



**Planning Commission
Agenda
August 18, 2015**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**

- 1. Lot 26 Block 10 W.A. Burks Addition** **Property Line Adjustment**
Fillmore Street and Park Street
- 2. Lot 9 Block 4 Deming's Addition** **Property Line Adjustment**
Northwest 4th Street and Northwest A Street
- 3. Lots 4 and 5 A&T Addition** **Property Line Adjustment**
Southwest 8th Street and Southwest
- 4. Lot 1 Campbell Subdivision** **Lot Split**
Northeast C Street and Northeast Blake Street

IV. New Business

- 1. Carlson, MSB Holdings, Drummond Industries and Davisson** **Rezoning***
(R-1, Single Family Residential to D-E, Downtown Edge)
Northwest A Street and Northwest 3rd Street
- 2. Bike Rack Group, LLC** **Rezoning***
(R-1, Single Family Residential to RC-2, Central Residential- Moderate Density)
909 North Main Street
- 3. Cottonwood Development Co. LLC** **Rezoning***
(Expired Planned Unit Development to C-2, General Commercial)
Southeast 22nd Street and Southeast G Street
- 4. Benton County Bar Association** **Conditional Use***
200 East Central
- 5. McClarty Daniel Nissan Tent Sales** **Conditional Use***
2601 South Moberly Lane
- 6. McClarty Daniel CDJR Tent Sales** **Conditional Use***
2201 South Moberly Lane
- 7. Janett's Tiny Tots** **Conditional Use***
4400 Southwest Lilly Lane
- 8. Southeast G Street Parking Lot** **Large Scale Development**
Southeast G Street and Southeast 22nd Street
- 9. 8W Center** **Large Scale Development**
Southwest 8th Street and South Walton Boulevard

10. Arvest ATM

Southwest 8th Street and South Walton Boulevard

Large Scale Development

11. 5790 Opal Road

New Single family home along an unimproved rural road

Sidewalk Waiver

V. Other Business

VI. Adjournment

Planning Commission
Minutes
August 4, 2015

Meeting called to order at 5:00 p.m. by Rod Sanders, Chairman

Present: Joe Haynie, Scott Eccleston, Greg Matteri, Jim Grider, Rod Sanders and Richard Binns.

Absent: Debi Havner

City Staff: Troy Galloway, Beau Thompson, Jon Stanley, John Easterling, and Mike Bender

Motion by Haynie, seconded by Grider to approve the minutes of July 21, 2015 as written
Approved 6-0

Consent Agenda:

1. Lot 1 Food Hub, NWA Addition Property Line Adjustment
Southwest 8th Street
2. Cornerstone Ridge Phase IV Final Plat
Southwest Regional Airport Boulevard & Southwest Rainbow Farms Road
3. Lots 52,53,54,55 & 56 Willowbrook Farms Subdivision Phase 1 Informal Plat
Southwest Shell Road

Approved 6-0

New Business:

Item #1

Jim Keeling: (15-09000027) Rezoning, Southwest 28th Street, C-2, General Commercial to I-1 Light Industrial.

The City of Bentonville has requested a rezoning from C-2 to I-1 for a proposed office/warehouse complex.

No public comment

Approved 6-0

Item #2

Roddey Residential Properties: (15-01800001) Land Use Amendment, Low Density Residential to Downtown Mixed Use Residential, 909 North Main Street.

The applicants have requested a change to the land use amendment in order to develop three single-family townhouses.

Opened Public Hearing

No public comment

Approved 6-0

Item #3

Carlson, Davisson, MSB Holdings, LLC & Drummond Industries: (15-01800002) Land Use Map Amendment, Low Density Residential to Downtown Mixed Use Residential, 204 & 206 Northwest 3rd Street & 301 Northwest 'A' Street, Demings Addition Lots 8-9 & 10 Block 9.

The applicants have requested a change to the Land Use Map.

Opened public hearing

Bill Gailey-306 NW A Street, has concerns about kids walking to RE Baker School.

Mike Bowman-intent to construct townhomes on north side of street.

Heather Waggoner-1301 NW 10th Street, not concerned over development.

Approved 6-0

Item #3

Jim Keeling: (15-070000120) Property Line Adjustment, Lots 3, 4 & 5 Keeling Subdivision, Southwest 28th Street, Zoned C-2, General Commercial.

The applicant has submitted a property line adjustment for property located along Southwest 28th Street in the Keeling Subdivision that resides in the C-2, General Commercial zoning district. The plat as provided by the applicant proposes the creation of 3 new lots from 2 existing lots and will be known as Lot 3 (32.64 acres), Lot 4 (2.0 acres) and Lot 5 (1.93 acres) of Keeling Subdivision. Right-of-way is being dedicated for the future Southwest 'F' Street extension and a utility easements are also be dedicate to serve the new lots.

Water and sewer services are available to this location.

The applicants has submitted 1 waiver request-

- o Waiver to The Design Standards, Streets, Right of Way Dedication Requirements: (Art 1100, Sec 1100.5.B) Ordinance states that Subdivisions and large-scale developments shall dedicate sufficient right-of-way to bring those streets which the Master Street Plan shows to abut or intersect the development into conformance with the right-of-way requirements of the most recently adopted Master Street Plan for said streets. The current Master Street Plan requires 70' of right -of-way be dedicated for a Collector street and the applicant is requesting to dedicated 60 feet. (See attached waiver request letter provide by the applicant.)

Motion to approve the waiver request

Approved 6-0

Motion to approve the property line adjustment

Approved 6-0

Item #4

City of Bentonville: (15-06000019) Bentonville Utility Complex, Southwest 28th Street, Zoned I-1, Light Industrial.

The applicant has submitted a Large Scale Development for a 36.57 acre piece of property located along the south side of Southwest 28th Street. The plans as provided indicate the construction of 7 separate structures totaling 112,286 square feet of industrial, warehouse and office facilities to be known as the Bentonville Utility Complex. One Hundred and thirty nine parking spaces are required and 178 parking spaces are being provided of which 6 are handicap is accessible. Fourteen percent open space is being provided. The exterior of the building is to be constructed of brick and architectural metal panel. Stormwater detention is being provided. The project also includes the construction of 2600 linear feet, 30' wide, public street that will be known as Southwest Municipal Drive and will connect to Southwest 'F' Street to the south and Southwest 28th Street to the north. Water and sewer services are available to this property.

The applicant has submitted the following waiver request-

- o Waiver to Building Design - Materials Requirements: (Art 1100, Sec 1100.3.E) Ordinance states that the primary material shall constitute at least 75 percent of the wall area, excluding

glass. The primary exterior material shall consist of a combination of brick, textured concrete block, or natural stone. (The waiver request are for the north, south and east street facing facades. See attached waiver request letter provide by the applicant. .)

Motion by Grider, seconded by Binns to approve the waiver request

Approved 6-0

- o Waiver to Direct Access to Substandard Streets Requirements: (Art 1200, Sec 1200.2.B) Ordinance states that when a proposed subdivision has direct access to, or fronts on, an existing road or street which is below current standards, the sub-divider shall be responsible for contributing his proportionate share of the cost of improving said street or road to the existing city standards. (See attached waiver request letter provide by the applicant.)

Motion by Grider, seconded by Binns to approve the waiver request

Approved 6-0

Motion to approve the large scale development for the City of Bentonville, Bentonville Utility Complex.

Approved 6-0

Other Business:

Houseal Lavigne and his team will be back in town September 29th and 30th for evening workshops. Also will be back on October 12th for school engagement. Time and place to be determined.

Joe Haynie-will be out next Tuesday and Wednesday.

We have 15 planning commission items for tech review and 6 items for BOA

Meeting adjourned

Diane Shastid

Planning Commission Staff Report

Property Line Adjustment: Lot 26, Block 10 of W.A. Burks Addition

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP Community Development Director
FROM: Jon Stanley, Planner
PC DATE: August 18, 2015

GENERAL INFORMATION:

Project Number: 15-07000014

Applicant: Robert & Kathy Farno

Representative: Leonard Gabbard (James Layout Services, LLC)

Requested Action: Property Line Adjustment Approval

Location: Northeast Park Street & Fillmore Street (Northwest corner of intersection)

Existing Zoning: R-1, Single Family Residential

Land Use Plan: Low Density Residential

BACKGROUND:

The applicant has submitted a property line adjustment for property located on the northwest corner of the intersection of Northeast Park Street and Fillmore Street. The property is within the W.A. Burks subdivision and is zoned R-1, Single Family Residential. The plat as provided by the applicant indicates the combination of 3-1/2 existing lots into one lot that will be known as Lot 26 (0.60 acres), Block 10 of W.A. Burks Addition. Three and a half feet of right-of-way is being dedicated along Fillmore Street for a total of 26' feet from the center line per the Master Street Plan. Water service is available to this location.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	R-1, Single Family Residential	Low Density Residential
South	R-1, Single Family Residential	Low Density Residential
East	R-1, Single Family Residential	Low Density Residential
West	R-1, Single Family Residential	Low Density Residential

STREETS

Direction	Name	Classification
North	-	-
South	Northeast Park Street	Local
East	Fillmore Street	Local
West	-	-

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: N/A.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is vacant in an established single family subdivision.

Drainage Report: A drainage report is not required for this property line adjustment.

Water / Sewer: Per the G.I.S. site, water and sewer currently in use on site.

Waiver(s): N/A

Analysis / Conclusion: This property line adjustment **DOES** meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



1 inch = 67 feet

15-07000014
Property Line Adjustment-Robert C. & Kathy S. Farno
Fillmore Street
Lots 13, 14, 15, & S 1/2 16 Block 10 W.A. Burks
.60 Acre Total



Planning Commission Staff Report

Property Line Adjustment: Lot 9, Block 4 of Deming's Addition

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP Community Development Director
FROM: Jon Stanley, Planner
PC DATE: August 18, 2015

GENERAL INFORMATION:

Project Number: 15-05000027

Applicant: Jeff & Julie Fackler

Representative: Derrick Thomas (Bates & Associates)

Requested Action: Property Line Adjustment Approval

Location: Northwest 'A' Street & Northwest 4th Street (Northwest corner of intersection)

Existing Zoning: R-1, Single Family Residential

Land Use Plan: Low Density Residential

BACKGROUND:

The applicant has submitted a property line adjustment for property located on the northwest corner of the intersection of Northwest 'A' Street and Northwest 4th Street. The plat as provided by the applicant proposes the creation of 1 new lot from 2-1/2 existing lots and will be known as Lot 9 (0.31 acres), Block 4 of Deming's Addition. Thirty feet of right-of-way is being dedicated for the along Southwest 'A' Street extension and utility easements are also be dedicate to serve the new lot. Water and sewer services are available to this location.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	R-1, Single Family Residential	Low Density Residential
South	R-3, Medium Density Residential	Low Density Residential
East	R-1, Single Family Residential	Downtown Mixed Use Residential
West	R-1, Single Family Residential	Low Density Residential

STREETS

Direction	Name	Classification
North	-	-
South	Northwest 4th Street	Local
East	Northwest 'A' Street	Collector
West	-	-

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: N/A.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

- 1. A digital copy of the plat.
- 2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is vacant in an established single family subdivision near downtown.

Drainage Report: A drainage report is not required for this property line adjustment.

Water / Sewer: Per the G.I.S. site, water and sewer currently in use on site.

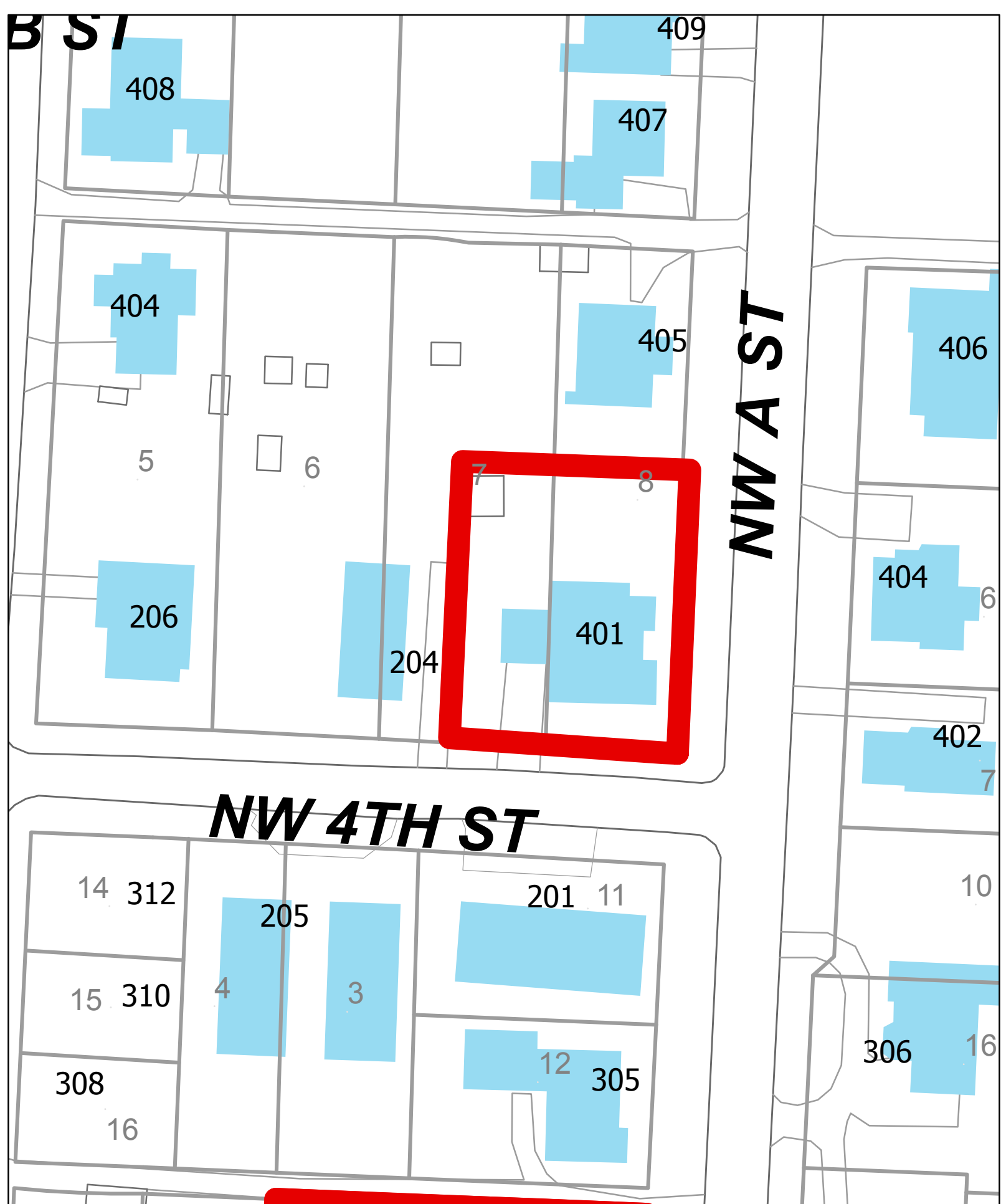
Waiver(s): The applicant has submitted 1 waiver request.

- o Waiver to The Design Standards, Streets, Right of Way Dedication Requirements: (Art 1100, Sec 1100.5.B) Ordinance states that Subdivisions and large-scale developments shall dedicate sufficient right-of-way to bring those streets which the Master Street Plan shows to abut or intersect the development into conformance with the right-of-way requirements of the most recently adopted Master Street Plan for said streets. The current Master Street Plan requires 70' of right -of-way be dedicated for a Collector street, 35 feet from centerline and the applicant is requesting to dedicated 30 feet from center line. (See attached waiver request letter provide by the applicant.)

Analysis / Conclusion: This property line adjustment **DOES NOT** meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



1 inch = 55 feet

15-05000027
Lot Split-Jeff and Julie Fackler
401 NW A Street
Part of Lot 7 & 8 Block 4 Deming's Addt
.31 Acres Total



Planning Commission Staff Report

Property Line Adjustment: Lots 4 & 5 of A & T Addition

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP Community Development Director
FROM: Jon Stanley, Planner
PC DATE: August 18, 2015

GENERAL INFORMATION:

Project Number: 15-07000018

Applicant: Troy Link Enterprises, LLC & Arvest Bank

Representative: Sammi May (Morrison Shipley Engineers)

Requested Action: Property Line Adjustment Approval

Location: South Walton Boulevard & Southwest 8th Street (Southeast corner of intersection)

Existing Zoning: C-3, Central Commercial

Land Use Plan: Low Density Residential

BACKGROUND:

The applicant has submitted a property line adjustment for property located on the southeast corner of the intersection of South Walton Boulevard and Southwest 8th Street. The property is within the A & T Addition and is zoned C-3, Central Commercial. The plat as provided by the applicant indicates the adjustment of the common lot line between the two existing lots to accommodate the 8W development and the two new lots will be known as Lot 4 (1.10 acres) and Lot 5 (0.15 acres) of A & T Addition. Right-of-way is being dedicated along Southwest 8th Street per the Master Street Plan and right-of-way along South Walton Boulevard already exists. Additional easements are also being dedicated along both streets to serve the two lots. Water service is available to this location.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Commercial
South	C-2, General Commercial	Commercial
East	C-2, General Commercial	Commercial
West	C-2, General Commercial	Commercial

STREETS

Direction	Name	Classification
North	Southwest 8 th Street	Arterial
South	-	-
East	-	-
West	South Walton Boulevard	Arterial

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: N/A.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is a vacant parking lot, retail fast food, office and bank ATM along an established commercial corridor.

Drainage Report: A drainage report is not required for this property line adjustment.

Water / Sewer: Per the G.I.S. site, water and sewer currently in use on site.

Waiver(s): N/A

Analysis / Conclusion: This property line adjustment **DOES** meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.

SW F ST

SW 8TH ST

S WALTON BLVD

LS AT&T
ADD
LOTS 4-5

SW REDBUD DR



1 inch = 150 feet

LOT SPLIT
ARVEST BANK & TROY LINK ENTERPRISES
AT&T ADDITION NEW LOTS 4 & 5
15-05000018 ZONE C-3



Planning Commission Staff Report

Lot Split: Lot 1 of Campbell Subdivision

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP Community Development Director
FROM: Jon Stanley, Planner
PC DATE: August 18, 2015

GENERAL INFORMATION:

Project Number: 15-05000029

Applicant: Brent Campbell

Representative: Rob Caster (Caster & Associates)

Requested Action: Lot Split Approval

Location: Northeast 'C' Street & Northeast Blake Avenue

Existing Zoning: R-1, Single Family Residential

Land Use Plan: Downtown Mixed Use Residential

BACKGROUND:

The applicant has submitted a lot split for property located at just east of the intersection of Northeast Blake Avenue and Northeast 'C' Street that resides in the R-1, Single Family zoning district. The plat as provided by the applicant shows the creation of one new lot that will be known as Lot 1 (0.19 acres) of Campbell Subdivision. Right-of-way is being dedicated along Northeast 'C' Street per the master street plan. Water and sewer services are available to this lot.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	R-1, Single Family Residential	Downtown Mixed Use Residential
South	R-1, Single Family Residential	Residential Estate
East	DE, Downtown Edge	Residential Estate
West	DE, Downtown Edge	Downtown Mixed Use Residential

STREETS

Direction	Name	Classification
North	-	-
South	-	-
East	Northeast Blake Avenue & Northeast 'C' Street	Both are Local
West	-	-

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: N/A.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is the location of a vacant lot in established mixed use residential area near downtown.

Drainage Report: A drainage report is not required for this lot split.

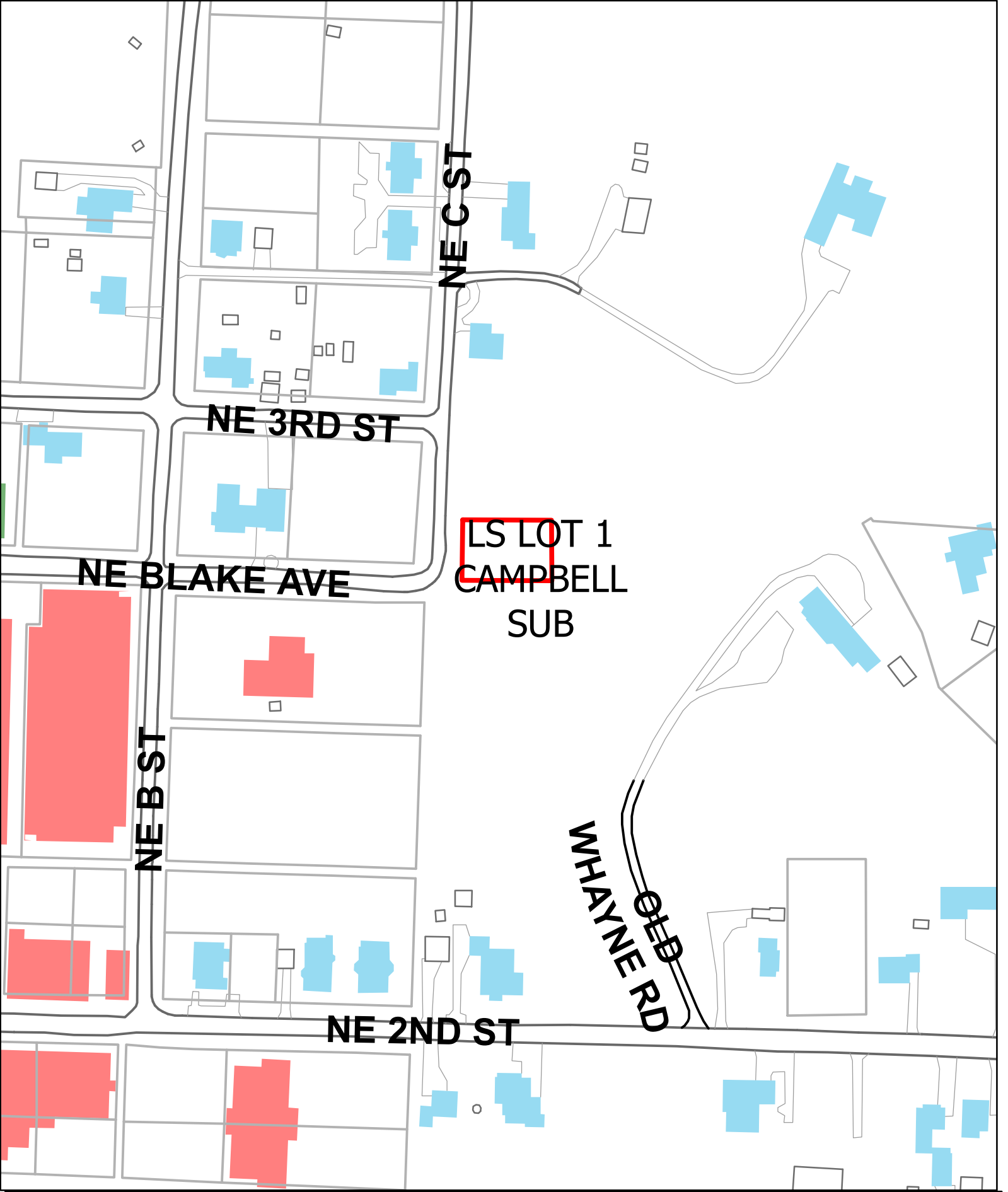
Water / Sewer: Per the G.I.S. site, water and sewer currently in use on site.

Waiver(s): N/A

Analysis / Conclusion: This lot split **DOES** meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.





PC Meeting of: August 18, 2015

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3122
Fax: (479) 271-5906

**REZONING: Carlson, Davisson, MSB Holdings, LLC, & Drummond Industries, Inc.
(R-1, Single Family Residential to D-E, Downtown Edge)
Current Planning Division Correspondence: Planning Commission Staff Report**

TO: City of Bentonville, Arkansas Planning Commission
FROM: Troy Galloway, Community Development Director
THRU: Beau Thompson, AICP, Senior Planner
DATE: August 18, 2015

GENERAL INFORMATION

H.T.E. Project Number: 15-09000028

Applicant/Current Owner: Carlson, Davisson, MSB Holdings, LLC, & Drummond Industries

Representative: Peter Farmer (Sand Creek Engineering)

Requested Action: Land Use Map Amendment

Location: 204 & 206 Northwest 3rd Street & 301 Northwest 'A' Street

Existing Zoning: R-1, Single Family Residential

Proposed Zoning: D-E, Downtown Edge

Future Land Use Map Designation: Downtown Mixed Use Residential

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is currently the site of a single family home in an established residential neighborhood.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Multi-Family Apartments	R-3, Medium Density Residential	Low Density Residential
South	Town Houses	DE, Downtown Edge & R-1, Single Family Residential	Mixed Use
East	Single Family Residence	R-1, Single Family Residential	Downtown Mixed Use Residential
West	Single Family Residence	R-1, Single Family Residential	Low Density Residential

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North	-	-	-
South	Northwest 3 rd Street	Local	Two lane Asphalt no curb and gutter
East	Northwest 'A' Street	Collector	Two lane asphalt with curb and gutter
West	-	-	-

LEGAL NOTIFICATIONS

Public Notice: The property owner and/or representative did mail certified public notices to property owners within a 200 foot radius of the subject site on July 27, 2015. Staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on July 18, 2015. In addition, staff posted a notice of public hearing sign on the property on August 3, 2015. This **DOES** meet legal notification requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: According to Policy LU-16 Infill Development of the General Plan “The City shall encourage the development of mixed-use and residential projects with in the downtown area to increase the community’s housing stock and to enhance the vitality of downtown businesses. Policy LU-23 Housing Types states “the City should encourage the development of a mix of housing types to the meet the needs of residents...”. The Downtown Edge Zoning district will allow for a mix of uses and housing types which will provide further housing options for downtown residents while providing support for existing commercial uses.

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

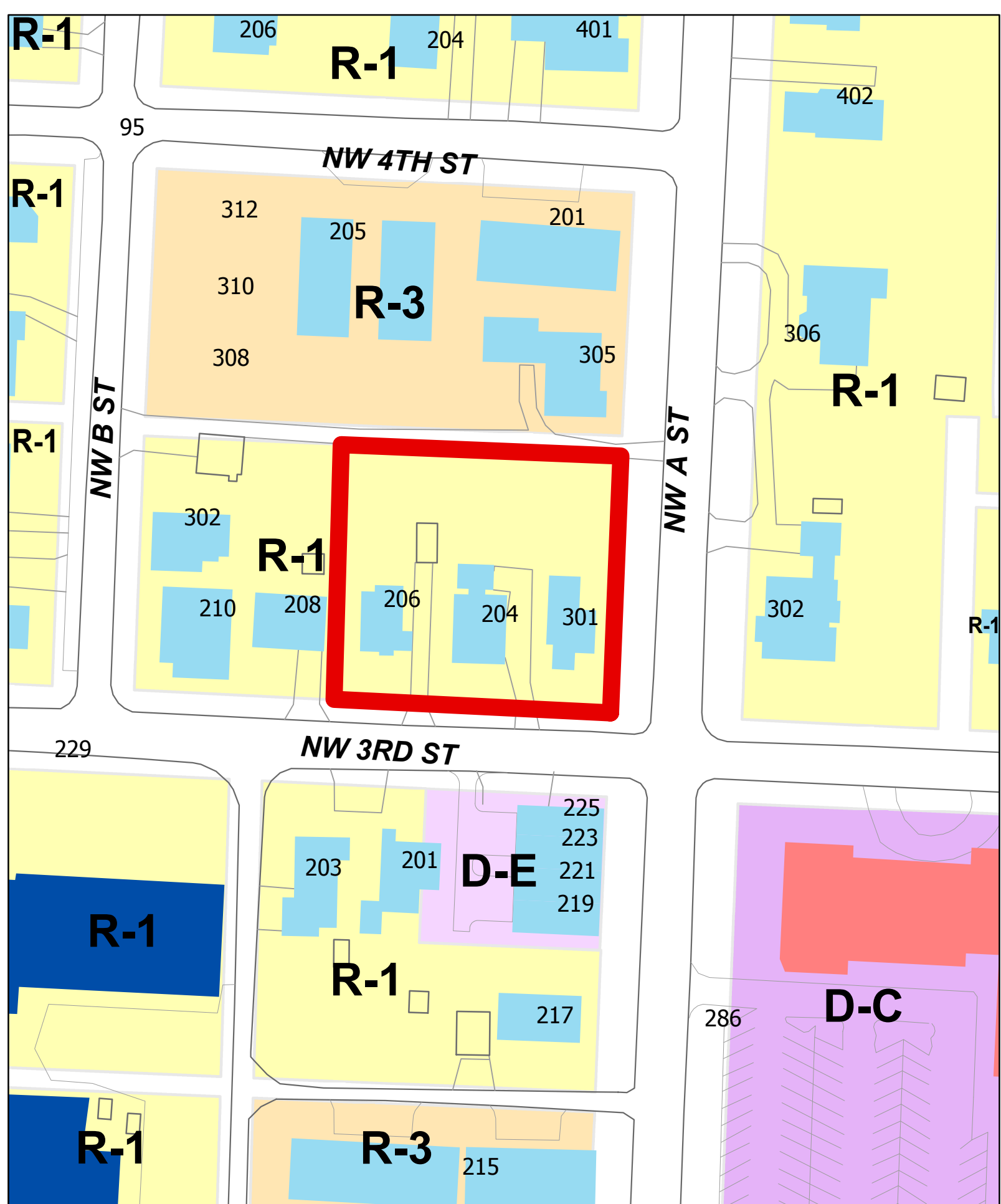
Finding(s) of Staff: The proposed density will not adversely impact traffic in the adjacent area. The site will have connectivity to a collector and a local street network while existing in an area with substantial pedestrian infrastructure.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

Finding(s) of Staff: Public services area adequate for the increase in density. Water and sewer is readily available and emergency services area located within close proximity.

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends APPROVAL of this Land Use Map Amendment from Low Density Residential to Downtown Mixed Use Residential.



1 inch = 73 feet

15-09000028
Rezoning-Carlson, MSB Holdings LLC, Davison
204, 206 NW 3rd Street/301 NW A Street
Lots 8, 9, 10 Block 9 Deming's Addition
.61 Acres Total





PC Meeting of: August 18, 2015

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3122
Fax: (479) 271-5906

**REZONING: Roddey Residential Properties, LLC,
R-1, Single Family Residential to RC-2, Central Residential- Moderate Density
Current Planning Division Correspondence: Planning Commission Staff Report**

TO: City of Bentonville, Arkansas Planning Commission
FROM: Troy Galloway, Community Development Director
THRU: Beau Thompson, AICP, Senior Planner
DATE: August 18, 2015

GENERAL INFORMATION

H.T.E. Project Number: 15-009000028

Applicant/Current Owner: Bike Rack Group, LLC

Representative: Bike Rack Group, LLC/ Newell Development

Requested Action: Rezoning

Location: 909 North Main Street

Existing Zoning: R-1, Single Family Residential

Proposed Zoning: RC-2, Central Residential- Moderate Density

Future Land Use Map Designation: Downtown Mixed Use Residential

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is currently the site of a single family home in an established residential neighborhood.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Single Family Subdivision	R-1, Single Family Residential	Low Density Residential
South	Single Family Subdivision	R-1, Single Family Residential	Low Density Residential
East	Single Family Subdivision	R-1, Single Family Residential	Low Density Residential
West	Single Family Subdivision	R-1, Single Family Residential	Low Density Residential

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North	-	-	-
South	-	-	-
East	North Main Street	Local	Two lane asphalt no curb and gutter.
West	-	-	-

LEGAL NOTIFICATIONS

Public Notice: The property owner and/or representative did mail certified public notices to property owners within a 200 foot radius of the subject site on July 31, 2015. Staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on July 18, 2015. In addition, staff posted a notice of public hearing sign on the property on August 3, 2015. This **DOES** meet legal notification requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: It is a policy of the General Plan to encourage infill development within the core of the city. Through the use of the correct zoning designation the mix of uses can be compatible to existing uses. As the area around the square redevelops it is imperative that the City of Bentonville expands the redevelopment to corridors that feed the downtown area.

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

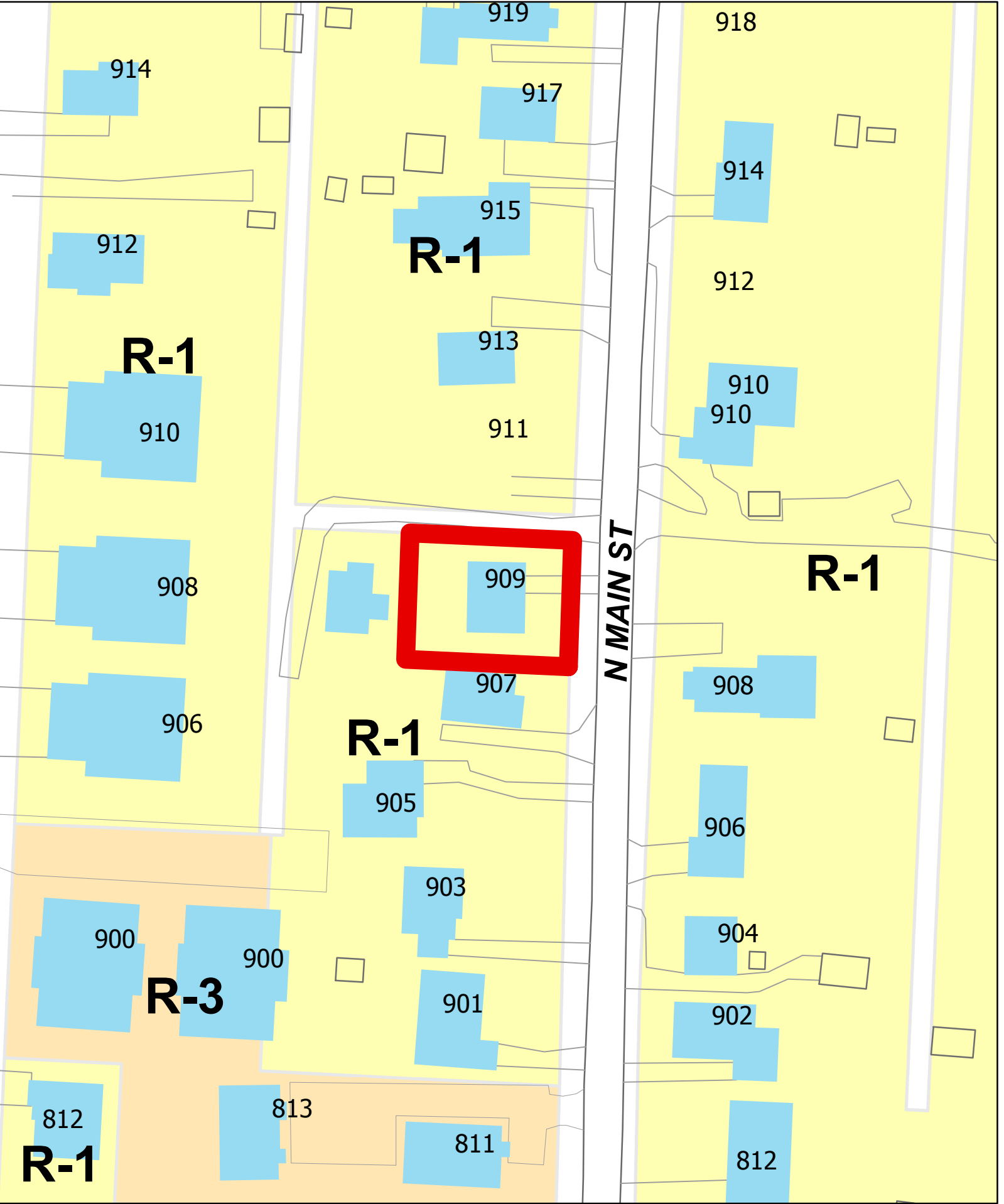
Finding(s) of Staff: The proposed density will not adversely impact traffic in the adjacent area. The site will have connectivity to a local street and pedestrian access to goods and service provided within the downtown.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

Finding(s) of Staff: Public services area adequate for the increase in density. Water and sewer is readily available and emergency services area located within close proximity.

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends APPROVAL of this rezoning from R-1, Single Family Residential to RC-2, Central Residential Moderate Density.





PC Meeting of: August 18, 2015

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3126
Fax: (479) 271-5906

**REZONING: Cottonwood Development LLC
PUD, Planning Unit Development to C-2, General Commercial
Current Planning Division Correspondence: Planning Commission Staff Report**

TO: City of Bentonville, Arkansas Planning Commission
FROM: Beau Thompson, AICP, Senior Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: August 18, 2015

GENERAL INFORMATION

H.T.E. Project Number: 15-09000030

Applicant/Current Owner: Cottonwood Development LLC

Representative: Bill McClard

Requested Action: Rezoning

Location: Southeast 22nd Street and Southeast G Street

Existing Zoning: PUD, Planned Unit Development

Proposed Zoning: C-2, General Commercial

Future Land Use Map Designation: Office

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is currently vacant in a commercial subdivision.

Previous Rezoning Requests for this Property: The property was rezoned from R-3 Medium Density Residential to Planned Unit development on December 6, 2005 at that time the applicant proposed 8, 25,000 sq. ft. office and warehouse buildings.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Commercial	C-2, General Commercial	Office
South	Warehouse and Office	I-1, Light Industrial	Industrial
East	Vacant commercial	Expired PUD	Office and Commercial
West	Vacant commercial	C-2, General Commercial	Mixed Use

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North	Southeast 22 nd Street	Collector Street	2 lanes with Turning Lane, Curb and Gutter
South			
East	Southeast G Street	Local Street	2 lane curb and gutter
West			

LEGAL NOTIFICATIONS

Public Notice: On July 14,, 2015 , the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on July 18, 2015. In addition, staff posted a notice of public hearing sign on the property on August 3, 2015. This DOES meet legal noticing requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: The property is located within a commercial subdivision with a mix of office and general commercial uses. The C-2, General Commercial zoning district will allow uses that are consistent with other uses in the near vicinity. The location on a collector street and the proximity to an arterial is in keeping with good land use decisions and consistent the general plan.

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: The property is currently located within close proximity to the intersection of a collector and arterial street. Current traffic conditions should not be altered by the proposed zoning.

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

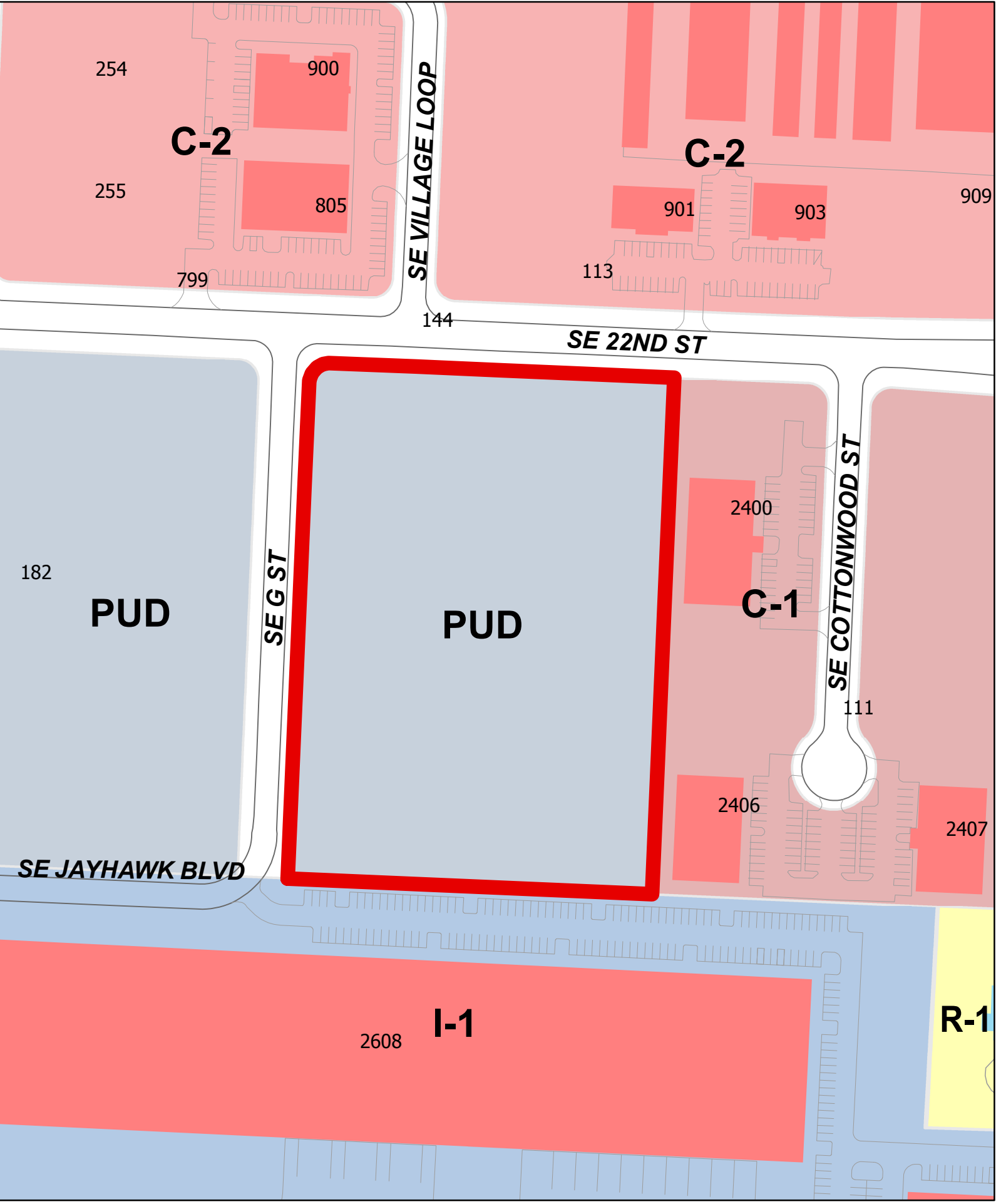
Finding(s) of Staff: City services are adequate at this location. Water and Sewer are both available along Southeast G Street.

ANALYSIS, CONCLUSION, & SUMMARY

The rezoning request is consistent with the City of Bentonville's Future Land Use Map, which depicts this property as office.

STAFF RECOMMENDATION

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends APPROVAL of this rezoning from PUD, Planned Unit Development to C-2, General Commercial



Planning Commission Staff Report
Conditional Use: Benton County Bar Association
Project Number: 15-02000011

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, ACIP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: August 18, 2015

GENERAL INFORMATION:

Applicant: CTP Development Inc.

Representative: Seth Bickett (Benton County Bar Association)

Requested Action: Conditional Use Permit Approval

Location: 200 East Central Avenue

Existing Zoning: DC, Downtown Core

Land Use Plan: Mixed Use

Proposed Use: Cookout/Music Venue

BACKGROUND:

The applicant has submitted a Conditional Use application to allow for an invite only cookout/concert for a 50th year anniversary celebration for one of its employees. The event is scheduled for September 25, 2015 from the hours of 4:00pm to 9:30pm. The area to be utilized will include the exterior parking lot/porch and interior office located at "Tucker Corner" on the southeast corner of the intersection of East Central Avenue and Southeast 'A' Streets. The applicant is not proposing changes to the existing structures, traffic/parking areas or outdoor areas. It is anticipated that approximately 30 to 50 guests will attend the event. (See attached map & pictures for more detailed information on the area the event will take place.)

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	DC, Downtown Core	Mixed Use
South	DC, Downtown Core	Mixed Use
East	DC, Downtown Core	Mixed Use
West	DC, Downtown Core	Mixed Use

STREETS

Direction	Name	Classification
North	East Central Avenue	Collector
South	-	-
East	-	-
West	Southeast 'A' Street	Local

Site Inspection: A site inspection was completed; this property is currently an occupied building within a Mixed Use area.

Public Notice: On **July 18, 2015** a notice was published in the *Arkansas Democrat-Gazette, Northwest Arkansas Edition* and a public hearing notice sign was posted on the property on **August 3, 2015**. This does meet legal noticing requirements and is adequate for the scope of this project.

CONDITIONS OF APPROVAL:

1. All technical review comments must be addressed before building permits are issued.
2. Per the city's noise ordinance " NO amplified sound shall be permitted from 10:00pm to 7:00am". ORD # 2006-69
3. All Special Events will end at 11:00pm.
4. Fire Department Inspection shall be completed prior to opening.
5. No loitering in the public park on the east side of the property.

ISSUES / ANALYSIS:

SEC. 301.6. Planning Commission

E. Standards for Approval. In carrying out the purpose of this section, the Commission's consideration shall include, but not be limited to, the following development standards and design specifics. The appropriateness of these standards shall be determined at the discretion of the Planning Commission for each specific conditional use location.

1. The proposed use shall be so designated, located and operated so that the public health, safety and welfare will be protected.
2. The proposed land use shall be compatible with other area properties located near it.
3. The proposed use shall be in compliance with the provision of "Conditional Uses" as set out in this Ordinance.
4. The proposed use shall be in conformance with all applicable provisions stated in this Ordinance for the district in which the use is to be located. The use shall facilitate public convenience at that location.
5. The proposed conditional use shall be in conformance with all off-street parking and loading requirements of this Ordinance and ingress and egress and pedestrian ways shall be adequate.
6. Safeguards limiting noxious or offensive emissions, including lighting, noise, glare, dust and odor shall have been addressed in the proposed use application.
7. Landscaping and screening of the proposed use shall be in accordance with these Ordinance regulations and the City of Bentonville landscaping regulations.
8. Proposed use signage shall be in accordance with the provisions of this Ordinance.
9. Open space located on the proposed use shall be maintained by the owner/developer.

10. The size and shape of the site, including size, shape and arrangement of proposed structures shall be in keeping with the intent of this Ordinance.
11. The Planning Commission shall in no case authorize less than minimum requirements of the Ordinance relating to height, area, setbacks, parking or landscaping.
12. The Planning Commission shall not permit any use in a zone as a conditional use that is not permitted under the Zoning Ordinance.

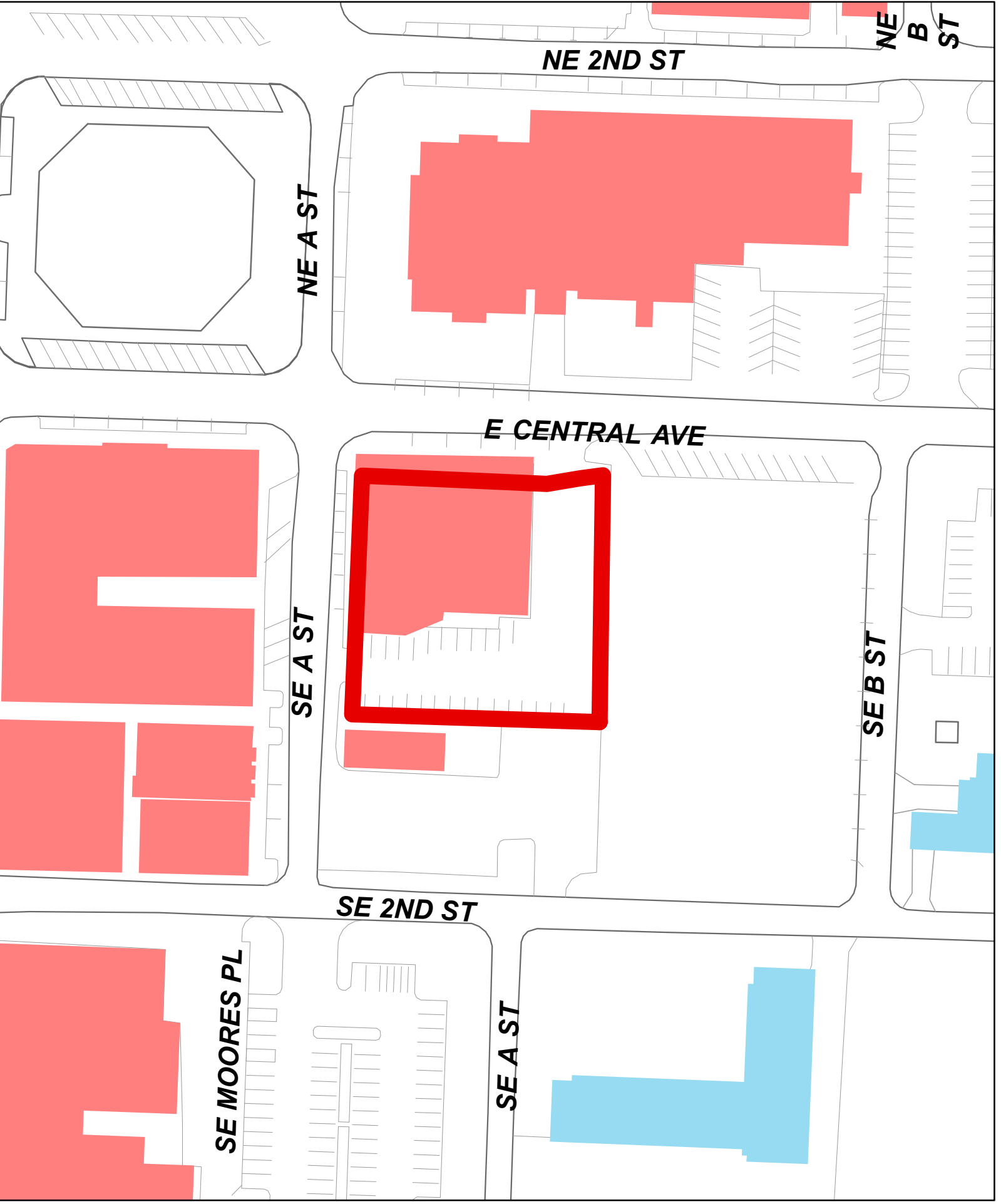
The conditional use is allowed on appeal in the **(DC, Downtown Core)** district.

Allowed under the Protective Covenants of the subdivision. **Not applicable**

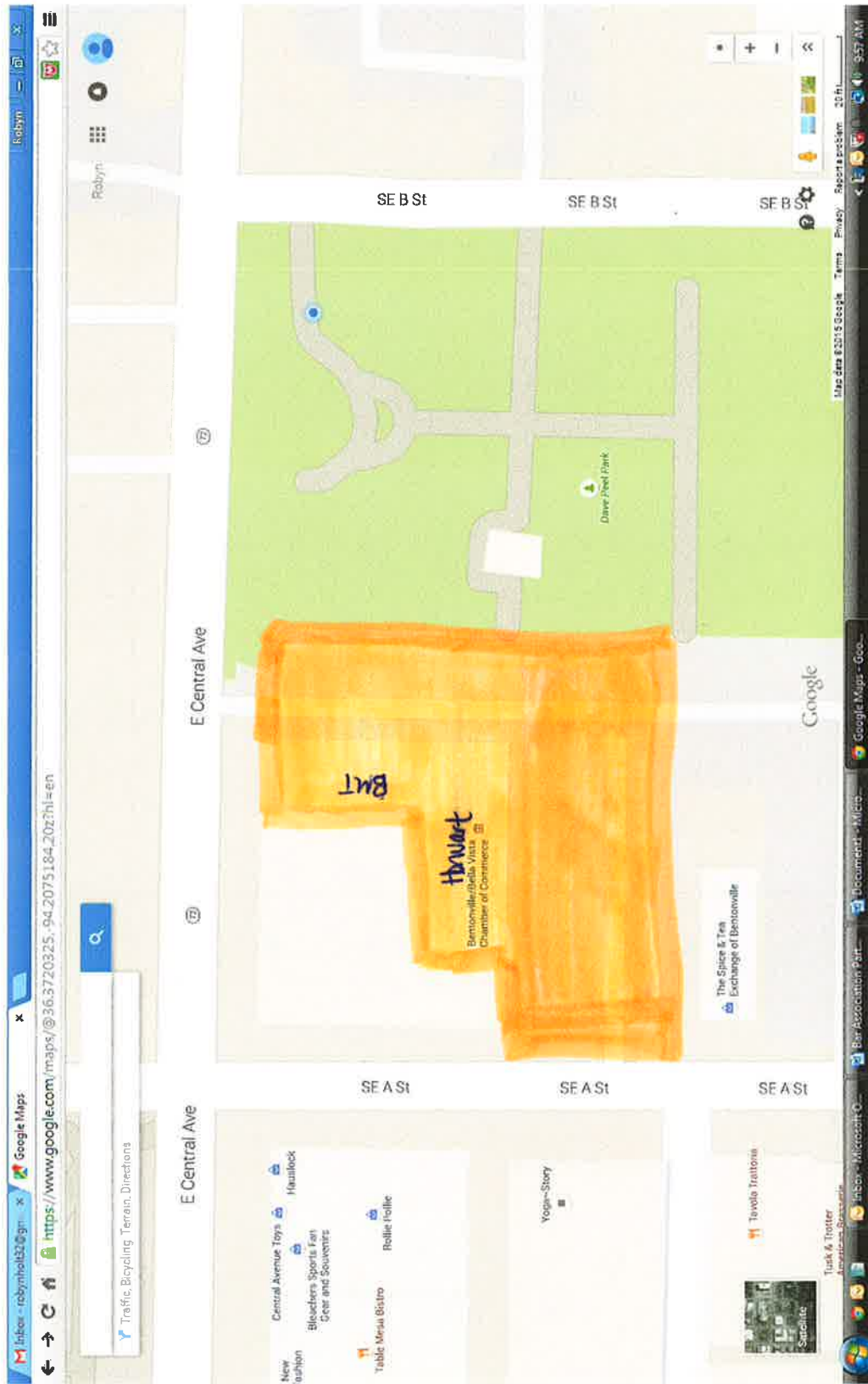
To date staff has **NOT** been contacted regarding this request.

RECOMMENDATION:

Staff has reviewed this application and recommends APPROVAL.

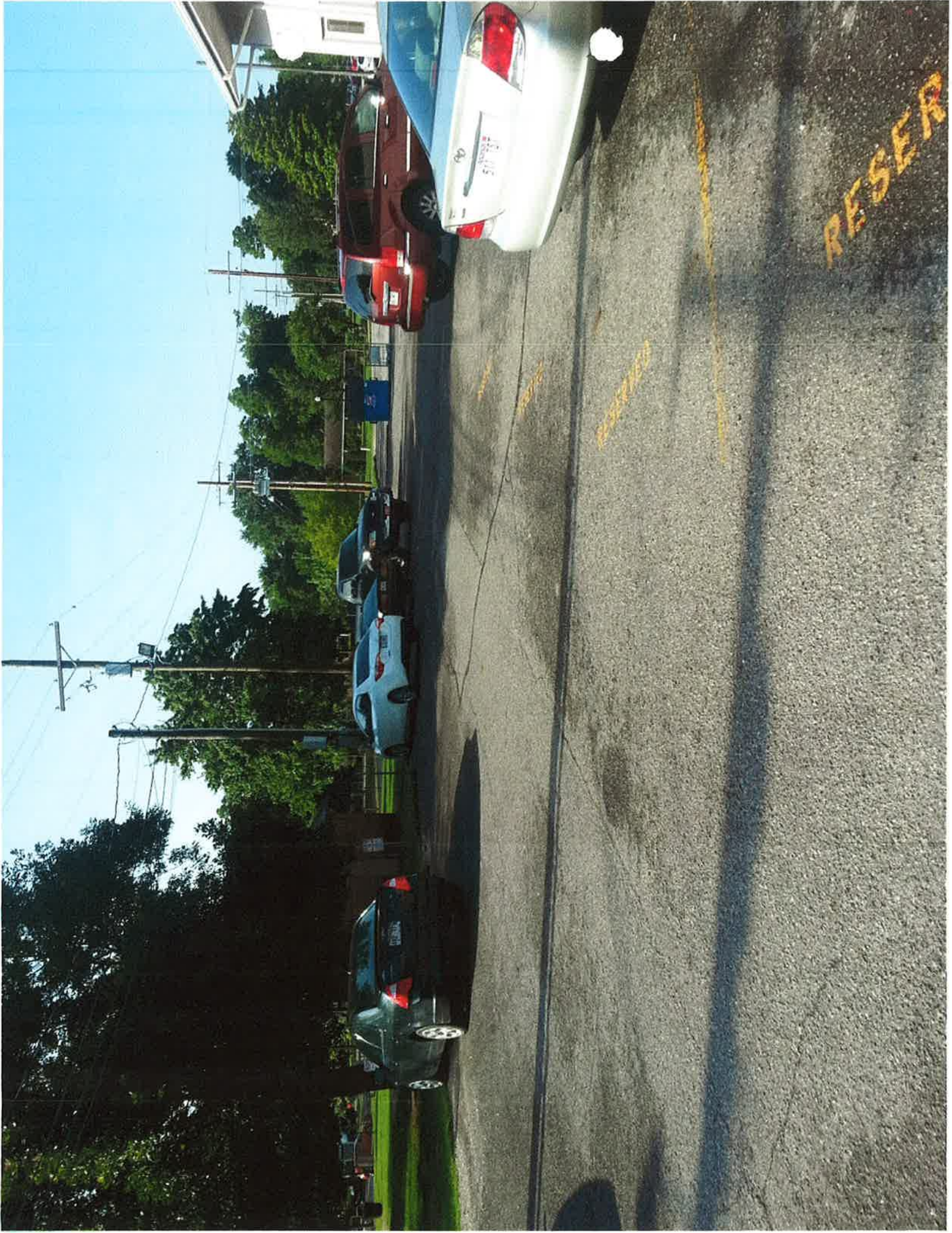


B.



= Designated Event Area







BATT
BICKETT & TRENTHAM
LAW PARTNERS, LLP
ARTHUR BICKETT WINDYBET & MOOREY WILLIAM J. TRENTHAM

204
SUITE 10



Planning Commission Staff Report
Conditional Use: McClarty Daniel Nissan Tent Sales
Project Number: 15-02000014

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: August 18, 2015

GENERAL INFORMATION:

Applicant: Russell Daniel

Representative: Chad Brown

Requested Action: Conditional Use Permit Approval

Location: 2601 Southeast Moberly Lane

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

Proposed Use: Tent sales

BACKGROUND:

The applicant has submitted a conditional use for a temporary use located at 2601 Southeast Moberly Lane. McClarty Daniel Nissan is requesting 4 tents be used for sales events 4 times a year for a two weeks each time (14 days). The applicant states that due to the short notice given by the car manufactures the applicant does not have adequate time to request the conditional use for each event. No balloons or banners shall be permitted with this conditional use permit. Hours of operation will be 8:00am to 8:00pm for the duration of each event with the potential for some events to last until midnight. No structural or site changes are being proposed nor will there be any changes to the parking or traffic flow patterns that currently exist within the property. No outdoor lighting changes are anticipated.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Commercial
South	C-2, General Commercial	Commercial
East	Interstate 49	N/A
West	C-2, General Commercial	Office & Commercial

STREETS

Direction	Name	Classification
North	South East 20 th Street	Local
South	-	-
East	Interstate 49	Expressway
West	Southeast Moberly Lane	Arterial

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows:
- (b) Traffic summary software predicts the additional traffic for this project is:

Site Inspection: A site inspection was completed; this property is currently the location of McClarty, Daniel Nissan car dealership in an established **Commercial** area.

Public Notice: On **July 18, 2015** a notice was published in the *Arkansas Democrat-Gazette, Northwest Arkansas Addition* and a public hearing notice sign was posted on the property on **August 3, 2015**. This meets legal noticing requirements and is adequate for the scope of this project.

STANDARD CONDITIONS OF APPROVAL:

1. All technical review comments must be addressed before building permits are issued.
2. The applicant may place up to 4, 20' x 20' tents four times a year for 2 weeks each time (14 days).
3. This conditional use will be for perpetuity and shall run with the business.

ISSUES / ANALYSIS:

SEC. 301.6. Planning Commission

E. Standards for Approval. In carrying out the purpose of this section, the Commission's consideration shall include, but not be limited to, the following development standards and design specifics. The appropriateness of these standards shall be determined at the discretion of the Planning Commission for each specific conditional use location.

1. The proposed use shall be so designated, located and operated so that the public health, safety and welfare will be protected.
2. The proposed land use shall be compatible with other area properties located near it.
3. The proposed use shall be in compliance with the provision of "Conditional Uses" as set out in this Ordinance.
4. The proposed use shall be in conformance with all applicable provisions stated in this Ordinance for the district in which the use is to be located. The use shall facilitate public convenience at that location.
5. The proposed conditional use shall be in conformance with all off-street parking and loading requirements of this Ordinance and ingress and egress and pedestrian ways shall be adequate.
6. Safeguards limiting noxious or offensive emissions, including lighting, noise, glare, dust and odor shall have been addressed in the proposed use application.
7. Landscaping and screening of the proposed use shall be in accordance with these Ordinance regulations and the City of Bentonville landscaping regulations.

8. Proposed use signage shall be in accordance with the provisions of this Ordinance.
9. Open space located on the proposed use shall be maintained by the owner/developer.
10. The size and shape of the site, including size, shape and arrangement of proposed structures shall be in keeping with the intent of this Ordinance.
11. The Planning Commission shall in no case authorize less than minimum requirements of the Ordinance relating to height, area, setbacks, parking or landscaping.
12. The Planning Commission shall not permit any use in a zone as a conditional use that is not permitted under the Zoning Ordinance.

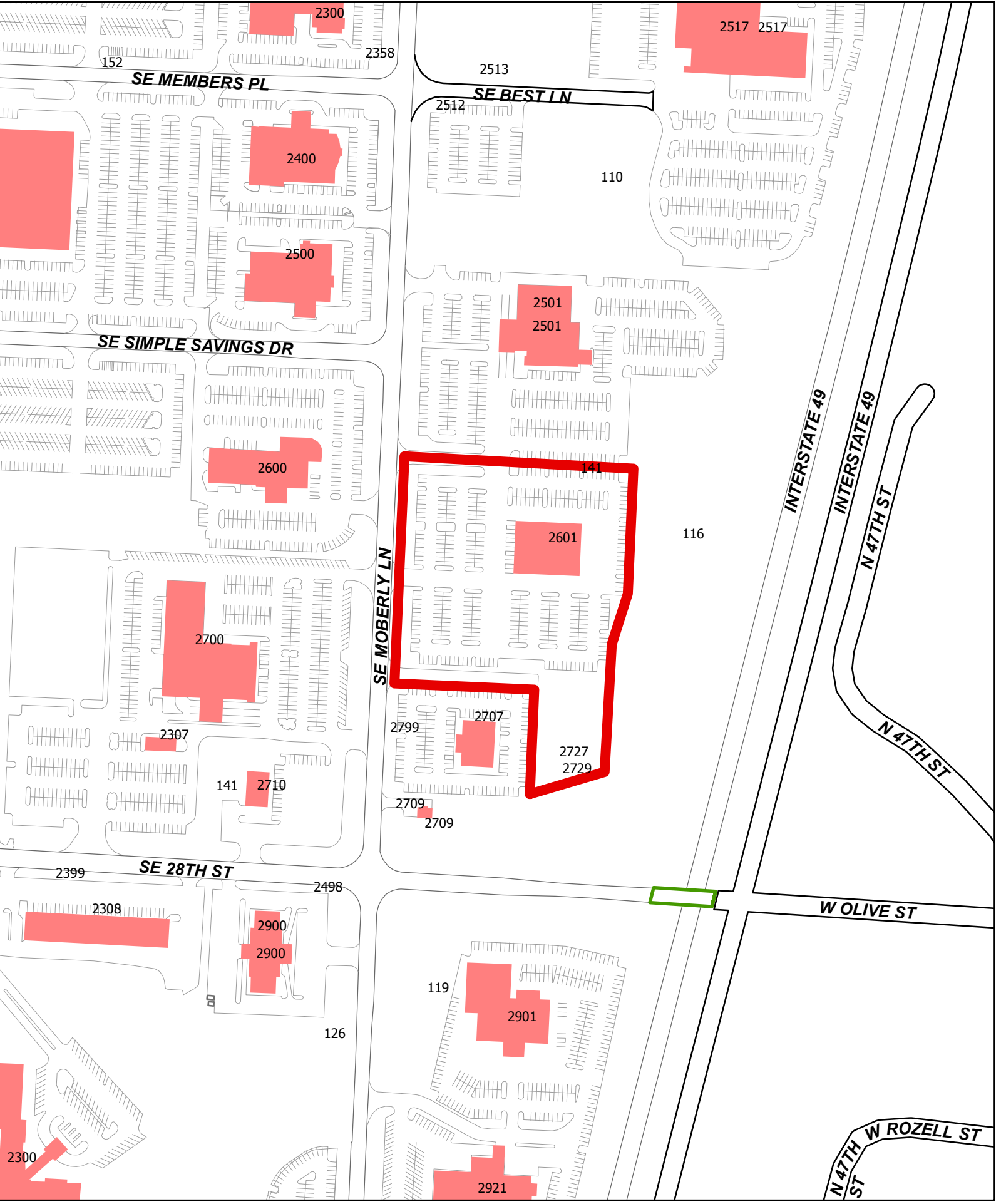
The conditional use is allowed on appeal in the (C-2, General Commercial) district.

Allowed under the Protective Covenants of the subdivision. Not applicable

To date staff **HAS NOT** been contacted regarding this request.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



Conditional Use-Russell Daniel
2601 SE Moberly Lane
Lot 8 Covington Center Subdivision
5.68 Acres Total



Planning Commission Staff Report
Conditional Use: McClarty Daniel Chrysler, Dodge, Jeep, Ram (CDJR),
Tent Sales
Project Number: 15-02000013

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: August 18, 2015

GENERAL INFORMATION:

Applicant: Russell Daniel

Representative: Chad Brown

Requested Action: Conditional Use Permit Approval

Location: 2201 Southeast Moberly Lane

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

Proposed Use: Tent sales

BACKGROUND:

The applicant has submitted a conditional use for a temporary use located at 2201 Southeast Moberly Lane. McClarty Daniel Chrysler, Dodge, Jeep, Ram (CDJR) is requesting 4 tents be used for sales events 4 times a year for a two weeks each time (14 days). The applicant states that due to the short notice given by the car manufactures the applicant does not have adequate time to request the conditional use for each event. No balloons or banners shall be permitted with this conditional use permit. Hours of operation will be 8:00am to 8:00pm for the duration of each event with the potential for some events to last until midnight. No structural or site changes are being proposed nor will there be any changes to the parking or traffic flow patterns that currently exist within the property. No outdoor lighting changes are anticipated.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	R-O, Residential Office & R-4 High Density Residential	Commercial
South	C-2, General Commercial	Commercial
East	Interstate 49	N/A
West	R-3, Medium Density Residential & C-2, General Commercial	Office & High Density Residential

STREETS

Direction	Name	Classification
North	South East 20 th Street	Local
South	-	-
East	Interstate 49	Expressway
West	Southeast Moberly Lane	Arterial

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows:
- (b) Traffic summary software predicts the additional traffic for this project is:

Site Inspection: A site inspection was completed; this property is currently the location of McClarty, Daniel Chrysler, Dodge, Jeep, Ram, (CDJR) car dealership in an established **Commercial** area.

Public Notice: On **July 18, 2015** a notice was published in the *Arkansas Democrat-Gazette, Northwest Arkansas Addition* and a public hearing notice sign was posted on the property on **August 3, 2015**. This meets legal noticing requirements and is adequate for the scope of this project.

STANDARD CONDITIONS OF APPROVAL:

1. All technical review comments must be addressed before building permits are issued.
2. The applicant may place up to 4, 20' x 20' tents four times a year for 2 weeks each time (14 days).
3. This conditional use will be for perpetuity and shall run with the business.

ISSUES / ANALYSIS:

SEC. 301.6. Planning Commission

E. Standards for Approval. In carrying out the purpose of this section, the Commission's consideration shall include, but not be limited to, the following development standards and design specifics. The appropriateness of these standards shall be determined at the discretion of the Planning Commission for each specific conditional use location.

1. The proposed use shall be so designated, located and operated so that the public health, safety and welfare will be protected.
2. The proposed land use shall be compatible with other area properties located near it.
3. The proposed use shall be in compliance with the provision of "Conditional Uses" as set out in this Ordinance.
4. The proposed use shall be in conformance with all applicable provisions stated in this Ordinance for the district in which the use is to be located. The use shall facilitate public convenience at that location.
5. The proposed conditional use shall be in conformance with all off-street parking and loading requirements of this Ordinance and ingress and egress and pedestrian ways shall be adequate.
6. Safeguards limiting noxious or offensive emissions, including lighting, noise, glare, dust and odor shall have been addressed in the proposed use application.
7. Landscaping and screening of the proposed use shall be in accordance with these Ordinance regulations and the City of Bentonville landscaping regulations.

8. Proposed use signage shall be in accordance with the provisions of this Ordinance.
9. Open space located on the proposed use shall be maintained by the owner/developer.
10. The size and shape of the site, including size, shape and arrangement of proposed structures shall be in keeping with the intent of this Ordinance.
11. The Planning Commission shall in no case authorize less than minimum requirements of the Ordinance relating to height, area, setbacks, parking or landscaping.
12. The Planning Commission shall not permit any use in a zone as a conditional use that is not permitted under the Zoning Ordinance.

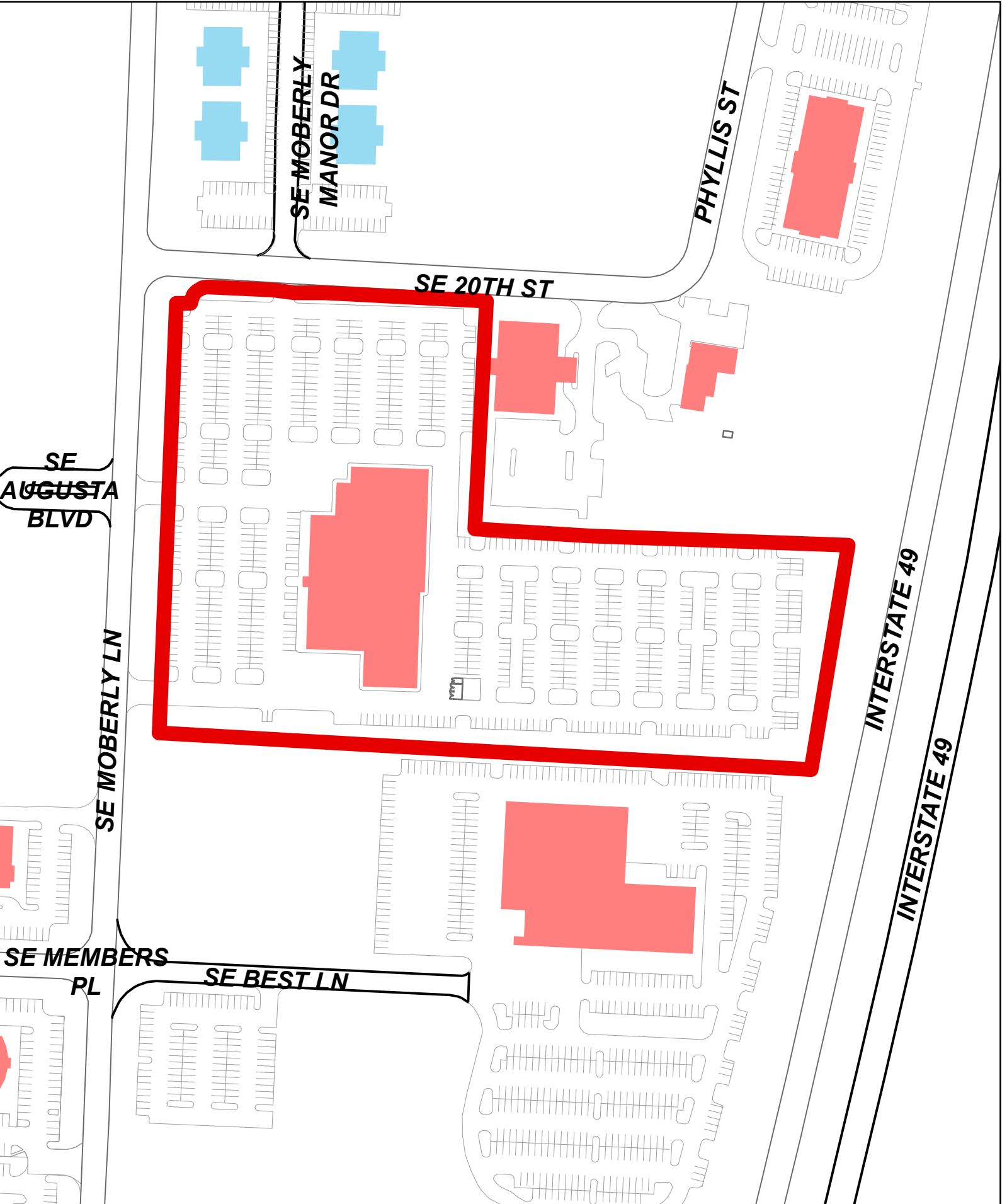
The conditional use is allowed on appeal in the (C-2, General Commercial) district.

Allowed under the Protective Covenants of the subdivision. Not applicable

To date staff **HAS NOT** been contacted regarding this request.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



Conditional Use-Russell Daniel
2201 SE Moberly Lane
Lot 1 Sunshine School Subdivision
9.90 Acres Total



Planning Commission Staff Report
Conditional Use Extension: JANETT'S TINY TOTS
Project Number: 13-02000016

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: August 18, 2015 and February 19, 2013 Original

GENERAL INFORMATION:

Applicant: Janett Self

Representative: Janett Self

Requested Action: Conditional Use Permit Approval

Location: 4400 Southwest Lilly Lane

Existing Zoning: R-1, Single Family Residential

Land Use Plan: Low Density Residential

Proposed Use: Large Childcare, Type B Home Occupation

BACKGROUND:

The applicant has submitted a conditional use permit extension for a Large Child Care Facility located in an R-1, Single Family Residential zoning designation. According to the Supplemental Regulations 8 children maximum are allowed under a Home Based Large Child Care Facility. The proposed hours of operation are from 7:00 am to 5:30 pm. The applicant plans to utilize a room off the kitchen and the breakfast area as a play room and the fenced in back yard for outside play. The request is to extend the permit issued in February 2013. To date the City of Bentonville has not received any comments concerning the operation of the in home daycare.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	R-1, Single Family Residential	Low Density Residential
South	R-1, Single Family Residential	Low Density Residential
East	R-1, Single Family Residential	Low Density Residential
West	R-1, Single Family Residential	Low Density Residential

STREETS

Direction	Name	Classification
North		
South		
East	Southwest Lilly Street	Residential Street
West		

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: N/A
- (b) Traffic summary software predicts the additional traffic for this project is:

Site Inspection: A site inspection was completed; this property is a single family residence in a developing residential subdivision.

Public Notice: On August 3, 2013 a notice was published in the *Arkansas Democrat-Gazette, Northwest Arkansas Addition* and a public hearing notice sign was posted on the property on August 12, 2013. This meets legal noticing requirements and is adequate for the scope of this project.

STANDARD CONDITIONS OF APPROVAL:

1. All technical review comments must be addressed before building permits are issued.
2. The conditional use permit must be resubmitted for review after 2 years from the approval date.

ISSUES / ANALYSIS:

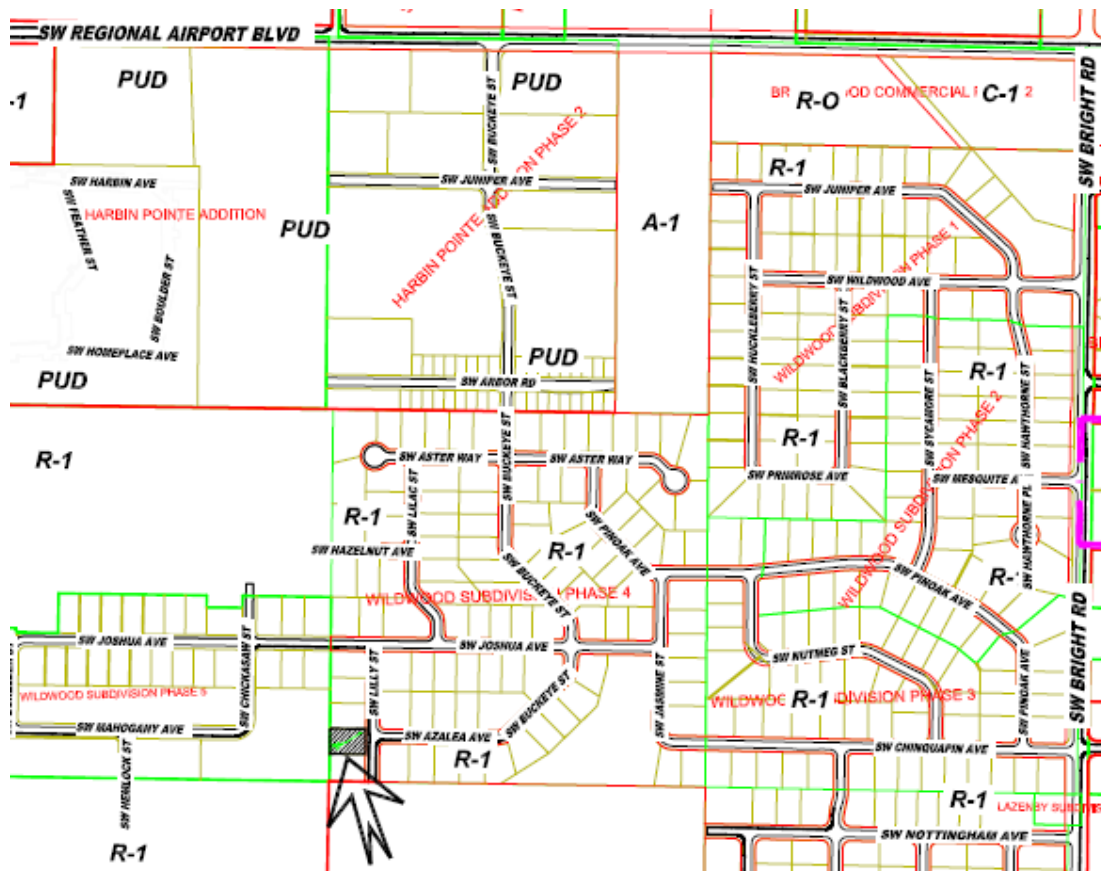
SEC. 301.6. Planning Commission

E. Standards for Approval. In carrying out the purpose of this section, the Commission's consideration shall include, but not be limited to, the following development standards and design specifics. The appropriateness of these standards shall be determined at the discretion of the Planning Commission for each specific conditional use location.

1. The proposed use shall be so designated, located and operated so that the public health, safety and welfare will be protected.
2. The proposed land use shall be compatible with other area properties located near it.
3. The proposed use shall be in compliance with the provision of "Conditional Uses" as set out in this Ordinance.
4. The proposed use shall be in conformance with all applicable provisions stated in this Ordinance for the district in which the use is to be located. The use shall facilitate public convenience at that location.
5. The proposed conditional use shall be in conformance with all off-street parking and loading requirements of this Ordinance and ingress and egress and pedestrian ways shall be adequate.
6. Safeguards limiting noxious or offensive emissions, including lighting, noise, glare, dust and odor shall have been addressed in the proposed use application.

- The conditional use is allowed on appeal in the **(R-1, Single Family Residential)** district. Allowed under the Protective Covenants of the subdivision. The protective covenants does not allow for commercial businesses. The applicant has provided a letter of approval for an exception to the covenants.

Staff has reviewed this application and recommends Approval.



Planning Commission Staff Report

Large Scale Development: Southeast G Street Parking Lot

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: August 18, 2015

GENERAL INFORMATION:

Project Number: 15-06000020

Applicant: Cottonwood Development Co LLC

Representative: Larry Grelle w/ MSE

Requested Action: Large Scale Development Approval

Location: Southeast G Street and Southeast 22nd Street

Existing Zoning: PUD/ C-2, General Commercial Proposed)

Land Use Plan: Office

BACKGROUND:

The applicant has submitted a large Scale Development for a 527 stall parking lot located at the southeast corner of Southeast 22nd Street and Southeast G Street. The parking lot is needed to provide additional parking for the development located to the south. Access will be provided by two curb cuts onto Southeast G Street and one onto Southeast 22nd Street. Detention was previously constructed with the development of Cottonwood Village commercial subdivision.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Mixed Use
South	I-1, Light Industrial	Commercial and Office
East	Planned Unit Development	Commercial
West	C-2, General Commercial and C-3, Central Commercial	Mixed Use

STREETS

Direction	Name	Classification
North	Southeast 22 nd Street	Collector
South		
East	Southeast G Street	Local Street
West		

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows:

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently vacant in a commercial subdivision.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

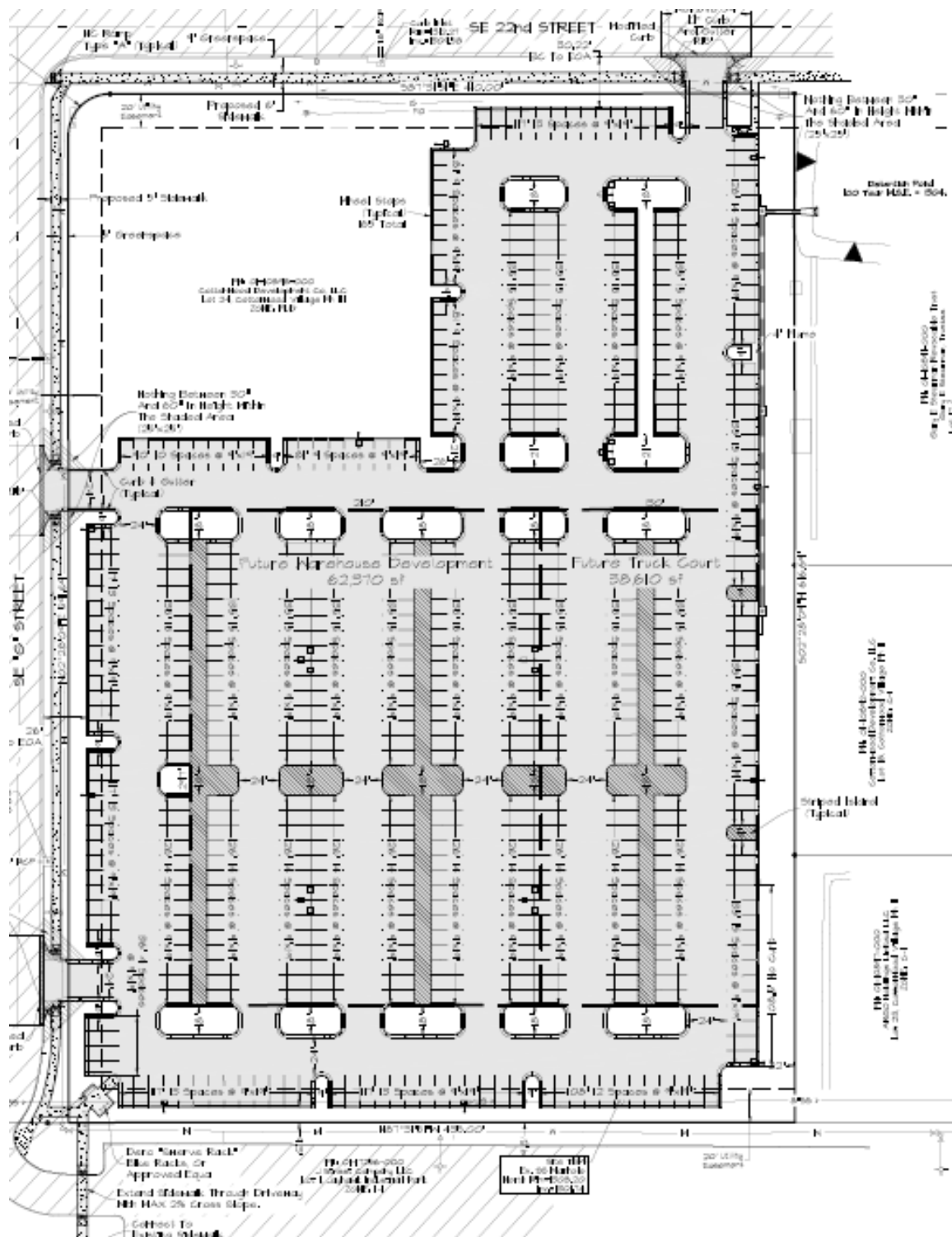
Water / Sewer: Per the G.I.S. site, water and sewer ARE available to this site.

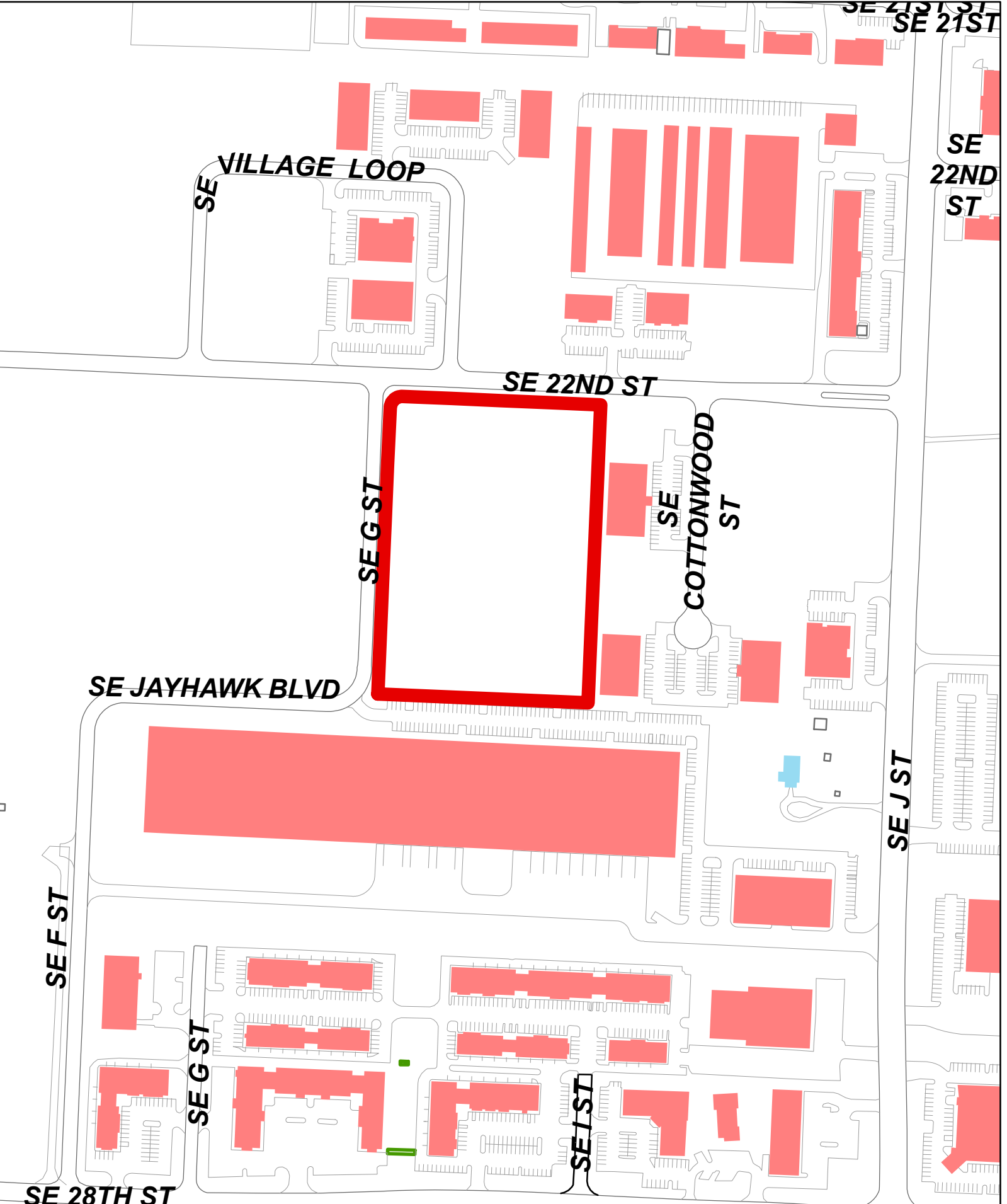
Waiver(s): Interior Greenspace. The subdivision regulations require 15% interior greenspace and the applicant is proposing 8% interior greenspace. Per the applicant a portion of the parking lot is temporary for an adjacent development with an unknown timeframe. Once the parking is not needed for the adjacent development a building will be constructed in the location where the greenspace is not being provided.

Analysis / Conclusion: This large scale development DOES NOT meet the minimum requirements of the subdivision regulations due to the waiver request.

RECOMMENDATION:

Staff has reviewed this application and recommends APPROVAL.





Planning Commission Staff Report

Large Scale Development: 8W Center

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, City Planner
PC DATE: August 18, 2015

GENERAL INFORMATION:

Project Number: 15-06000011

Applicant: Troy Link Enterprises, LLC

Representative: Patrick Foy (Morrison Shipley Engineers)

Requested Action: Large Scale Development Approval

Location: South Walton Boulevard & Southwest 8th Street (Southeast corner of intersection)

Existing Zoning: C-3, Central Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a Large Scale Development for a 1.1 acre piece of property located at the intersection of Southwest 8th Street and South Walton Boulevard. The plans as provided indicate the construction of a 180,000 square feet, 6 story office and general commercial building that will be known as 8W Center. One hundred and eighty parking spaces are required and 180 parking spaces are being provided of which 6 are handicap is accessible. Eleven percent open space is being provided. The exterior of the building is to be constructed of glass, brick, architectural stone and a zinc composite metal panel. On-site stormwater detention is not required for this development. A Fe in Lieu for sidewalk improvements along Southwest 8th Street has been accepted; all other street improvements have been funded and designed with the project. Water service is available to this property. Please see attached letter from owner acknowledging the requirement of a public sewer main upgrade.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front: Parking in front	0'	-
Front: Without parking in front	0'	20' West/13' North
Side: Adjacent to non-residential district	0'	38' South
Side: Adjacent to residential district	10'	-
Rear: Adjacent to non-residential district	0'	7' East
Rear: Adjacent to residential district	0'	-
		-
		-
		-
Height	80'	78'
Landscape Coverage	10%	11%

Parking		
Standard Stalls	174	174
Handicap Stalls	6	6
Total:	180	180

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Commercial
South	C-2, General Commercial	Commercial
East	C-2, General Commercial	Commercial
West	C-2, General Commercial	Commercial

STREETS

Direction	Name	Classification
North	Southwest 8 th Street	Arterial
South	-	-
East	-	-
West	South Walton Boulevard	Arterial

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows: N/A

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is a vacant parking lot, retail fast food and office along an established commercial corridor.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

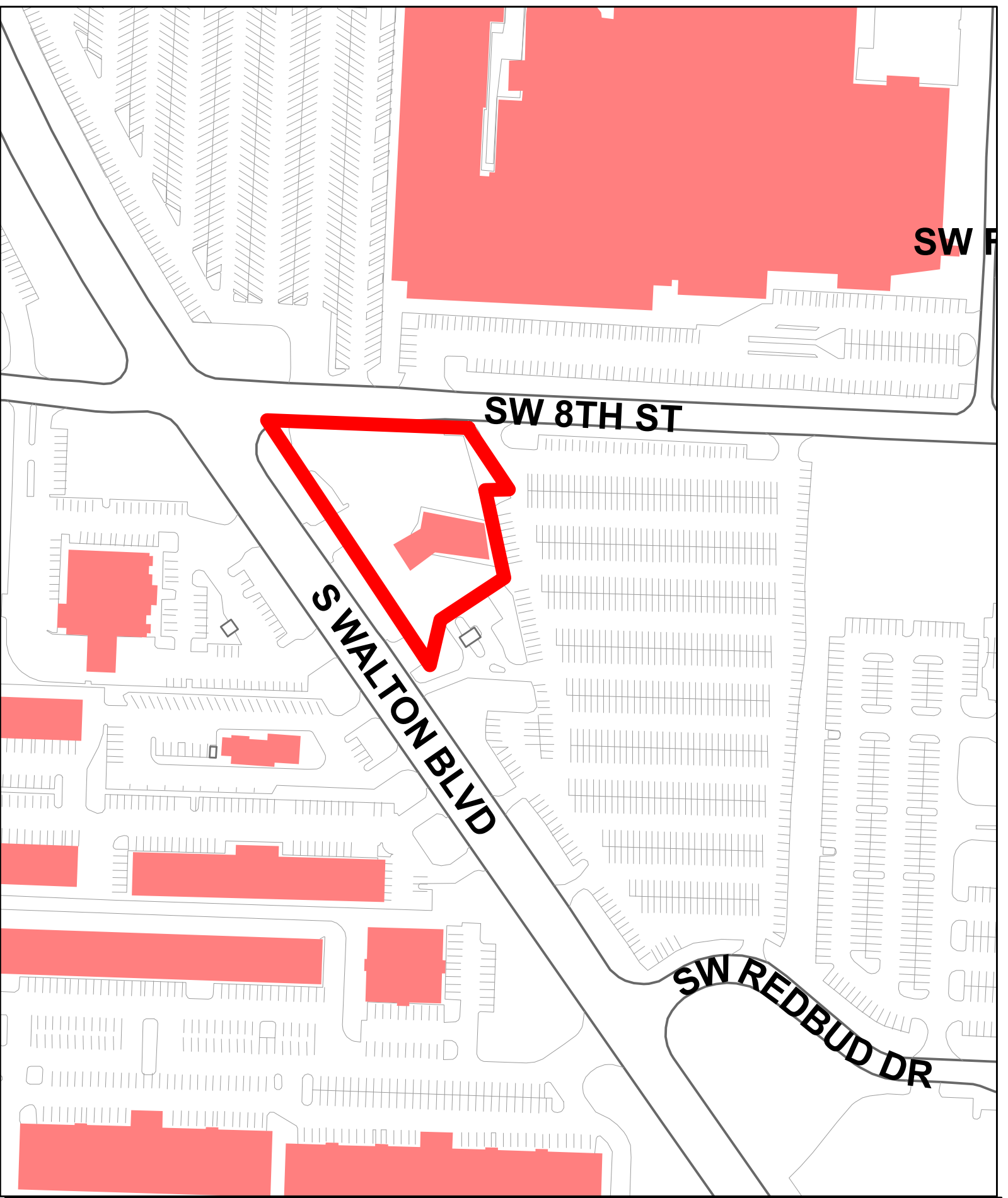
Water / Sewer: Per the G.I.S. site, water and sewer ARE available to this site.

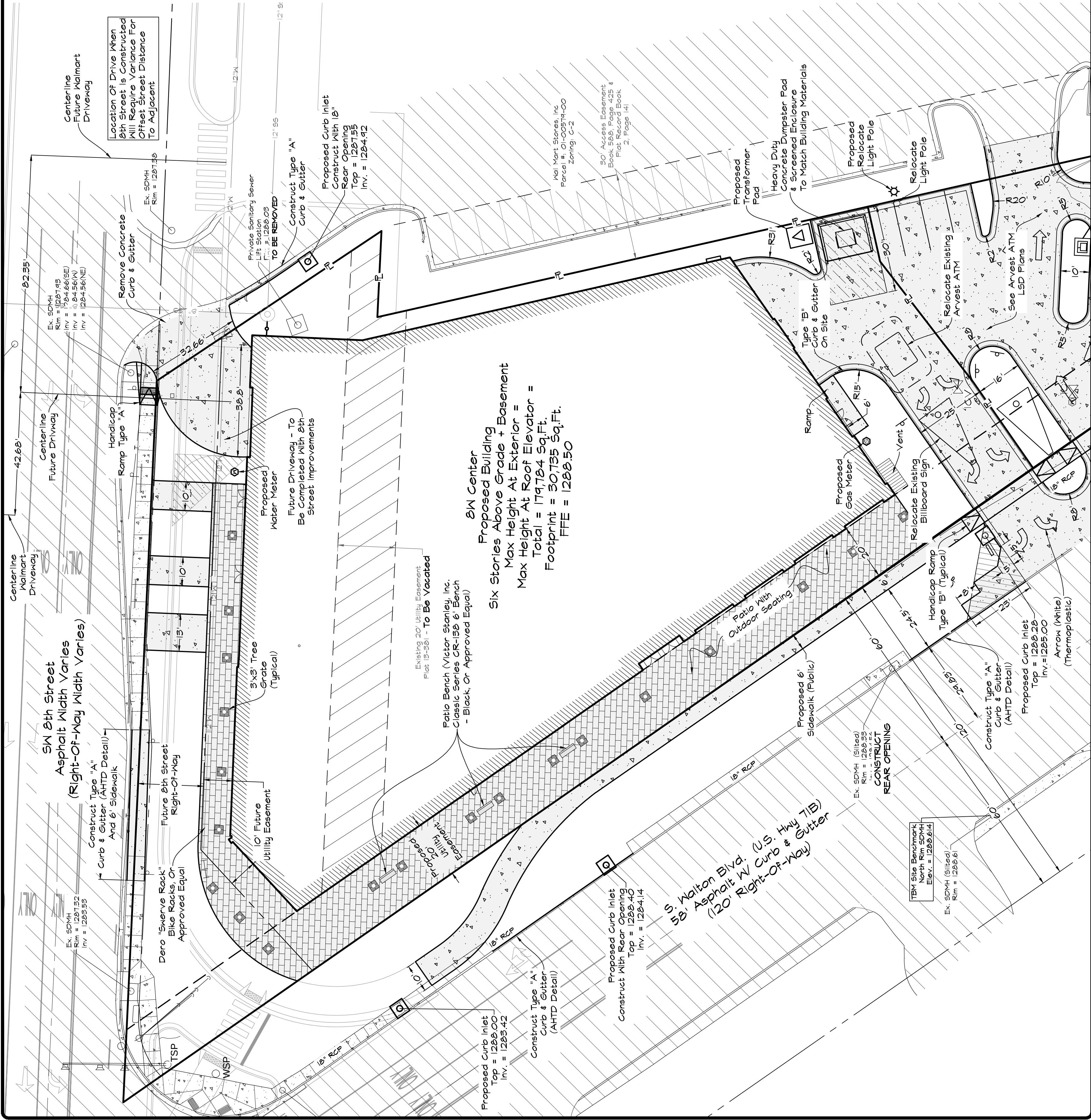
Waiver(s): N/A

Analysis / Conclusion: This large scale development **DOES** meet the minimum requirements of the subdivision regulations.

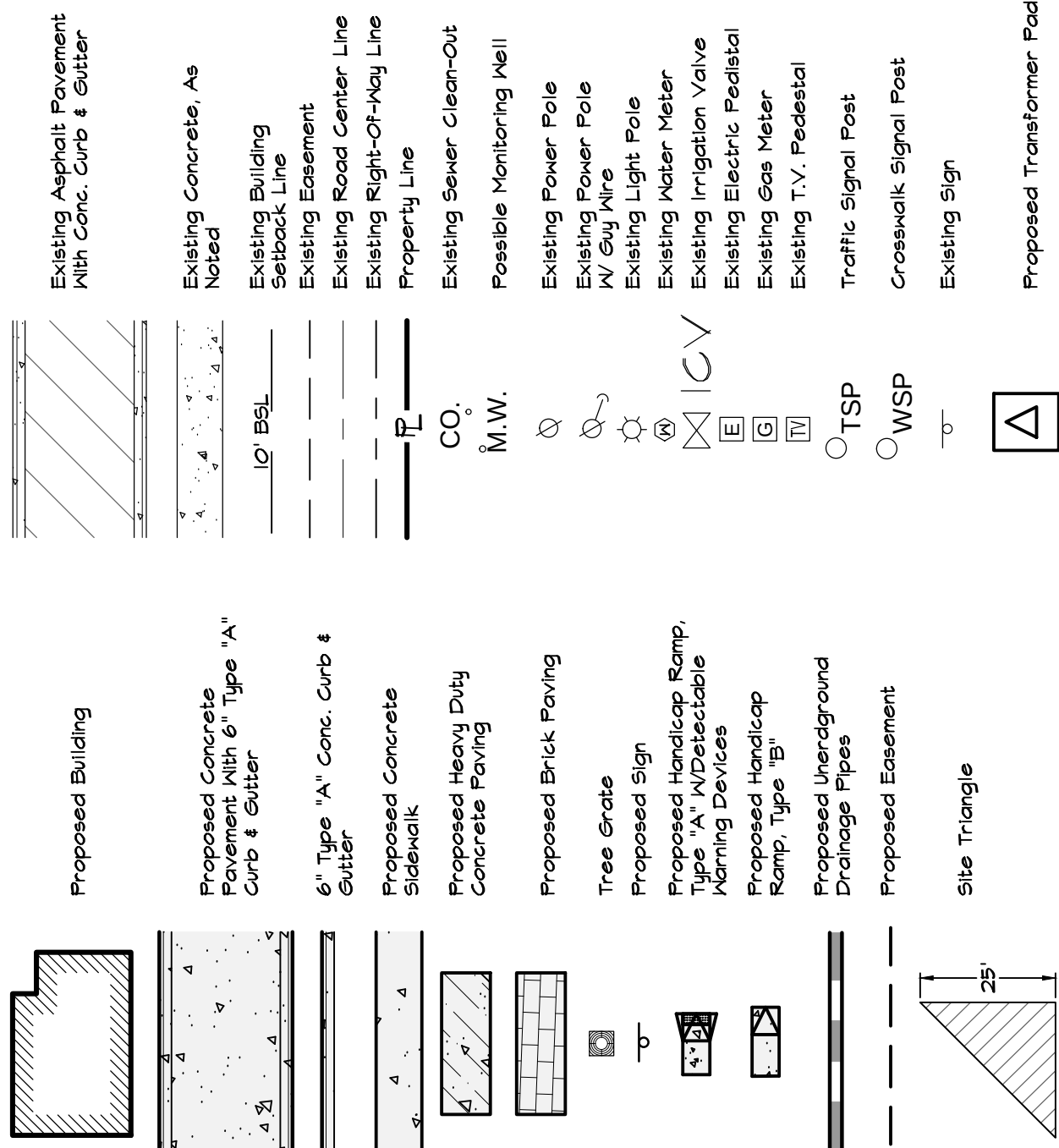
RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL** of this large scale development.





LEGEND



CURRENT ZONING OF SUBJECT PROPERTY C-3 - CENTRAL COMMERCIAL DISTRICT MINIMUM SETBACK REQUIREMENTS (Ft.)

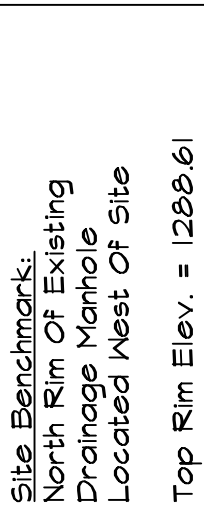
Front		Side		Rear	
With Parking In Front	Without Parking In Front	Adjacent to Non-Residential District	Adjacent to Residential District	Adjacent to Non-Residential District	Adjacent to Residential District
0'	0'	0'	10'	0'	0'

Building Height: The Maximum Height Permitted In C-3 Commercial Districts Is Eighty Feet (80')

Site General Notes:

- The Contractor Shall Be Solely And Completely Responsible For Conditions Of The Job Site, Including Safety Of All Persons And Property During All Phases Of Construction Of This Site. This Requirement Shall Apply Continuously And Shall Not Be Limited To Construction Working Hours.
- It Is The Contractor's Responsibility To Take All Precautions Necessary To Avoid Property Damage To Adjacent Properties During The Construction Phases Of This Project.
- All Dimensions, Unless Otherwise Noted, Are To The Back Of Curb, Face Of Building, Edge Of Pavement, Or Centerline Of Stripe. All Radii Are 5' Unless Otherwise Noted.
- Contractor Shall Coordinate And Comply With All Utility Companies Involved In Project And Pay All Required Fees And Costs.
- Unless Otherwise Noted, All Curb Shall Be 6" Type 'A' Concrete Curb And Gutter. Refer To Detail Sheets.
- See Architectural Plans For Exact Building Dimensions And Layout.
- Proposed Sidewalks Shall Be A Minimum Of 5' Wide Unless Otherwise Noted.
- Refer To Architectural Plans For Details Of The Proposed Entrance Sign.
- All Construction Shall Conform To The City Of Bentonville Development Regulations.
- All Signage, Pavement Markings, And Striping Shall Conform To The Manual Of Uniform Traffic Control Devices (MUTCD) Standards And Regulations.
- Contractor Must Obtain A Permit Prior To Performing A Street Cut Within City Of Bentonville Right-Of-Way. All Construction In Said Right-of-Way Shall Be In Accordance With City Of Bentonville Details And Specifications.
- All Outdoor Lighting Shall Have "Cut-Off" Fixtures In Accordance With The City Of Bentonville Requirements.
- There Are Currently No Parking Lot Light Poles Proposed For This Site.
- The Proposed Community Design Features For This Project Are A Dero Swerve Bike Rack And A Patio Bench (Victor Stanley, Inc. Classic Series CR-133 6' Bench (Color-Black) Or Approved Equal.
- In The Sight Triangle At The Front Drive There Cannot Be Anything Between 30" And 60" In Height Within The Shaded Area.
- Curb Side Trash Pickup Is Proposed For This Site
- All Mechanical Equipment Will Be Screened On All Sides By Similar Materials As The Building.
- Location Of Monument Sign Is Not Known

CITY ATLAS PAGE #403



USE SUMMARY		
Description	Gross Sq. Ft. (Net Sq. Ft.)	
General Commercial	16,070 (14,463)	
Professional Office	5,465 (4,123)	

PARKING SUMMARY		
Description	Parking Requirement	Number of Spaces
Commercial (14,463 SF)	1 per 250 SF Until 10,000 SF, Then 45%	57
Office (4,5123 SF)	1 per 300 SF Until 10,000 SF, Then 50%	123
Parking Spaces (Including IC)	Total Required	180
Accessible (AC) Spaces	Total Required	6
	Total Provided	6

MORRISON SHIPLEY
ENGINEERS • SURVEYORS

2407 SE Cottonwood Street • Bentonville, AR 72712 • 479.273.2208 • morrisonshipley.com



Drawn By:	JDS
Approved By:	SJM
Date:	04.27.15
Project No.:	PER-01

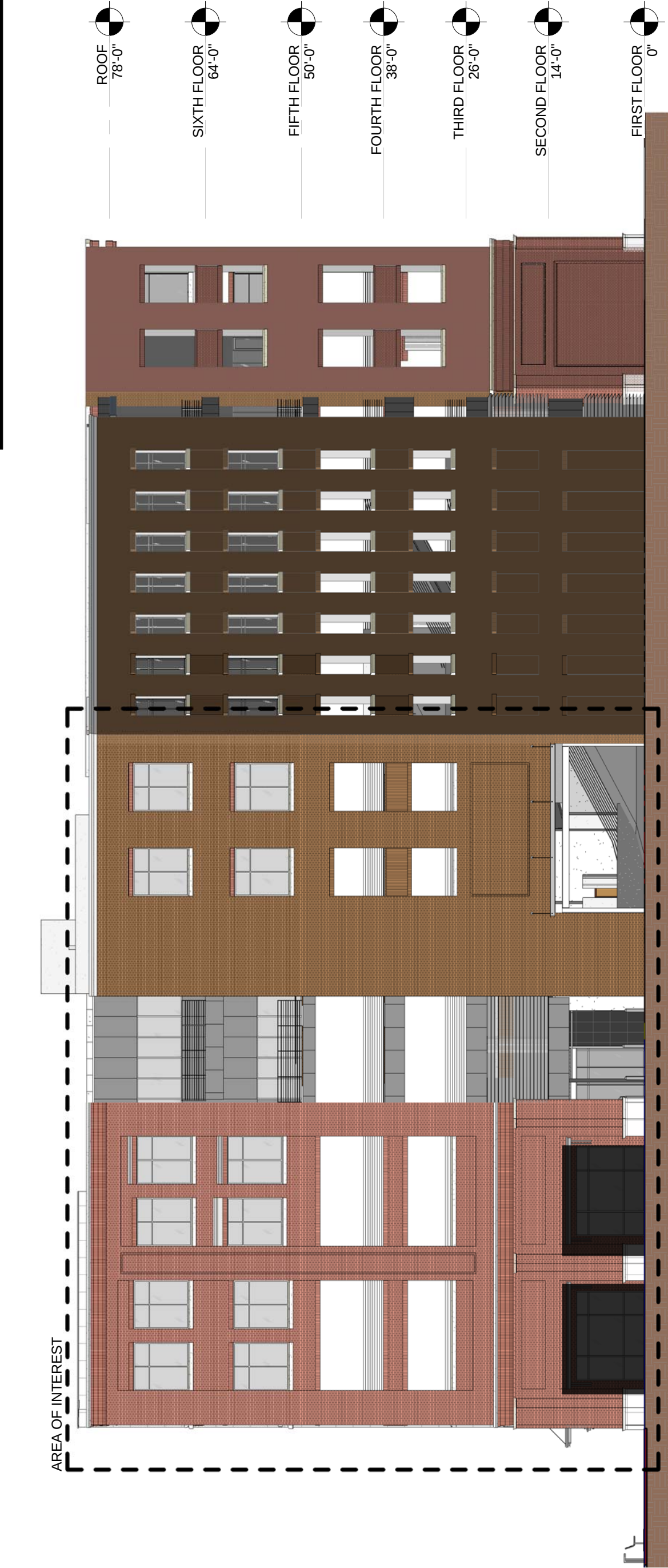
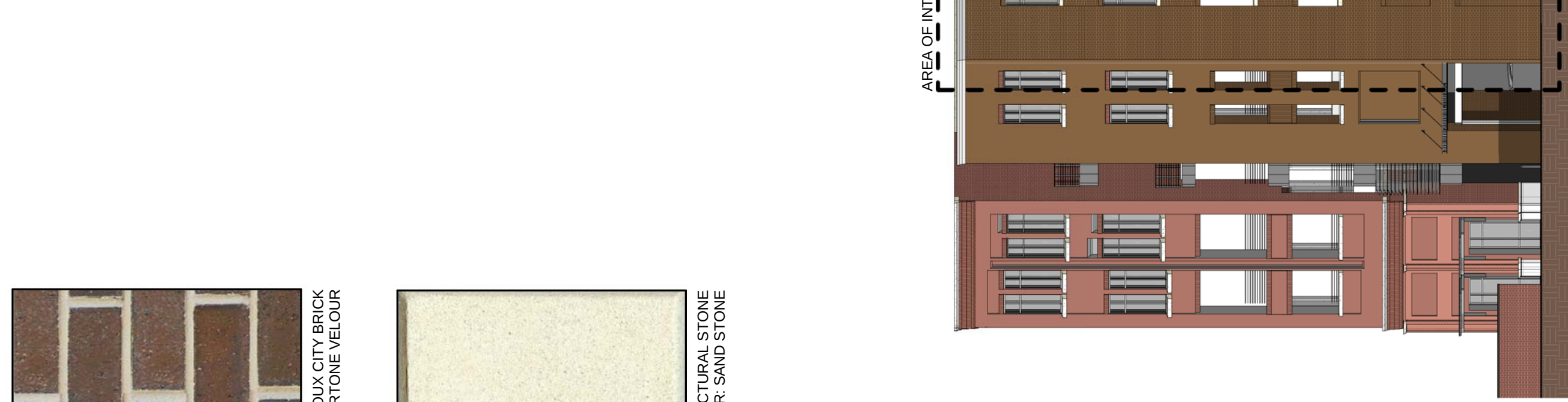
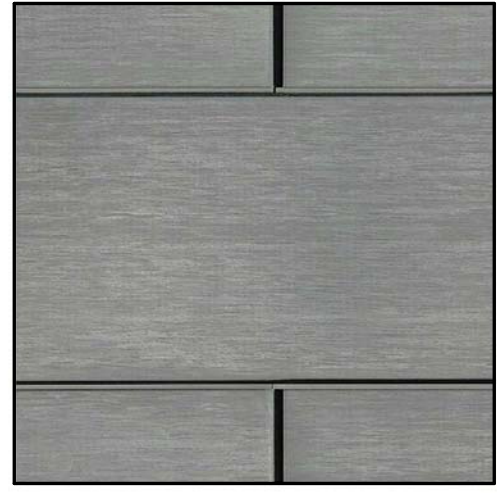
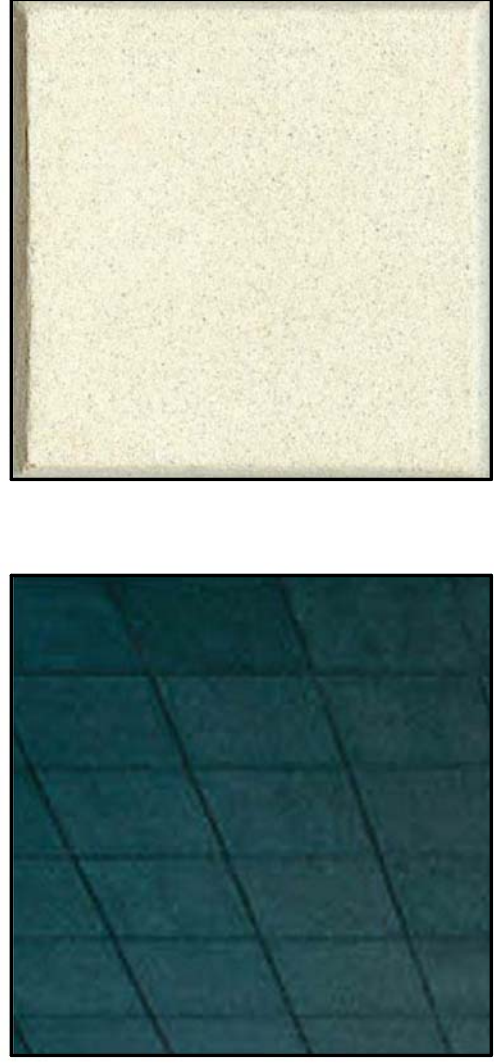
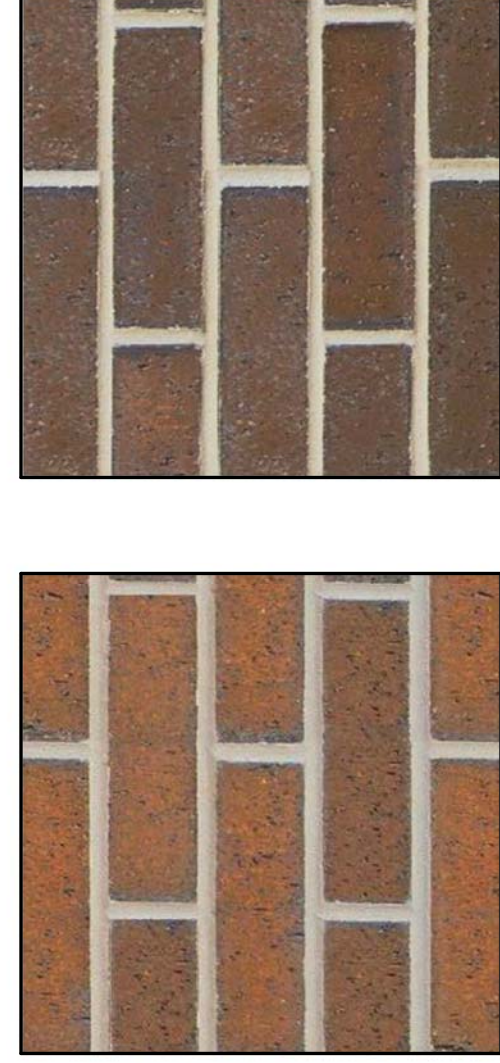
Vertical Scale:	—
Horizontal Scale:	30
Plotting Scale:	1
Drawing Name:	Plan Sheets

8W CENTER
805 S. Walton Blvd.
Bentonville, Benton County, Arkansas

SITE DIMENSION PLAN
Issued for Review

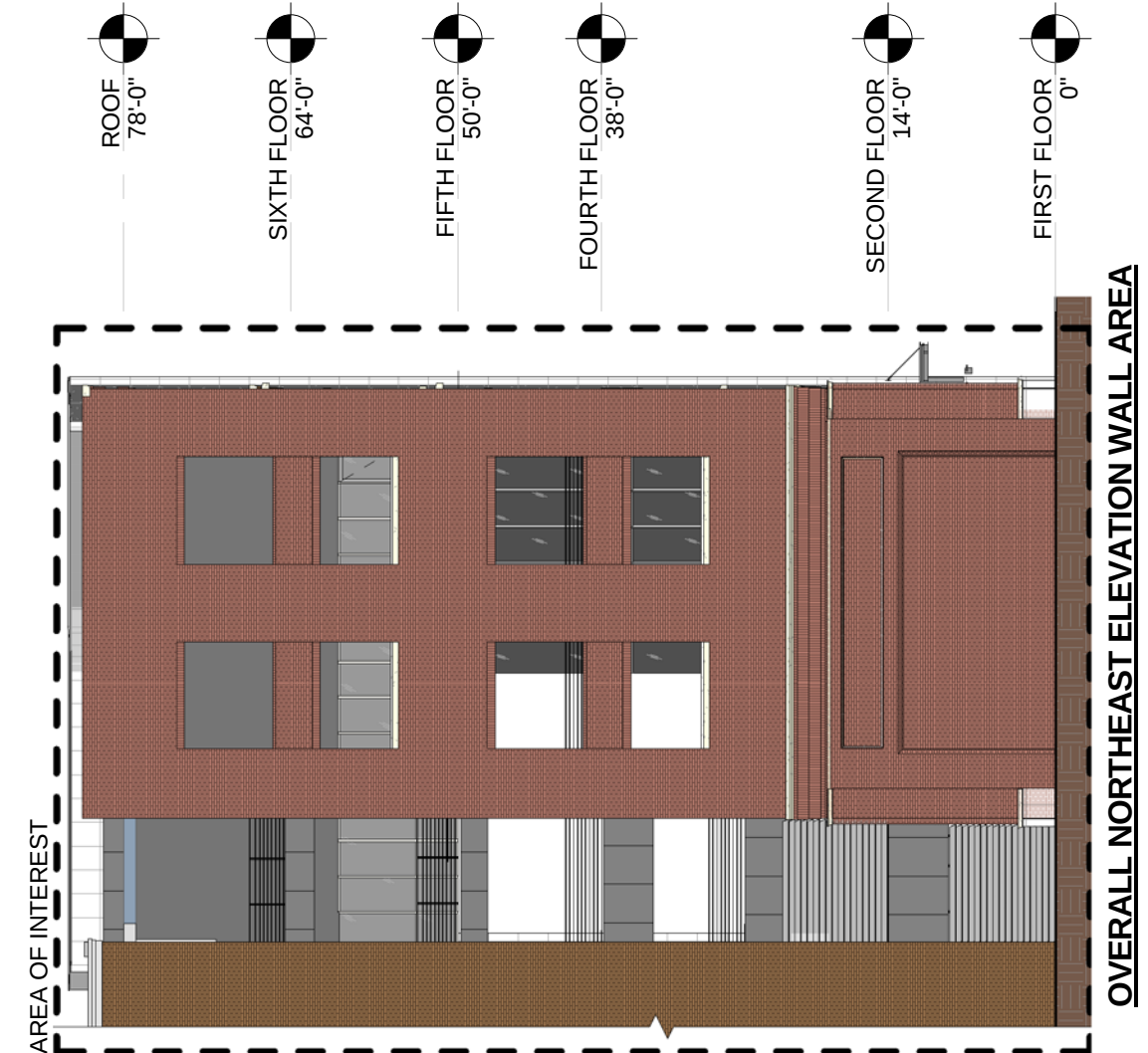
Sheet No. 3 of 10

BENTONVILLE DESIGN STANDARDS CHECKLIST	
SEC. 1100.13	(E.) BUILDING DESIGN
(1) MATERIAL THE PRIMARY MATERIAL SHALL CONSTITUTE AT LEAST 75% OF THE WALL AREA, EXCLUDING GLASS. (PLEASE REFERENCE ELEVATIONS)	
(2) COLOR THE BUILDING'S EXTERIOR COLOR SCHEME SHALL UTILIZE PRIMARILY MUTED, NEUTRAL, OR EARTH TONE TYPE COLORS. (PLEASE REFER TO MATERIALS REFERENCED ON THIS SHEET)	
(3) COMPATIBILITY ALL COMMERCIAL STRUCTURES SHALL BE DESIGNED IN A MANNER COMPATIBLE WITH OTHER STRUCTURES IN THE SURROUNDING VICINITY (PLEASE REFERENCE ELEVATIONS)	
(4) SCALE AND BULK THE HEIGHT AND SCALE OF NEW BUILDINGS SHALL BE CONSISTENT OR COMPATIBLE WITH THE HEIGHT AND SCALE OF ADJACENT BUILDINGS. (PLEASE REFERENCE ELEVATIONS)	
(5) WALL ARTICULATION BUILDINGS SHALL AVOID LONG UNINTERRUPTED FACADE PLANES AND/OR BLANK WALLS. (PLEASE REFERENCE ELEVATIONS)	
(6) FACADES ALL COMMERCIAL STRUCTURES SHALL BE ARCHITECTURALLY FINISHED ON ALL SIDES WITH SAME MATERIALS, DETAILING, AND FEATURES WHEN VISIBLE FROM THE PUBLIC REALM OR ADJACENT RESIDENTIAL AREAS. (PLEASE REFERENCE ELEVATIONS)	
(7) ROOFS ROOF LINES AND/OR PARAPETS SHALL BE VARIED WITH A CHANGE IN HEIGHT EVERY 100 LINEAR FEET IN THE BUILDING LENGTH. (PLEASE REFERENCE ELEVATIONS)	
(8) ENTRANCES PRIMARY BUILDING ON A SITE, REGARDLESS OF SIZE, SHALL HAVE CLEARLY DEFINED, HIGHLY VISIBLE CUSTOMER ENTRANCES FEATURING NO LESS THAN (2) OF THE FOLLOWING: a. CANOPIES OR PORTICOS b. PARAPETS c. RECESSES/PROJECTIONS d. PARAPETS e. PARAPETS f. PEAKED ROOF FORMS g. PEAKED ROOF h. ARCHITECTURAL DETAIL SUCH AS TILE WORK AND MOLDINGS INTEGRATED INTO THE BUILDING STRUCTURE AND DESIGN i. INTEGRATED ENTRANCES OR WING WALLS THAT INCORPORATE LANDSCAPED AREAS AND/OR PLACES FOR SITTING j. OTHER ARCHITECTURAL FEATURES APPROVED BY PLANNING COMMISSION. (FULFILL a, b, c, g, h, i, j, k)	
(9) ARCHITECTURAL DETAILS - (100,000) MINIMUM OF (6) "ARCHITECTURAL ELEMENTS" a. CANOPIES, AWNINGS, OR PORTICOS b. PARAPETS c. RECESSES/PROJECTIONS d. PARAPETS e. PARAPETS f. PEAKED ROOF g. PEAKED ROOF h. ARCHITECTURAL DETAIL SUCH AS TILE WORK AND MOLDINGS INTEGRATED INTO THE BUILDING FACADE i. DISPLAY WINDOWS j. ACCENT MATERIALS (MINIMUM OF 15% OF EXTERIOR FACADE) k. ARTICULATED CORNICE LINE l. ARTICULATED CORNICE LINE m. VARIOUS FLOOR LEVELS OR BASE n. VARIOUS FLOOR LEVELS OR BASE o. VARIOUS FLOOR LEVELS OR BASE (FULFILL a, b, c, g, h, i, j, k)	



OVERALL SOUTH ELEVATION WALL AREA
TOTAL SOUTH WALL AREA (EXCLUDES GLASS): 5,365 sf
BRICK: 4,983 sf (92.5%)
ARCHITECTURAL METAL PANEL: 402 sf (7.5%)

7 OVERALL SOUTH ELEVATION AREAS



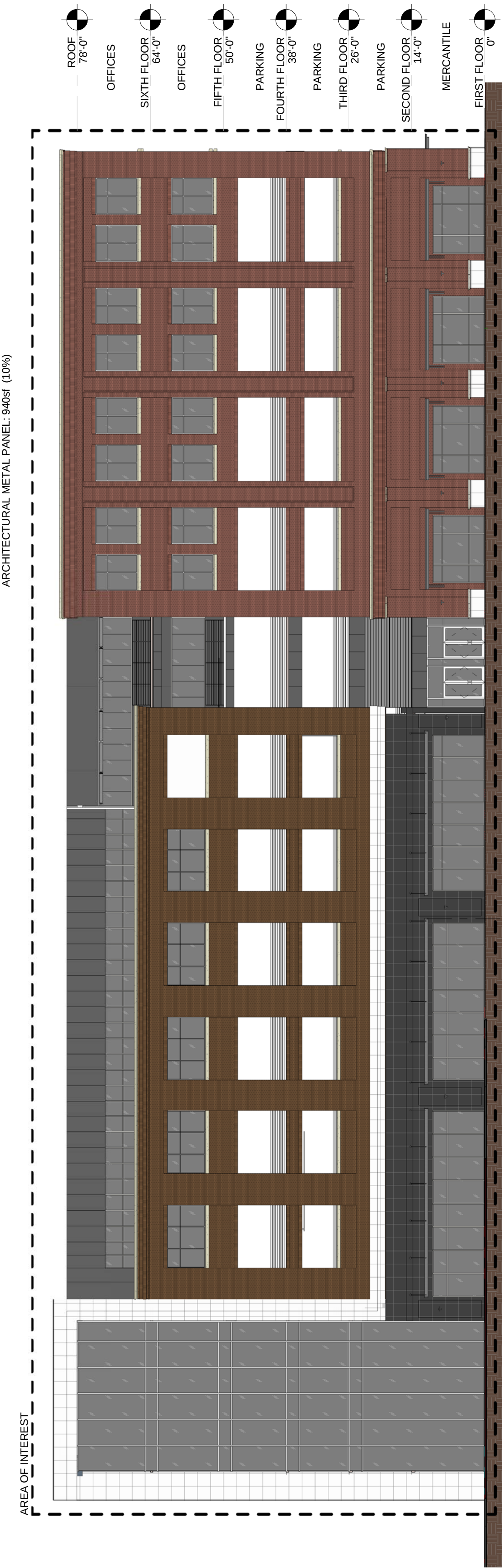
OVERALL NORTHEAST ELEVATION WALL AREA
TOTAL NORTHEAST WALL AREA (EXCLUDES GLASS): 2,665 sf
MASONRY: 2,455 sf (92.5%)
ARCHITECTURAL METAL PANEL: 209 sf (7.5%)

6 NORTHEAST CORNER ELEVATION AREAS



OVERALL NORTH ELEVATION WALL AREA
TOTAL NORTH WALL AREA (EXCLUDES GLASS): 9,655 sf
MASONRY: 8,715 sf (90%)
ARCHITECTURAL METAL PANEL: 940 sf (10%)

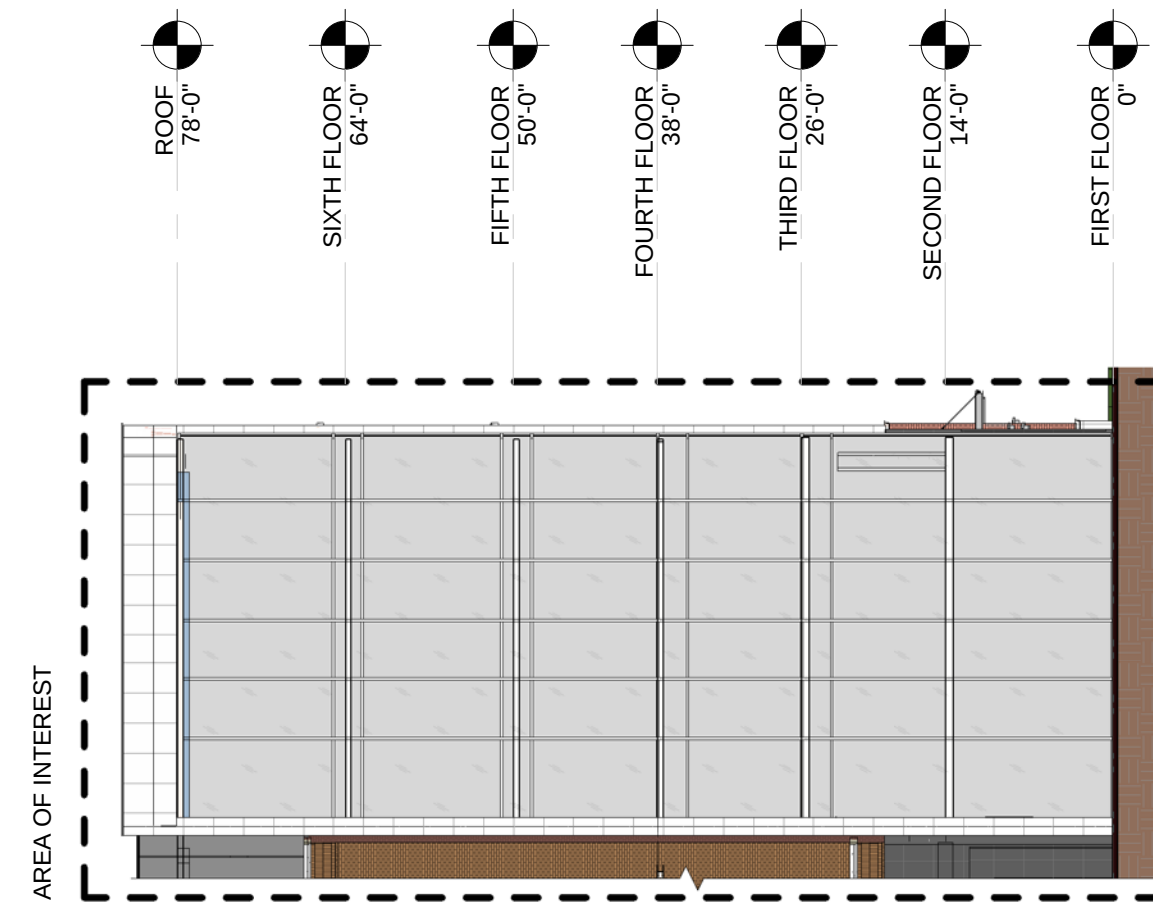
3 OVERALL NORTH ELEVATION AREAS



OVERALL WEST ELEVATION WALL AREA
TOTAL WEST WALL AREA (EXCLUDES GLASS): 11,992 sf
BRICK: 9,528 sf (79%)
ARCHITECTURAL METAL PANEL: 1,368 sf (11.5%)

1 OVERALL WEST ELEVATION AREAS

WEST ELEVATION
GLASS = 1,286 SQ.FT.
MASONRY = 9,528 SQ.FT.
CAST STONE = 756 SQ.FT.
METAL PANEL = 1,366 SQ.FT.



OVERALL NORTHWEST ELEVATION WALL AREA
TOTAL NORTHWEST WALL AREA (EXCLUDES GLASS): 3493
CAST STONE: 3493 (100%)

5 OVERALL NORTHWEST AREAS

2 3D VIEW LOOKING SOUTHEAST



Planning Commission Staff Report

Large Scale Development: Arvest ATM

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, City Planner
PC DATE: August 18, 2015

GENERAL INFORMATION:

Project Number: 15-06000011

Applicant: Arvest Bank

Representative: Patrick Foy (Morrison Shipley Engineers)

Requested Action: Large Scale Development Approval

Location: South Walton Boulevard

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a Large Scale Development for a 0.15 acre piece of property located along South Walton Boulevard. The plans as provided indicate the relocation and construction of an Arvest Bank drive through Automatic Teller Machine (ATM). Four parking spaces are being provided for service vehicles. The plans propose an entrance point from Walton Boulevard and a shared exit with 8W Center to the north onto Walton Boulevard. The ATM will be pre-manufactured with concrete/rock siding. All signage on the ATM and located within the project boundaries will require a separate permit. Water service is available to this property.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front: Parking in front	50'	-
Front: Without parking in front	20'	53'
Side: Adjacent to non-residential district	7'	13' South/54' North
Side: Adjacent to residential district	30'	-
Rear: Adjacent to non-residential district	20'	28'
Rear: Adjacent to residential district	30'	-
Height	80'	78'
Landscape Coverage	8%	8%
Parking		
Standard Stalls	0	4
Handicap Stalls	0	0
Total:	0	4

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Commercial
South	C-2, General Commercial	Commercial
East	C-2, General Commercial	Commercial
West	C-2, General Commercial	Commercial

STREETS

Direction	Name	Classification
North	-	-
South	-	-
East	-	-
West	South Walton Boulevard	Arterial

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows: N/A

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently home to an existing Arvest ATM.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

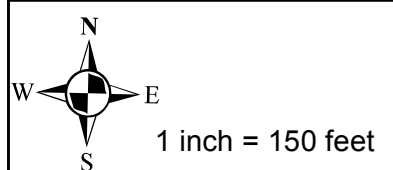
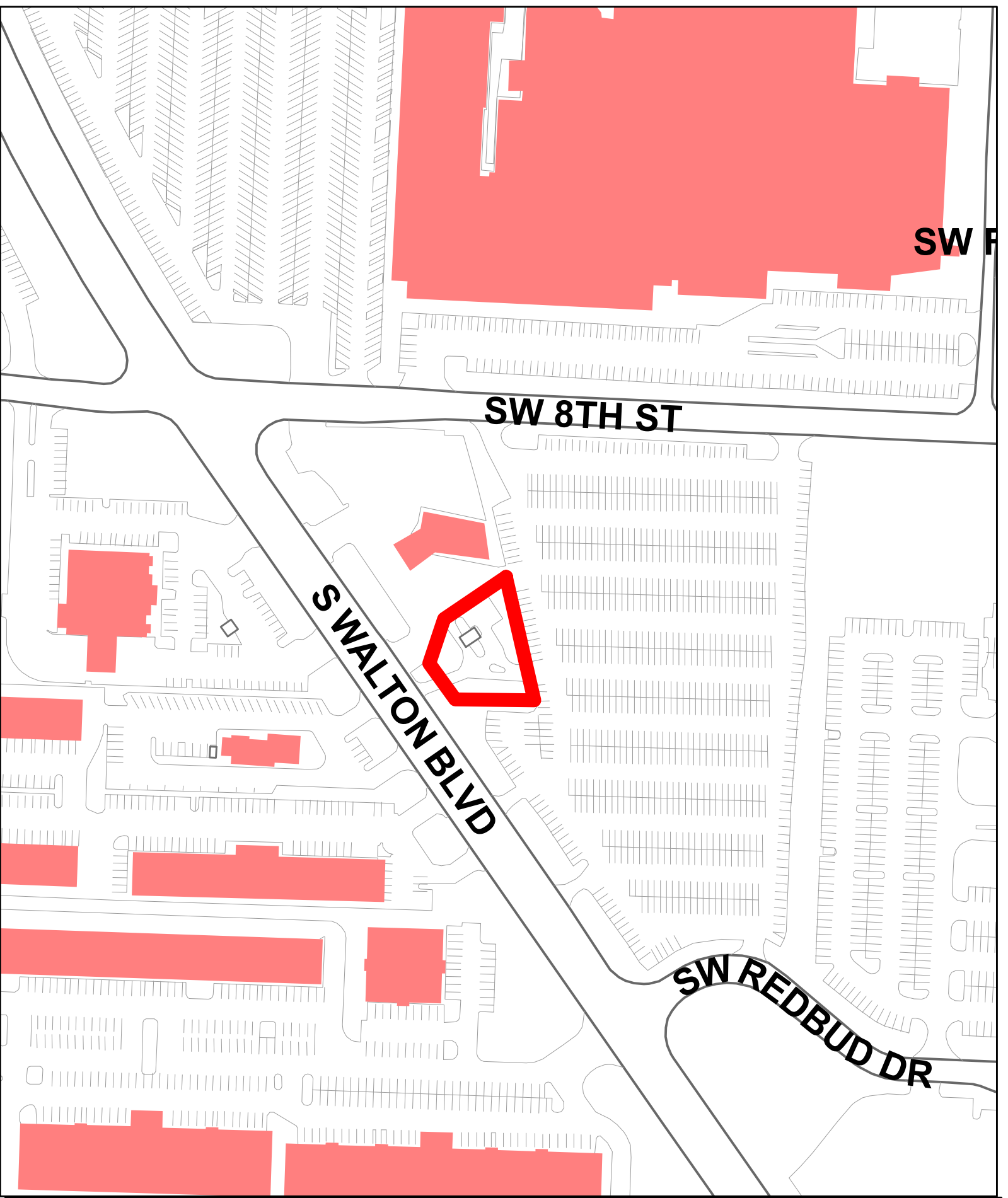
Water / Sewer: Per the G.I.S. site, water and sewer ARE available to this site.

Waiver(s): N/A

Analysis / Conclusion: This large scale development **DOES** meet the minimum requirements of the subdivision regulations.

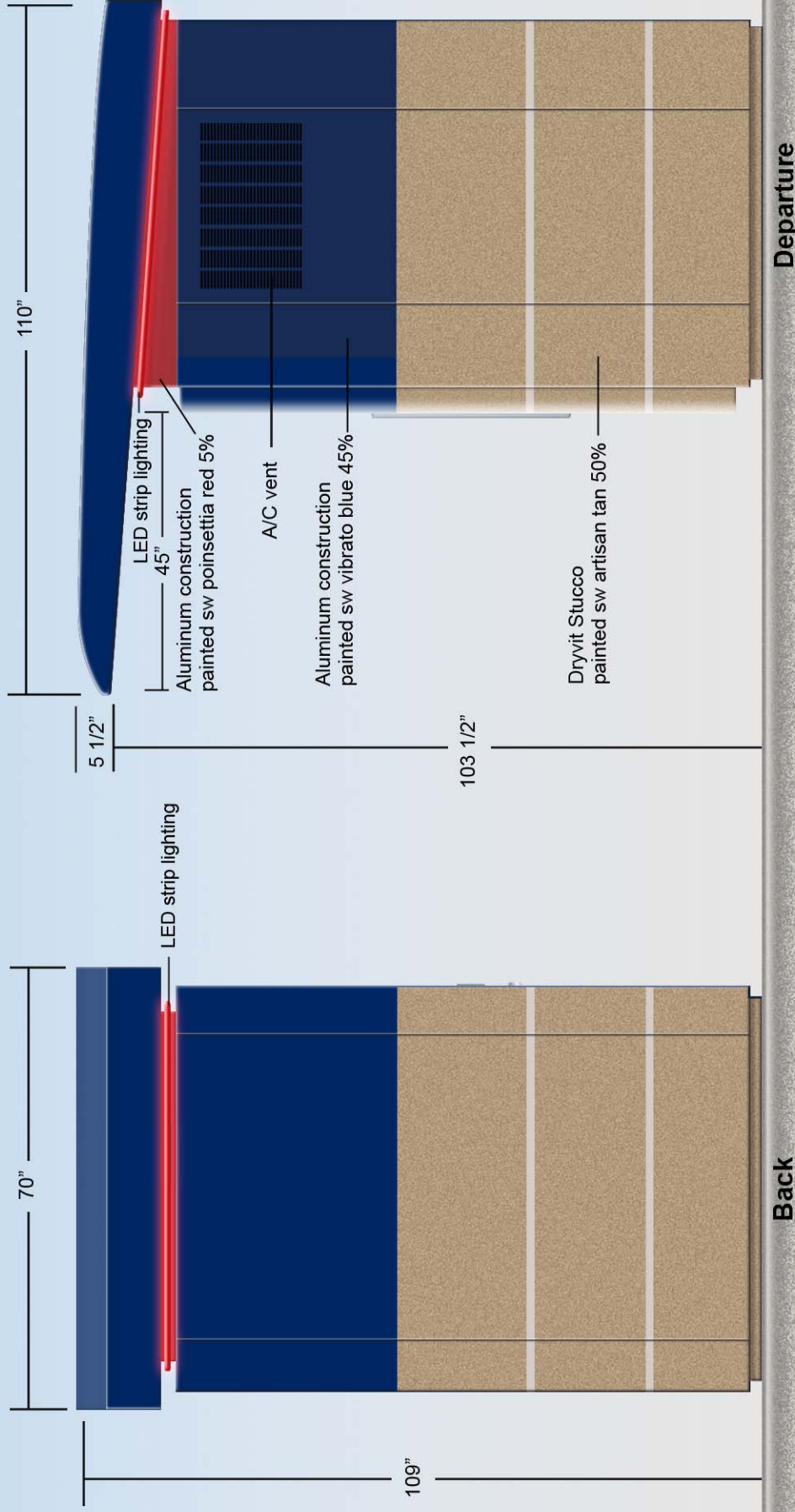
RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL** of this large scale development.



LARGE SCALE DEVELOPMENT
8W CENTER
AT&T ADDITION
15-06000012 ZONE C-3





Sherwin Williams-Vibrato Blue



Sherwin Williams-Artisan Tan



Sherwin Williams-6594 Poinsettia Red



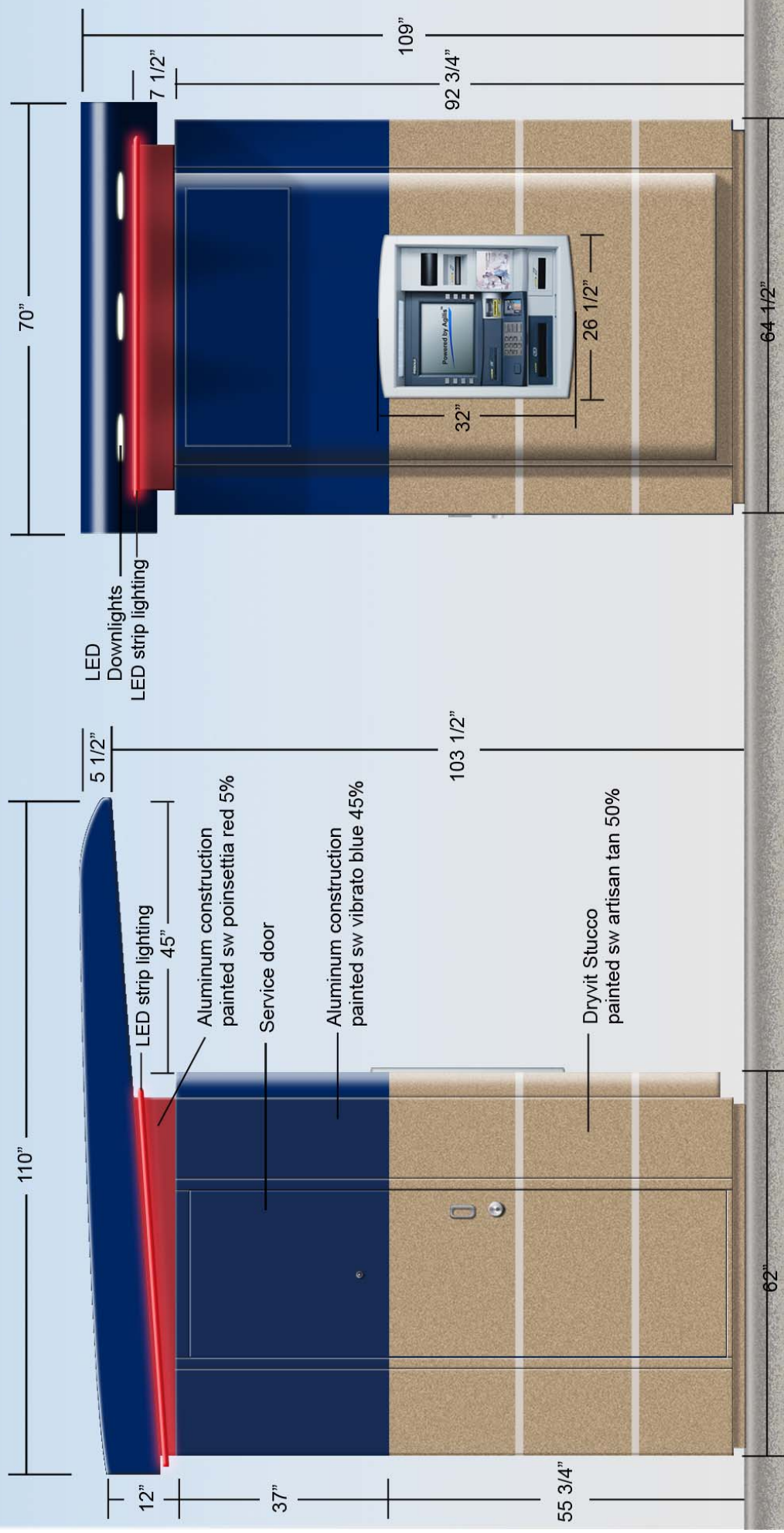
US Patent # 6,457,277 B1

Arvest Bank-Bentonville, AR Site.

Series Custom 5570 Kiosk
shown with a Opteva 740 ATM.
July 02, 2015
\\arvest bank\5570 custom-740-bentonville-back



The designs represented in this document are protected under U.S. and international trademark and copyright law, and are the sole property of Companion Systems. Any reproduction in whole or in part without written permission is prohibited.



Approach

Sherwin Williams-Vibrato Blue

Sherwin Williams-Artisan Tan

Sherwin Williams-6594 Poinsettia Red

Front

US Patent # 6,457,277 B1

Arvest Bank-Bentonville, AR Site.

Series Custom 5570 Kiosk
shown with a Opteva 740 ATM.
July 02, 2015
latarvest bank5570 custom-740-bentonville-front



The designs represented in this document are protected under U.S. and international trademark and copyright law, and are the sole property of Companion Systems. Any reproduction in whole or in part without written permission is prohibited.

Planning Commission Staff Report

Waiver Request: Design Standards Sidewalks

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Beau Thompson, AICP, Senior Planner
PC DATE: August 18, 215

GENERAL INFORMATION:

Building Permit Number: 15-320

Applicant: Mitchell and Brittany Pruitt

Representative: Danny Parsley

Requested Action: Design Standards, Sidewalk Waiver Request

Location: 5790 Southwest Opal Road

Existing Zoning: A-1, Agricultural

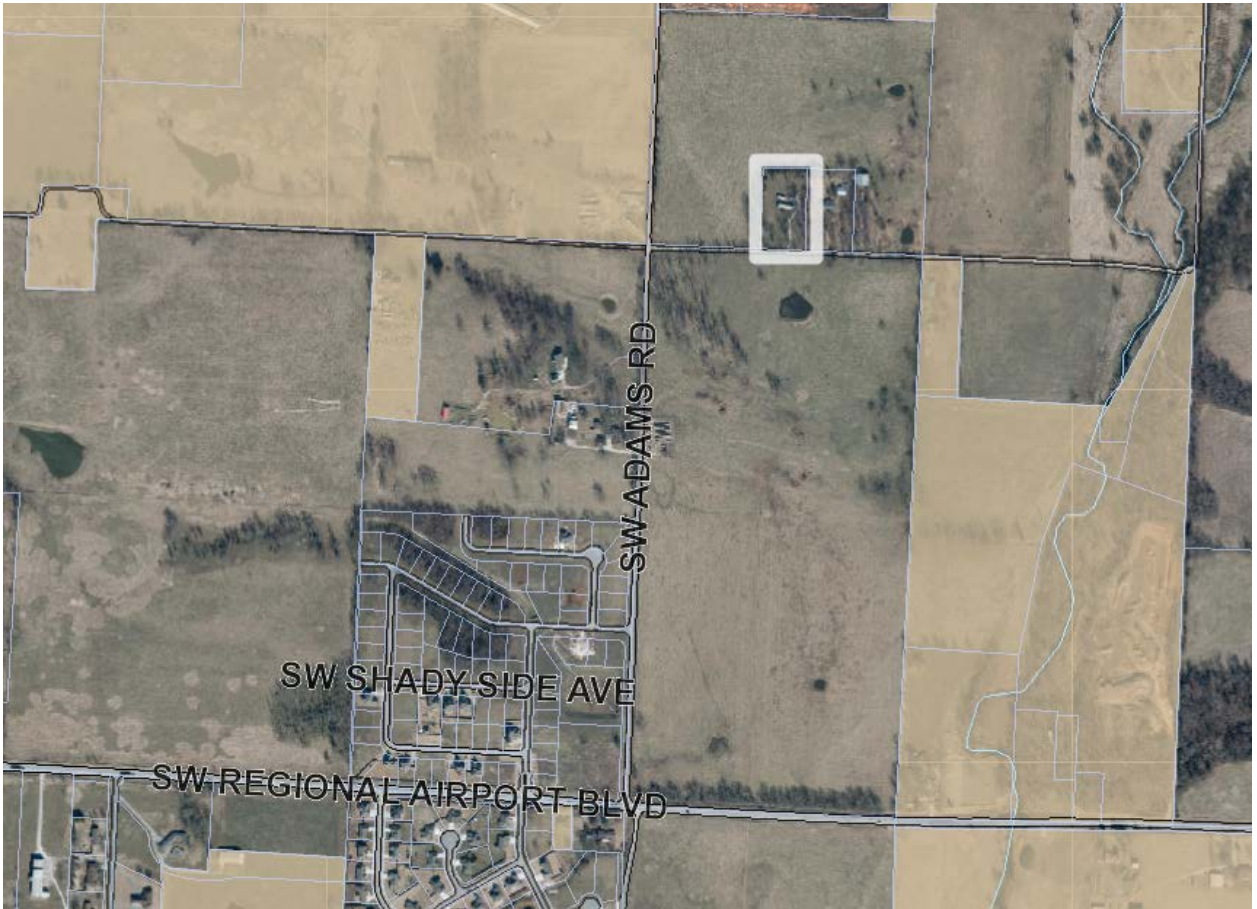
Land Use Plan: Agricultural

BACKGROUND:

The applicant has submitted a waiver to the sidewalk section of the Design Standards within the City of Bentonville subdivision regulations. Section 11.6 states all new residential construction must construct a sidewalk when abutting a public street and shall construct the sidewalk per the street standards. Opal road is currently a rural road with open ditches and approximately 20' of asphalt. Any improvements to Opal road would potentially require the reconstruction of any sidewalks installed previously. Currently the pedestrian traffic in this area is extremely low or nonexistent.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL** of the sidewalk waiver.



D. P. DEVELOPMENT INC.

dba Parsley Custom Homes

P. O. BOX 739

Lowell, Arkansas 72745

TO: City of Bentonville

DATE: August 5, 2015

RE: Sidewalk

I have attached pictures to show the home at 5790 Opal Road is located on an un-improved road with no improved drainage system. Any sidewalk that would be installed now would at a later date have to be torn out and replaced once the existing road was improved.

There for we are requesting that the sidewalk requirement be waived at this time.

Thank you for time concerning this matter, if you have any questions please contact me at 479-466-3378 or Parsleycusomhomes@gmail.com.

Danny Parsley
D P Development Inc.