly Lane

Existing Zoning: C-2, General Commercial

Land Use Plan: Mixed Use and Commercial

Proposed Use: Special Even -Cars, Bikes & BBQ event/show

BACKGROUND:

The applicant has submitted a Conditional Use application for a temporary Cars, Bikes & BBQ Show/Event located at 805 Southeast Moberly Lane. The event will take place on Saturday May 7th from 7:00am – 4:00pm. All activities will take place outdoors. Port-a-potty's will be in use. Please see the attachments for participant and guest parking layout. All activities will be contained to the Wal-Mart ISD parking lot. No temporary outdoor lighting will be in use. Approximately 1500 guest and 100 staff members will be in attendance.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Parking and vacant land
South	C-2, General Commercial	Parking and Large Office Complex
East	R-1, Single Family Residential	Single Family Residences
West	R-1, Single Family Residential	Moberly Lane and Single Family Residences

STREETS

Direction	Name	Classification
North		
South		
East		
West	Southeast Moberly Lane	Arterial

Site Inspection: A site inspection was completed; this property is the parking lot for the Wal-mart ISD office building.

Public Notice: On **March 21, 2016** a notice was published in the *Arkansas Democrat-Gazette*, *Northwest Arkansas Addition* and a public hearing notice sign was posted on the property on **April 1, 2016**. This meets legal noticing requirements and is adequate for the scope of this project.

STANDARD CONDITIONS OF APPROVAL:

1. All technical review comments must be addressed before building permits are issued.
2. The “Cruise” must be reviewed and approved by Bentonville Police Department.
 - a. Any requirements from the PD must be satisfied and/or completed.

ISSUES / ANALYSIS:

SEC. 301.6. Planning Commission

E. Standards for Approval. In carrying out the purpose of this section, the Commission’s consideration shall include, but not be limited to, the following development standards and design specifics. The appropriateness of these standards shall be determined at the discretion of the Planning Commission for each specific conditional use location.

1. The proposed use shall be so designated, located and operated so that the public health, safety and welfare will be protected.
2. The proposed land use shall be compatible with other area properties located near it.
3. The proposed use shall be in compliance with the provision of “Conditional Uses” as set out in this Ordinance.
4. The proposed use shall be in conformance with all applicable provisions stated in this Ordinance for the district in which the use is to be located. The use shall facilitate public convenience at that location.
5. The proposed conditional use shall be in conformance with all off-street parking and loading requirements of this Ordinance and ingress and egress and pedestrian ways shall be adequate.
6. Safeguards limiting noxious or offensive emissions, including lighting, noise, glare, dust and odor shall have been addressed in the proposed use application.
7. Landscaping and screening of the proposed use shall be in accordance with these Ordinance regulations and the City of Bentonville landscaping regulations.
8. Proposed use signage shall be in accordance with the provisions of this Ordinance.
9. Open space located on the proposed use shall be maintained by the owner/developer.
10. The size and shape of the site, including size, shape and arrangement of proposed structures shall be in keeping with the intent of this Ordinance.

11. The Planning Commission shall in no case authorize less than minimum requirements of the Ordinance relating to height, area, setbacks, parking or landscaping.
12. The Planning Commission shall not permit any use in a zone as a conditional use that is not permitted under the Zoning Ordinance.

The conditional use is allowed on appeal in the **(C-2, General Commercial)** district.

Allowed under the Protective Covenants of the subdivision. Not applicable

To date staff **HAS NOT** received public comment regarding this request.

RECOMMENDATION:

Staff has reviewed this application and recommends APPROVAL.

Event Timeline

Date: May 7, 2016 (Saturday)

Time: 7am – 4pm

Location: David Glass Technology Building (DGTC): 805 SE Moberly Lane, Bentonville

Cars Expected: 300-400

Preliminary Agenda:

Registration – 7am – 12:30pm

Drive-thru Judging - 9am – 1:00pm

Cruise through Downtown Bentonville Square:

**1:30pm Lineup in the DGTC North Parking Lot
2pm – Leave lot**

Timeframe: 1hr 15min

Lead by: Sam Walton Truck

End: DGTC Parking Lot

Awards: 3:15pm – 4pm

Go home: 4pm

Rain Date

Date: May 8, 2016



Cruise Exit



**Event Area
(193 spots)**

**Participant
Entrance**

**Spectator
Entrance**

**Spectator
Parking
(384 spots)**

Construction Area

**Trailer
Parking**

Feedback



SE Moberly Ln

SE Jayel Terrace

SE Jamaica Dr

SE Jamaica Dr

Motorcycle Parking (30 spots)

KKOA Participant Parking (16 spots)

Participant Parking (16 spots)

Participant Parking (16 spots)

Participant Parking (11 spots)

Participant Parking (14 spots)

Participant Parking (12 spots)

Participant Parking (16 spots)

Participant Parking (16 spots)

Participant Parking (16 spots)

Participant Parking (16 spots)

Participant Parking (16 spots)

Drive-Thru Judging Area

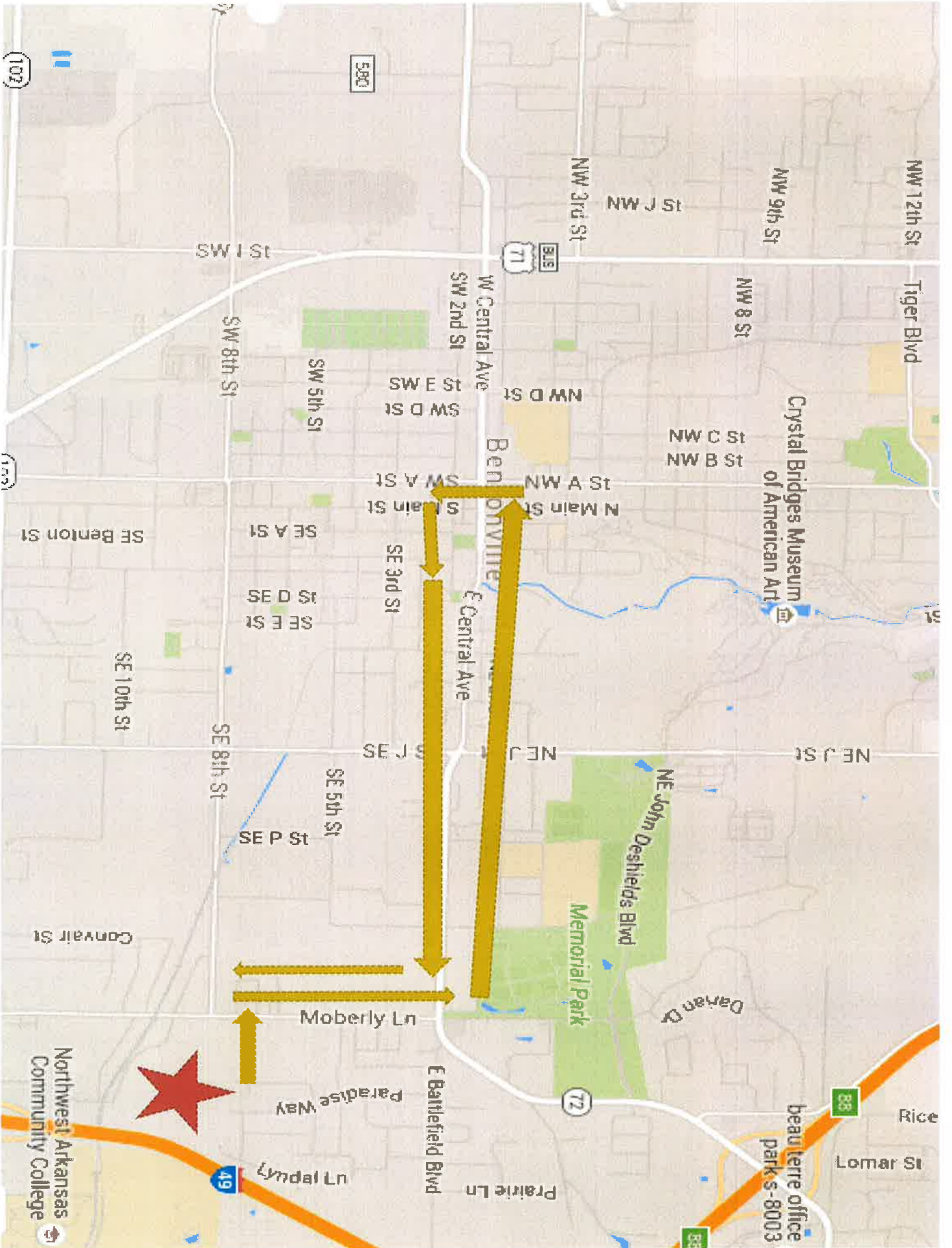
Advertise

About ou

183 total = West Side

ack

207 total = East Side





PC Meeting of: April 19, 2016

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3122
Fax: (479) 271-5906

REZONING: Mount Carmel Community in Bentonville, LLC (R-1, Single Family Residential to C-2, General Commercial)

Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Beau Thompson, AICP, Senior Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: April 19, 2016

GENERAL INFORMATION

H.T.E. Project Number: 16-09000006

Applicant/Current Owner: Troy Link Enterprises LLC

Representative: Sammi May with Morrison Shipley

Requested Action: Rezoning

Location: Southwest Regional Airport Road and Southwest Cornerstone Road

Existing Zoning: R-1, Single Family Residential

Proposed Zoning: C-2, General Commercial

Future Land Use Map Designation: Commercial

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is vacant along a major east to west corridor.

Previous Rezoning Requests for this Property: The property was rezoned in 2003 as part of the original Cornerstone Planned Unit Development.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Agricultural	Benton County	Office
South	Retention ponds	C-2, General Commercial and R-1, Single Family Residential	Commercial
East	Single family dwellings	C-2, General Commercial and R-1, Single Family Residential	Low Density Residential
West	Single family dwellings	R-1, Single Family Residential	Low Density Residential

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North and South	Southwest Regional Airport Boulevard	Arterial	Under Construction to 5 lanes
East	Southwest Cornerstone Road	Local Street	2 lanes with Curb and Gutter
West			

LEGAL NOTIFICATIONS

Public Notice: On March 8, 2016, the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on March 17, 2016. In addition, staff posted a notice of public hearing sign on the property on April 1, 2016. This DOES meet legal noticing requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: The proposed zoning is consistent with the adjacent C-2, General commercial zoning located to the north. This would be a continuation and extension of an existing parcel that is already zoned C-2.

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: The proposed zoning designation would create a traffic concern.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

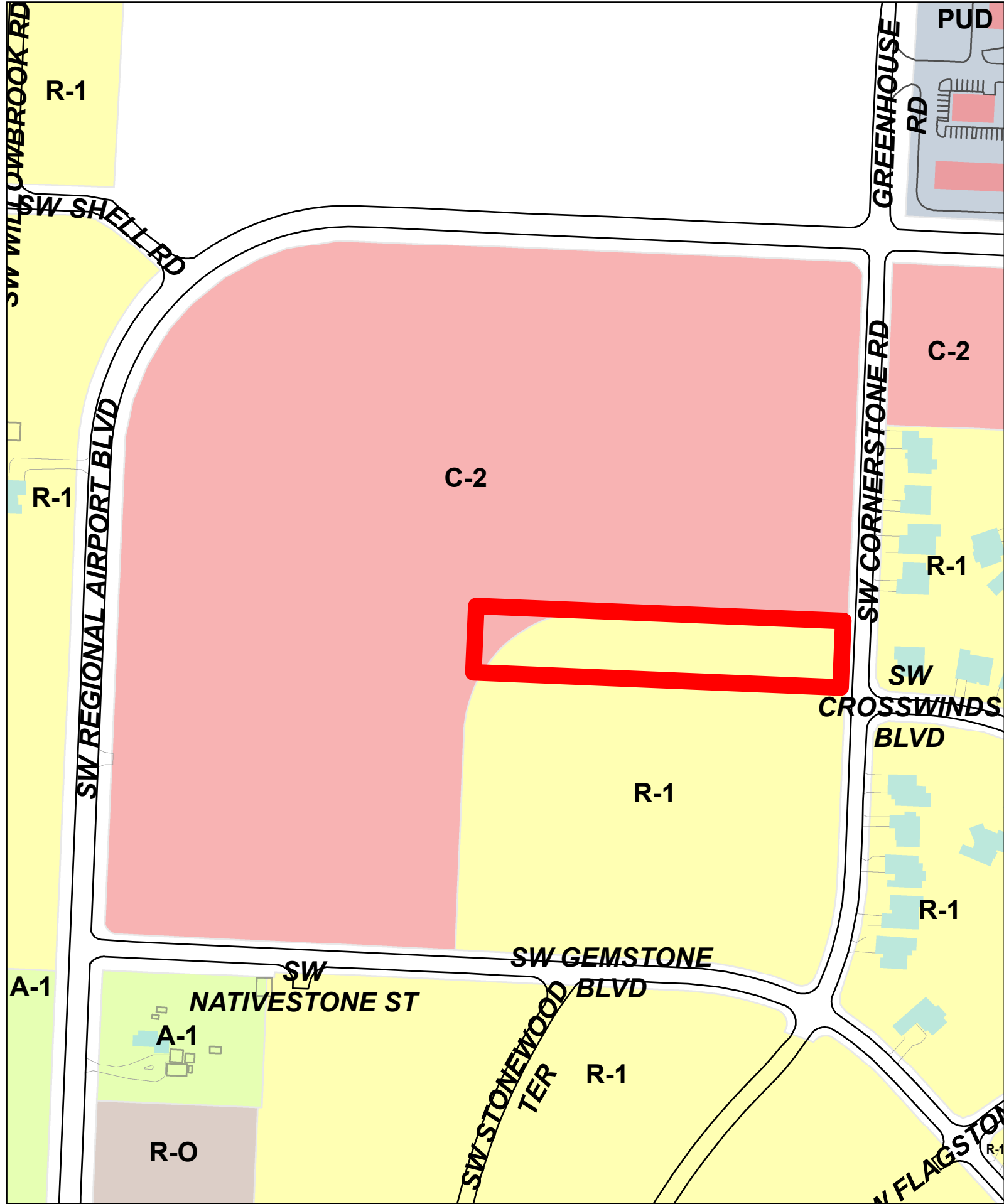
Finding(s) of Staff: City services are adequate at this location.

ANALYSIS, CONCLUSION, & SUMMARY

The rezoning request is consistent with the City of Bentonville's Future Land Use Map, which depicts this property as commercial. The property is located within an activity node based on the land use map. The general plan encourages a mixed of uses in the centers and specifically encourages commercial and residential uses within close proximity.

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends APPROVAL of this rezoning from R-1, Single Family Residential to C-2, General Commercial.





March 11, 2016

Mr. Jon Stanley
City of Bentonville Planning Department
305 S.W. "A" Street
Bentonville, AR 72712

RE: Rezoning Request
Mt. Carmel Community in Bentonville
HWEI Project No. 2015007

Dear Mr. Stanley:

On behalf of Mt. Carmel Community in Bentonville, LLC. Please find enclosed the rezoning application, a check for the application fee, a copy of the property warranty deed, an entry signage narrative and a legal description of the property for the rezoning of approximately 1.43 acres of a larger tract of 18.71 acres. The property is located on the south side of SW Regional Airport Boulevard (Highway 12) between SW Cornerstone Road and SW Gemstone Boulevard. Also included in this request are the documentation required for the public notification process, including a list of surrounding property owners, site vicinity map, and certified mail receipts for the public notice letters.

The area requiring rezoning was purchased by Mt. Carmel Community at Bentonville, LLC and is part of a larger single lot approximately 18.71 acres total. The majority of this lot is zoned C-2. There is a small portion of the lot, approximately 1.43 acres, that is currently zoned R-1. The proposed zoning designation is C-2. Below is a narrative addressing the required items under the Rezoning Request Checklist.

- A portion of the property needs to be rezoned to match the zoning of the rest of the property (C-2). The current zoning designation (R-1) does not allow for the proposed use of the property, an assisted living facility. The proposed zoning of C-2 allows the proposed property use.
- The zoning designations for the surrounding properties vary from R-1 to C-2. The proposed rezoning will match the surrounding properties.
- The development of the property includes a 64,280 square foot assisted living facility with a total of 76 beds, a 2,300 square foot club house, and 31 single family residential cottages.
- The proposed improvements include two (2) driveways onto SW Regional Airport Boulevard. From the ITE Trip Generation, 8th Edition the number of trips generated from a Senior Adult Housing – Detached development (Land Use 252) is 9 trips for weekday A.M. peak and 11 trips for weekday P.M. peak per hour. The number of trips generated from the Assisted Living Facility (Land Use 254) is 27 trips for weekday peak per hour. The estimated peak hourly trips rate is 38 trips per hour. There are 79 planned parking spaces around the assisted living facility. There are an additional 14 planned parking spaces for the club house. Also each cottage has a two car garage and a driveway for additional parking.

110 So. 7th Street • P.O. Box 648 • Van Buren, AR 72957 • Ph: (479) 474-1227 • (479) 474-8531
211 Natural Resources Drive • Little Rock, AR 72205 • Ph: (501) 374-4846 • Fax: (501) 374-4886

www.hawkins-weir.com

2015007/JS031116KSRezoningNarrative.docx



Mr. Jon Stanley
Page 2
March 11, 2016

- SIGNAGE – Refer to Entry Signage narrative enclosed.
- The architecture of the assisted living facility and cottages are designed to correlate with the architecture of the existing homes in the Cornerstone Ridge Subdivision. The proposed exterior for the facility are included in the Large Scale Development Plans.
- There is a 12-inch water line at the north and west edge of the property line. One connection will be made to this 12-inch water line on the north side of the property. Sanitary Sewer service is available off site near the intersection of SW Regional Airport Boulevard and SW Gemstone Boulevard. A new 8-inch sewer line will be installed across the adjoining property to the south within a sewer easement to the existing sanitary sewer system.

If you have questions, comments, or require additional information, please do not hesitate to contact us by telephone at 479.474.1227.

Sincerely,

HAWKINS-WEIR ENGINEERS, INC.

J. Kyle Salyer, P.E., P.S.

JKS/cnc

Enclosures: Rezoning Application
Check No. 40630 for \$275.00
Copy of Warranty Deed
Legal Description (Word format emailed to dishastid@bentonvillear.com)
List of Surrounding Property Owners
Site Vicinity Map
Public Notice Letter Certified Mail Receipts
Entry Signage Narrative (10 copies)

cc: Mr. Rick Mooney



PC Meeting of: April 19, 2016

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3122
Fax: (479) 271-5906

REZONING: LUAU Properties, LLC (R-1, Single Family Residential to RC-2, Central Residential-Moderate Density)

Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Beau Thompson, AICP, Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: April 19, 2016

GENERAL INFORMATION

H.T.E. Project Number: 16-09000007

Applicant/Current Owner: LUAU Properties, LLC

Representative: Heath Myers

Requested Action: Rezoning

Location: 202 Southwest C Street

Existing Zoning: R-1, Single Family Residential

Proposed Zoning: RC-2, Central Residential-Moderate Density

Future Land Use Map Designation: Downtown Mixed Use Residential

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is occupied by an existing single family home in downtown residential neighborhood.

Previous Rezoning Requests for this Property: There are no known rezoning's for this property.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Single family residence	R-1, Single Family Residential	Downtown Mixed Use Residential
South	Single family residence	R-1, Single Family Residential	Downtown Mixed Use Residential
East	Single family residence	R-1, Single Family Residential	Downtown Mixed Use Residential
West	Single family residence	R-1, Single Family Residential	Downtown Mixed Use Residential

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North	Southwest 2 nd Street	Local Street	-
South	-	-	-
East	Southwest C Street	Local Street	20' of asphalt no curb or gutter
West	-	-	-

LEGAL NOTIFICATIONS

Public Notice: On March 17, 2016, the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on March 27, 2016. In addition, staff posted a notice of public hearing sign on the property on April 1, 2016. This DOES meet legal noticing requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: According to Policy LU-16 Infill Development of the General Plan “The City shall encourage the development of mixed-use and residential projects with in the downtown area to increase the community’s housing stock and to enhance the vitality of downtown businesses. Policy LU-23 Housing Types states “the City should encourage the development of a mix of housing types to the meet the needs of residents...”. The proposed rezoning will meet the intent of both policies therefore the request is consistent with good land use planning and the general plan.

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: The proposed rezoning will not create an increase to traffic in the area.
The property is located within the downtown area and the existing street grid network is adequate in this area.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

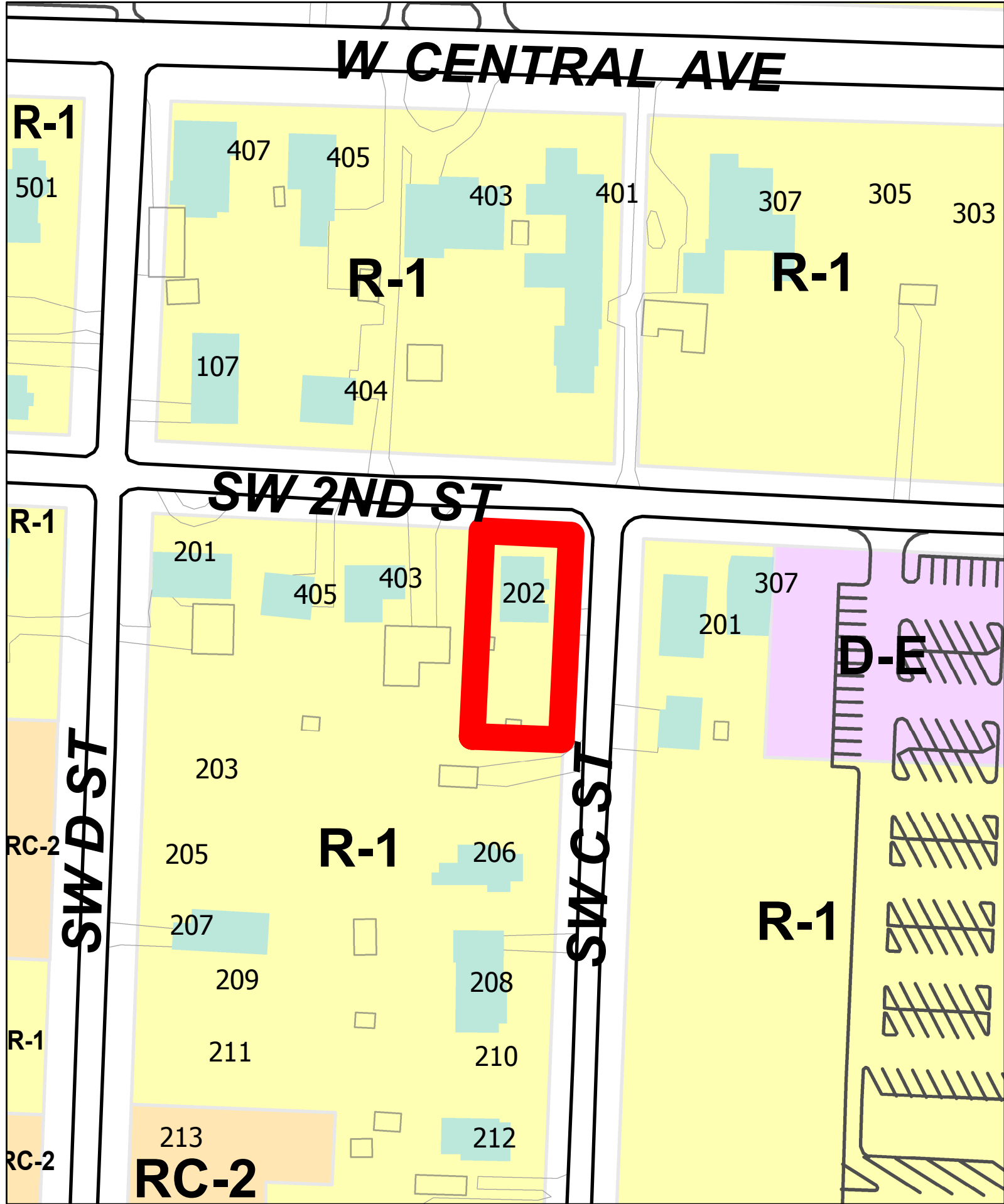
Finding(s) of Staff: City services are adequate at this location. Water and sewer are both available in Southeast 2nd Street.

ANALYSIS, CONCLUSION, & SUMMARY

The rezoning request is consistent with the City of Bentonville’s Future Land Use Map, which depicts this property as Downtown Mixed Use Residential.

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends APPROVAL of this rezoning from R-1, Single Family Residential to RC-2, Central Residential- Moderate Density.





Blew & Associates, P.A.

Civil Engineers

Professional Land Surveyors

524 West Sycamore St., Suite #4
Fayetteville, Arkansas 72703
479-443-4506
Fax 582-1883

City of Bentonville Planning Department

February 29, 2016

Re: Scott Huff Rezone Request
202 SW C. St.
Bentonville, AR 72712
Parcel #01-01737-000

To Whom It May Concern,

Our Client, Scott Huff/ Luau Properties LLC is requesting a rezone for the property located at 202 SW. C Street Bentonville, AR 72712. Currently the property is zoned R-1 and he is requesting it to be rezoned to R-C2. This rezoning is required to meet the lot width minimum requirements for a future split/development our client is wanting to do. This rezoning should have very minimal effect on the surrounding properties and fits well with the future zoning plan. The use will continue to be residential with very minimal increase in traffic for the area. There shouldn't be any signage that would affect anyone's view and the appearance will actually improve from its current condition with the future plans after the rezone. There is a 6" sewer line accessible along the north line of the property and a 6" water line accessible along the east side of the property so availability to utilities should not be an issue. If you have any additional questions or comments feel free to contact our office.

Sincerely,

Heath Myers
Project Manager
Blew & Associates, P.A.



PC Meeting of: April 19, 2016

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3122
Fax: (479) 271-5906

REZONING: SW A Building, LLC (R-1, Single Family Residential to D-C, Downtown Core)

Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Beau Thompson, AICP, Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: April 19, 2016

GENERAL INFORMATION

H.T.E. Project Number: 16-09000008

Applicant/Current Owner: SW A Building LLC

Representative: Brenda Anderson

Requested Action: Rezoning

Location: Southwest 4th Street and Southwest A Street

Existing Zoning: R-1, Single Family Residential

Proposed Zoning: D-C, Downtown Core

Future Land Use Map Designation: Mixed Use

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is vacant along a urban mixed use corridor.

Previous Rezoning Requests for this Property: There are no known rezoning's for this property.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Matkins Nursery	D-C, Downtown Core	Mixed Use
South	Townhomes under construction	D-C, Downtown Core	Mixed Use
East	Vacant	D-C, Downtown Core	Mixed Use
West	Two Family Dwelling	R-1, Single Family Residential	Downtown Mixed Use Residential

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North	-	-	-
South	Southwest 4 th Street	Local Street	2 lane no curb or gutter
East	Southwest 'A' Street	Urban Collector	2 lane striped no curb on west side
West	-	-	-

LEGAL NOTIFICATIONS

Public Notice: On March 10, 2016, the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on March 17, 2016. In addition, staff posted a notice of public hearing sign on the property on April 1, 2016. This DOES meet legal noticing requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: The intent of the Downtown Core zoning district is to maintain and expand the pedestrian oriented character of the town square. The physical form is of an urban character with uses that promote retail with upper story residential uses permitted. The proposed zoning change is consistent with good land planning and the general plan.

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: The proposed zoning will not change current traffic conditions at this location. The proposed zoning is located within the downtown area where the city's street grid infrastructure is adequate and offers motorists a variety of options when traveling in all directions.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

Finding(s) of Staff: A Large Scale Development has been submitted for this property. During the review of that document it has been determined that all city services are adequate.

ANALYSIS, CONCLUSION, & SUMMARY

The rezoning request is consistent with the City of Bentonville's Future Land Use Map, which depicts this property as mixed use.

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends APPROVAL of this rezoning from R-1, Single Family Residential to D-C, Downtown Core.

SW A BUILDING LLC REZONING REQUEST NARRATIVE

Owners request the rezoning of lots 11, 12, & 13, Block 8, Clark's Second Addition from R-1 to DC. The subject parcels are vacant and are located adjacent to other lots currently zoned DC and under the same ownership. The Owner desires to replat all lots owned into a single parcel for commercial development. There is no plan for sale of the properties; owners' intent is to develop and lease the commercial spaces developed thereon.

The proposed development includes two buildings which will face SW A Street; one for theatre occupancy and one for mercantile/office occupancy. Both buildings will be served by parking lots located to the west of the structures, in an area including lots 11, 12, & 13.

Ownership has submitted development plans for the project. Those plans are currently under review by City staff. Issues of traffic, signage, and appearance will be addressed through that process. There is no anticipation of a variance request for any current city development standard.

City utilities are found in the streets on the west and south side of the subject property. Both 4" and 8" water line are located in SW 4th Street; another 4" water line is located in SW B Street. City sewer lines are also located in both SW 4th and SW B Street.



PC Meeting of: April 19, 2016

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3126
Fax: (479) 271-5906

REZONING: CHP, LLC (R-1, Single Family Residential to R-C2, Central Residential – Moderate Density)

Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Beau Thompson, AICP, Senior Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: April 19, 2016

GENERAL INFORMATION

H.T.E. Project Number: 16-09000010

Applicant/Current Owner: CHP, LLC

Representative: Terry Ging Services

Requested Action: Rezoning

Location: 304 Southwest Glover Street

Existing Zoning: R-1, Single Family Residential

Proposed Zoning: R-C2, Central Residential – Moderate Density

Future Land Use Map Designation: Downtown Mixed Use Residential

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; the property is currently the location of the single family residence in a redeveloping downtown residential neighborhood.

Previous Rezoning Requests for this Property: There are no known rezonings for this property.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Single Family Dwelling	R-1, Single Family Residential	Downtown Mixed Use Residential
South	Single Family Dwelling	R-C2, Central Residential – Moderate Density and R-1, Single Family Residential	Downtown Mixed Use Residential
East	Single Family Dwelling	R-1, Single Family Residential	Downtown Mixed Use Residential
West	Single Family Dwelling	R-1, Single Family Residential and RC-2, Central Residential Moderate Density	Downtown Mixed Use Residential

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North			
South			
East	Southwest Glover Street	Local street	2 lane asphalt, no curb or gutter
West			

LEGAL NOTIFICATIONS

Public Notice: On **March 17, 2016**, the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site, However three property owners were not notified at that time. Staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Edition on **March 21, 2016**. In addition, staff posted a notice of public hearing sign on the property on **April 1, 2016**. This **DOES NOT** meet legal noticing requirements and is not adequate for the scope of this rezoning application. The applicant has notified the missing neighbors and request the Planning Commission hold another public hearing on May 3, 2016

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: According to Policy LU-16 Infill Development of the General Plan “The City shall encourage the development of mixed-use and residential projects with in the downtown area to increase the community’s housing stock and to enhance the vitality of downtown businesses. Policy LU-23 Housing Types states “the City should encourage the development of a mix of housing types to the meet the needs of residents...”. The proposed rezoning will meet the intent of both policies therefore the request is consistent with good land use planning and the general plan.

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: The proposed rezoning will not create an increase to traffic in the area.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

Finding(s) of Staff: The proposed zoning will not adversely impact the public infrastructure. Water and sewer are available at this location. Emergency services are adequate at this location.

ANALYSIS, CONCLUSION, & SUMMARY

The RC-2 zoning district will allow for the construction of a variety of housing types while creating density to the downtown. The RC-2 zoning district will facilitate consistent housing with adjoining properties. The additional density will further increase the validity of downtown businesses without adversely impacting city infrastructure.

The rezoning request **IS** consistent with the City of Bentonville's Future Land Use Map, which depicts this property as Medium Density Residential.

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends this item be **tabled** after the Public Hearing and an additional hearing be held on May 3, 2016. The applicant has notified the additional property owners of the public hearing on May 3, 2016.

SW F ST

SW GLOVER ST

SW 4TH ST

R-1

R-1

RC-2

R-1

R-1

301

218

216

303

220

218

311

302

302

313

315

304

304

317

306

612

610

608

606

308

611

607

605

609

400



1 inch = 67 feet

*Rezone R-1 to R-C2
CHP, LLC.
Lot 22 Clark's Addition
304 SW Glover St.
.22 Acres Total*





PC Meeting of: April 19, 2016

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3122
Fax: (479) 271-5906

REZONING: PARSLEY, A-1, Agricultural to R-1, Single Family Residential
Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Beau Thompson, AICP, Senior Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: April 19, 2016

GENERAL INFORMATION

H.T.E. Project Number: 15-09000009

Applicant/Current Owner: Barry and Kim Parsley

Representative: Terri Parsley

Requested Action: Rezoning

Location: 9004 Windmill Road

Existing Zoning: A-1, Agricultural

Proposed Zoning: R-1, Single Family Residential

Future Land Use Map Designation: Low Density Residential

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is the site of single family dwelling and a large agricultural buildings.

Previous Rezoning Requests for this Property: The property was recently annexed into the City of Bentonville corporate limits as A-1, Agricultural.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Single Family subdivision	R-1, Single Family Residential	Agricultural
South	Agricultural	Benton County	Agricultural
East	Agricultural	Cave Springs	Cave Springs
West	Single Family Subdivision	R-1, Single Family Residential	Agricultural

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North			
South	Southwest Windmill Road	Arterial	2 lane open ditch
East			
West			

LEGAL NOTIFICATIONS

Public Notice: On April 8, 2016, the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on March 27, 2016. In addition, staff posted a notice of public hearing sign on the property on April 1, 2016. This DOES NOT meet legal noticing requirements and are adequate for the scope of this rezoning application. The applicant has sent the property owner notifications for the May 3, 2016 Planning Commission.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: As stated in the general plan: “Areas that are more suitable for development are most likely to develop first. Suitability for development is based on criteria such as proximity to major roads and utilities; absence of impediments such as wetlands, floodplain, and steep slopes; and compatibility with surrounding land uses.” As vacant property is developed the adjacent property will become more suitable for development. The extension of city services will facilitate the expansion of the “suitable” land for development. The proposed land use map amendment will meet the intent of the General Plan. The proposed amendment would meet the criteria listed above. The property is located at the intersection of two arterial roads, the topography is conducive to the development and utilities are within close proximity; therefore the request is consistent with good land use planning and the general plan.

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: The property is currently located with close proximity to the intersection of two arterial streets. Current traffic conditions should not be altered by the proposed zoning.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

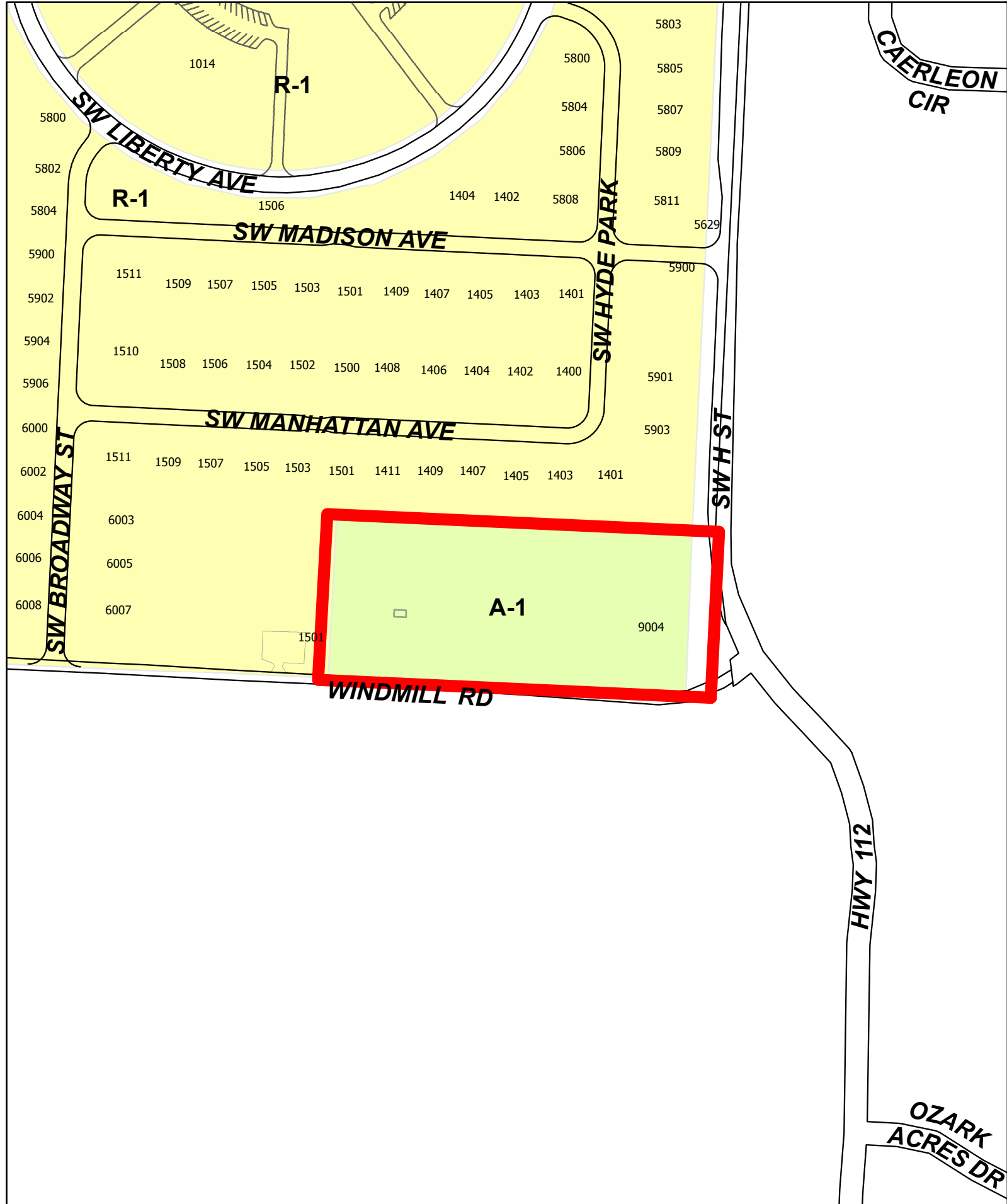
Finding(s) of Staff: Public services area adequate in this area. Water is available approximately 500 feet from the subject property. Sewer is available along the north property line. Water and sewer main extension will be required at the time of Large Scale Development approval. Emergency services are located within close proximity.

ANALYSIS, CONCLUSION, & SUMMARY

The rezoning request is consistent with the City of Bentonville's Future Land Use Map, which depicts this property as Low Density Residential. The proposed land use amendment is located at the intersection of two arterial roads. While the intersection allows for a mix of uses, the correct and appropriately designed low density residential development could be viable at this location. Additional dwelling units in this area will prompt future growth furthering the demand for local good and services. All public utilities have been extended to the property to better facilitate development outside of the current agricultural uses. The low density residential designation will be consistent with the two existing single family subdivisions to the north.

STAFF RECOMMENDATION

Staff has reviewed this application and recommends the item be tabled after the public hearing. The applicant failed to notify the adjacent property owners within the allotted time specified by the State of Arkansas. A separate hearing will need to be held at the May 3, 2016 Planning Commission meeting to fulfill the notification requirements associate with a rezoning.



DATE: February 24, 2016

TO: City of Bentonville

RE: Rezoning Request

This is in reference to the rezoning request of property located at 9004 Windmill, Bentonville, AR.

The current zoning is Agricultural and we are requesting it to be rezoned to R-1.

As the current owner we feel the property would be better served as a small residential development.

There are several developments such as St. Vallery Downs and Central Park next to our property.

Sewer easement and service line are available on the North side of property, with water easement and 8 inch service line available approximately 500 feet on south side of property on corner of Windmill and SW Broadway.

If you need further information or have questions please contact Terri Parsley at 479-409-6559.

Thank you for time concerning this rezoning request.


Barry W Parsley & Kim Parsley



PC Meeting of: April 19, 2016

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3122
Fax: (479) 271-5906

REZONING: Laman (R-1, Single Family Residential to RC-2, Central Residential-Moderate Density)

Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Beau Thompson, AICP, Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: April 19, 2016

GENERAL INFORMATION

H.T.E. Project Number: 16-090000012

Applicant/Current Owner: Kerry Laman

Representative: Heath Myers

Requested Action: Rezoning

Location: 903 Southeast 5th Street

Existing Zoning: R-1, Single Family Residential

Proposed Zoning: RC-2, Central Residential-Moderate Density

Future Land Use Map Designation: Medium Density Residential

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is currently vacant. A single family residence was recently removed from the site.

Previous Rezoning Requests for this Property: There are no known rezoning's for this property.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Single Family Residence	R-1, Single Family Residential	Medium Density Residential
South	Commercial Leased Space	C-1, Neighborhood Commercial	Commercial
East	Single Family Residence	R-1, Single Family Residential	Medium Density Residential
West	Single Family Residence	R-1, Single Family Residential	Medium Density Residential

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North	-	-	-
South	-	-	-
East	Southeast 'D' Street	Local Street	20' of asphalt no curb or gutter
West	-	-	-

LEGAL NOTIFICATIONS

Public Notice: On March 17, 2016, the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on March 21, 2016. In addition, staff posted a notice of public hearing sign on the property on April 1, 2016. This DOES meet legal noticing requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: The RC-2 district allows for a variety of housing types for a variety of lifestyles while encouraging traditional design. This area is appropriate for a transitional zone between single family residential and the industrial and commercial zones located to the south. The RC-2 designation is appropriate for this location and is consistent with all land use principles and policies.

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: The proposed rezoning will not create an increase to traffic in the area. The property is located within the downtown area and the existing street grid network is adequate in this area.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

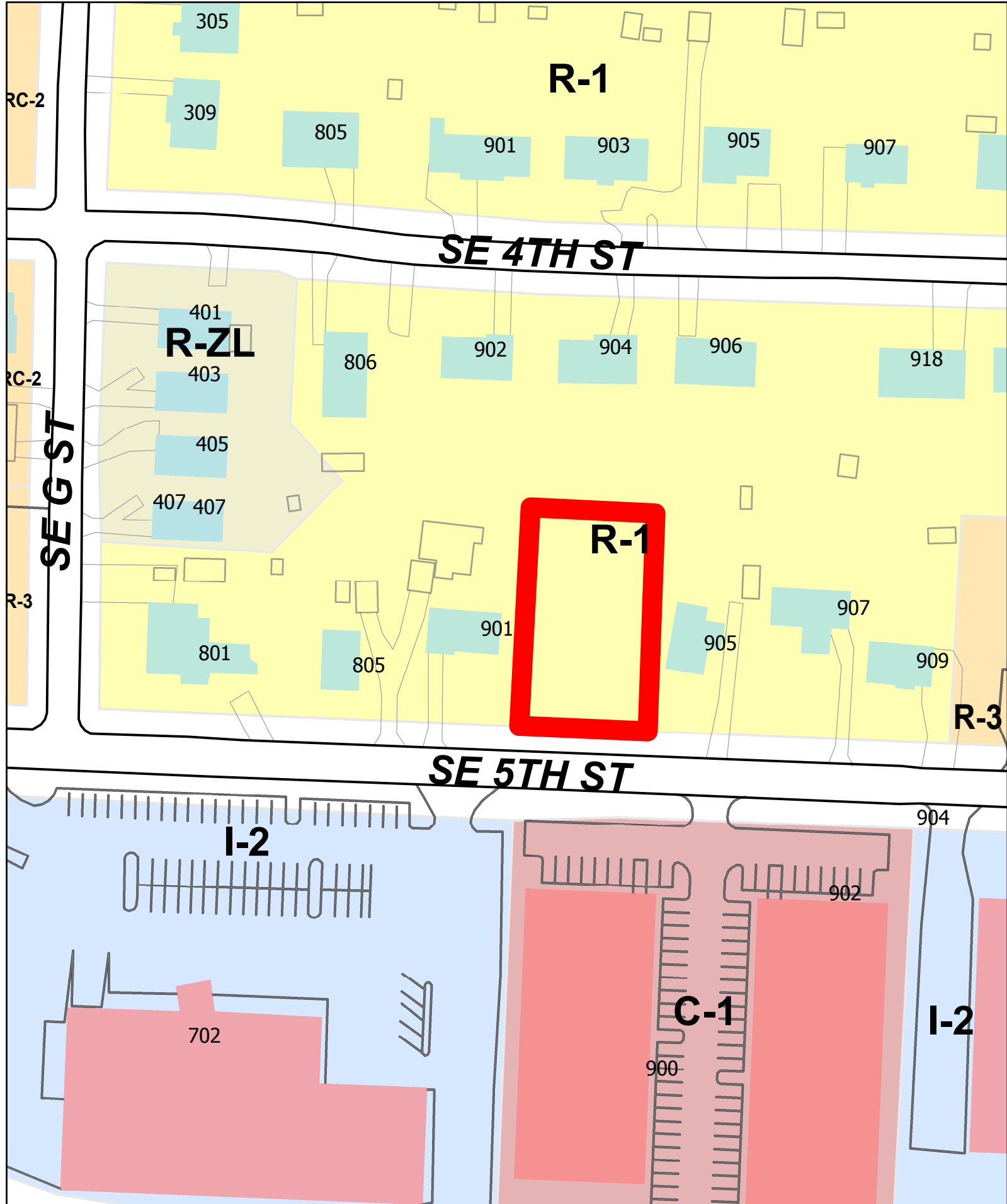
Finding(s) of Staff: City services are adequate at this location. Water is available along Southeast 5th Street and sewer is available on site.

ANALYSIS, CONCLUSION, & SUMMARY

The rezoning request is consistent with the City of Bentonville's Future Land Use Map, which depicts this property as Medium Density Residential

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends APPROVAL of this rezoning from R-1, Single Family Residential to RC-2, Central Residential-Moderate Density.





Blew & Associates, P.A.

Civil Engineers

Professional Land Surveyors

524 West Sycamore St., Suite #4
Fayetteville, Arkansas 72703
479-443-4506
Fax 582-1883

City of Bentonville Planning Department

March 11, 2016

Re: Kerry Laman
903 SE 5th Street
Bentonville, AR 72712
Parcel #01-02492-000

To Whom It May Concern,

Our Client, Kerry Laman is requesting a rezone on his property located at 903 SE 5th Street Bentonville, AR 72712. Currently the property are zoned R-1 and he is requesting the property to be rezoned to R-C2. This rezoning is required to meet the lot width minimum requirements for a future split/development our client is wanting to do. This rezoning should have very minimal effect on the surrounding properties and fits well with the future zoning plan. The use will continue to be residential with very minimal increase in traffic for the area. There shouldn't be any signage that would affect anyone's view and the appearance will actually improve from its current condition with the future plans after the rezone. There is an 8" sewer line and an 8" waterline running along SE 5th street so availability to utilities should not be an issue. If you have any additional questions or comments feel free to contact our office.

Sincerely,

Heath Myers
Project Manager
Blew & Associates, P.A.



PC Meeting of: April 19, 2016

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3122
Fax: (479) 271-5906

REZONING: Bentonville Child Care and Development Center, Inc. (R-1, R-E and A-1 to R-O, Residential Office)

Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Beau Thompson, AICP, Senior Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: April 19, 2016

GENERAL INFORMATION

H.T.E. Project Number: 16-09000013

Applicant/Current Owner: Bentonville Child Care and Development Center Inc.

Representative: Dirk Thibodaux with Grayrock Consulting

Requested Action: Rezoning

Location: Northeast J Street

Existing Zoning: R-1, Single Family Residential, R-E, Residential Estate and A-1, Agricultural

Proposed Zoning: R-O, Residential Office

Future Land Use Map Designation: Mixed Use and High Density Residential

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is currently vacant in a mixed use area.

Previous Rezoning Requests for this Property: No information on the rezonings exists at this time.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Vacant	A-1, Agricultural	High Density Residential
South	Multifamily	R-3, Medium Density Residential	Low Density Residential
East	Single Family Neighborhood and a Lot lot single family estate	R-E, Residential Estate and R-1, Single Family Residential	Low Density Residential and Mixed Use
West	Vacant Agricultural Land	A-1, Agricultural and R-1, Single Family Residential	Medium Density Residential

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North			
South			
East	Northeast J Street	Arterial Street	2 lane improved with center turning lane
West			

LEGAL NOTIFICATIONS

Public Notice: On March 30, 2016 , the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on March 21, 2016. In addition, staff posted a notice of public hearing sign on the property on April 1, 2016. This DOES meet legal noticing requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: The R-O, Residential Office district is consistent with the land use and zoning plan. The R-O designation will create an area of transition between the Mixed use designation to the north and the variety of residential housing to the south..

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: The property is currently located with close proximity to the intersection of two arterial streets. The traffic generated by the proposed use will have several options within the network of street to accommodate their travels. The variety of options should reduce the possibility of congestion in the area.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

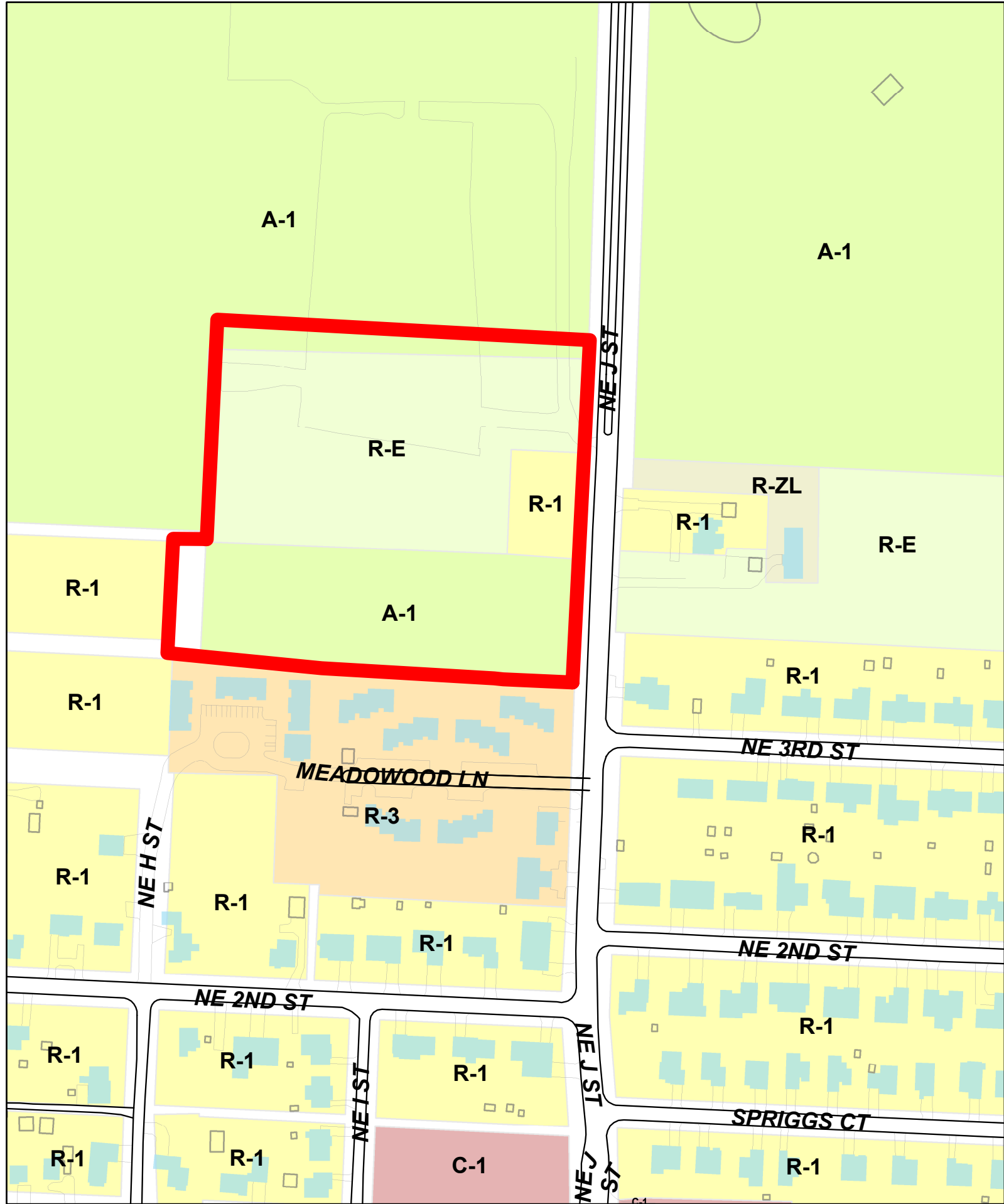
Finding(s) of Staff: Water and Electric services are currently adequate at this location. Sanitary Sewer will need to be extended to the site before development can occur. It is located along Northeast J street to the north of the proposed rezoning location.

ANALYSIS, CONCLUSION, & SUMMARY

The rezoning request is consistent with the City of Bentonville's Future Land Use Map, which depicts this property as Mixed Use, High Density Residential and Low Density Residential. The R-O zoning designation will create a much needed transition from the more intense commercial uses north of the property to the variety of housing option to the south. The R-O zoning will provide goods and services to residential properties in close proximity while prohibiting uses that may be impactful to the residential properties immediately adjacent to the site.

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends APPROVAL of this rezoning from R-1, Single Family Residential, R-E, Residential Estate and A-1, Agricultural to R-O, Residential Office.





GRAY ROCK, LLC.
Civil Engineering and Landscape Architecture
5204 Village Parkway, Suite 11
Rogers, AR 72758 479.250.9131

March 17, 2016

Beau Thompson
Planning Department
City of Bentonville

Re: Children's Enrichment Center Rezone

Dear Mr. Thompson,

Please accept this narrative for the Children's Enrichment Center in Bentonville, AR. The current zoning of the property is A-1, R-E, and R-1. The intent is to rezone it all to R-O, so that the lots can be combined into to build the Center. The R-O zoning is a good buffer between the residential zoning and the museum property. The proposed development will not sever4ly impact traffic flow in the area, due to it adjoining the Crystal Bridges Museum property. The signage will be limited and the appearance will be similar to the Crystal Bridges Museum and the Amuseum buildings. There is currently water and sewer to the site.

Respectfully submitted,

A handwritten signature in cursive script, reading 'M. Dirk Thibodaux'.

Gray Rock, LLC
M. Dirk Thibodaux, ASLA, PLA