



**Planning Commission
Agenda
February 2, 2016**

- I. Call to Order**
- II. Approval of Minutes**
- III. New Business**
 - 1. Ronald L. Blackwell Trust** **Rezoning ***
(A-1, Agricultural to R-4, High Density Residential)
Southeast 'C' Street and Southeast 28th Street
 - 2. New Faith Christian Center** **Conditional Use***
Southwest 14th Street (Hwy 102)
 - 3. Lots 13 & 14 Seals Addition** **Lot Split**
3401 Southwest 'F' Street
 - 4. Felton** **Sidewalk Waiver Request**
5306 Southwest Shell Road
 - 5. Design Standards for Bentonville Municipal Airport** **Ordinance***
- IV. Other Business**
 - a. February 18th - Small Area Visioning Workshop @ 6:00pm, Bentonville Public Library**
 - b. February 19th – Planning Commissioner Training Workshop**
- V. Planner's Report**
- VI. Adjournment**

Planning Commission
Minutes
January 19, 2016

Meeting called to order at 5:00 p.m. by Richard Binns, Chairman.

Present: Joe Haynie, Scott Eccleston, Greg Matter, Jim Grider, Rod Sanders and Richard Binns.

Absent: Greg Matteri and Devi Havner

City Staff: Troy Galloway, Beau Thompson, Jon Stanley and John Easterling

Motion by Eccleston, seconded by Grider to approve the minutes of January 5, 2016.

Consent Agenda

1. Lots 25,26,27,28 & 29 Block 7 WA Burks Addition Property Line Adjustment
Northeast Monroe Street
2. Lots 10 & 11 of Dowell Addition Lot
Split
North Walton Boulevard & Northwest 'J' Street

New Business

Item #1

Ronald L. Blackwell Trust: (13—018000001) Ronald L. Blackwell Trust, Southeast 'C' Street, and Southeast 28th Street, Future Land Use Map Designation-Commercial to Proposed Land Use Map Designation-High Density Residential.

Opened public hearing

Lindsey Management (Hugh Jarratt) Available for questions

Closed public hearing

Approved 5-0

Item #2

MEP Enterprises: (15-06000036) Maggie's Midtown, Large Scale Development, 301,303,309 & 315 Southwest 'D' Street.

The applicant has submitted a Large Scale Development for 4 Townhomes located at the intersection of Southwest 'D' Street and Southwest 3rd Street. The average size of each unit will be 2,500 square. Eight parking spaces are required and 8 spaces are being provide including a single car garage for each unit. A 5' wide sidewalk with 10' greenspace will be constructed along Southwest 'D' Street. Each unit will have a minimum of two shade trees planted in the front yards. The public alley located on the southern side of the property will be improved to allow access to southern most unit. Stormwater detention will be detained on site and released a pre-development rate. The exterior materials of the building will consist of various shades of antique brick.

Engineering is comfortable with the drainage design.

Approved 5-0

Planner Report

- Jon-make sure to complete and turn in Statement of Financial Interest-they are due by the end of the month.
- PC Training-February 19th Housel Lavign to provide framework
Providing in progress review community plan and in progress review of the Bentonville blueprint of the economic development plan
- Sub area plans which will become part of the community plan:
 - Downtown
 - Hwy 102 Corridor
 - 8th Street
 - Downtown Core
 - I Street

Meeting adjourned

Diane Shastid



PC Meeting of: February 2, 2016

The City of Bentonville, Arkansas

305 S.W. "A" Street
Bentonville, AR 72212
Telephone: (479) 271-3122
Fax: (479) 271-5906

REZONING: Ronald L. Blackwell Trust (A-1, Agricultural to R-4, High Density Residential)

Current Planning Division Correspondence: Planning Commission Staff Report

TO: City of Bentonville, Arkansas Planning Commission
FROM: Jon Stanley, Planner
THRU: Troy Galloway, AICP, Community Development Director
DATE: February 2, 2016

GENERAL INFORMATION

H.T.E. Project Number: 15-09000044

Applicant/Current Owner: Ronald L. Blackwell

Representative: Lindesy & Associates (Hugh Jarratt)

Requested Action: Rezoning

Location: Southeast 'C' Street & Southeast 28th Street

Existing Zoning: A-1, Agricultural

Proposed Zoning: R-4, High Density Residential

Future Land Use Map Designation: High Density Residential

BACKGROUND / HISTORY

Property Description/Site Inspection: A site inspection was completed; this property is vacant near an undeveloped intersection situated between two collector streets.

Previous Rezoning Requests for this Property: There are no known rezonings for this property.

Surrounding Land Uses & Zonings:

Direction	Current Land Use	Existing Zoning	Future Land Use Map Designation
North	Commercial	C-2, General Commercial	Mixed Use
South	City Park Land (Phillips Park)	A-1, Agricultural	Open Space
East	Commercial & Industrial	C-2, General Commercial, I-1, Light Industrial & PUD, Planned Unit Development	Commercial, Industrial & Office
West	Commercial	C-2, General Commercial	Commercial

Surrounding Streets & Classifications:

Direction	Name	Master Street Plan Classification	Current Condition
North	-	-	-
South	Southeast 28 th Street	Arterial	3 lane asphalt – curb & gutter
East	Southeast ‘F’ Street	Local	2 lane asphalt – curb & gutter
West	Southeast ‘C’ Street	Collector	2 lane asphalt – curb & gutter

LEGAL NOTIFICATIONS

Public Notice: On **January 14, 2016**, the property owner and/or representative mailed certified public notices to property owners within a 200 foot radius of the subject site and staff published a legal notice in the Arkansas Democrat-Gazette, Northwest Arkansas Addition on **January 6, 2016**. In addition, staff posted a notice of public hearing sign on the property on **December 31, 2015**. This **DOES** meet legal noticing requirements and are adequate for the scope of this rezoning application.

RELATIONSHIP TO THE GENERAL PLAN AND FUTURE LAND USE MAP

1. A determination of the degree to which the proposed zoning is consistent with land use planning objectives, principles, and policies and with land use and zoning plans.

Finding(s) of Staff: **Policy LU-23 Housing Types within the General Plan suggest multi-family housing within close proximity to activity nodes that offer goods and services. The mix of uses and housing types that are near employment centers will help to reduce the impact on city infrastructure. The proposed rezoning will meet the intent of the policy therefore the request is consistent with good land use planning and the general plan.**

2. A determination as to whether the proposed zoning would create or appreciably increase traffic danger and congestion.

Finding(s) of Staff: **The proposed rezoning is at the intersection of a proposed east to west and north to south corridor. The proposed use will not adversely impact the transportation infrastructure. The proximity to goods, service and employment center will further reduce the impact on the city wide transportation network.**

3. A determination as to whether the proposed zoning would significantly alter the population density and thereby undesirably increase the load on public services including schools, emergency services, and water and sewer facilities.

Finding(s) of Staff: **Water and sewer availability and capacity in this area are extremely adequate. Through the use of Impact Fees collected during the construction of the multifamily units the city will further increase the availability of emergency service in the Southeast part of Bentonville. Emergency services are adequate at the proposed location.**

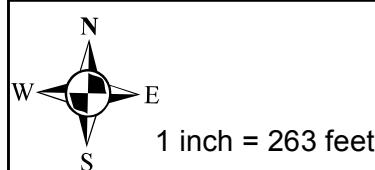
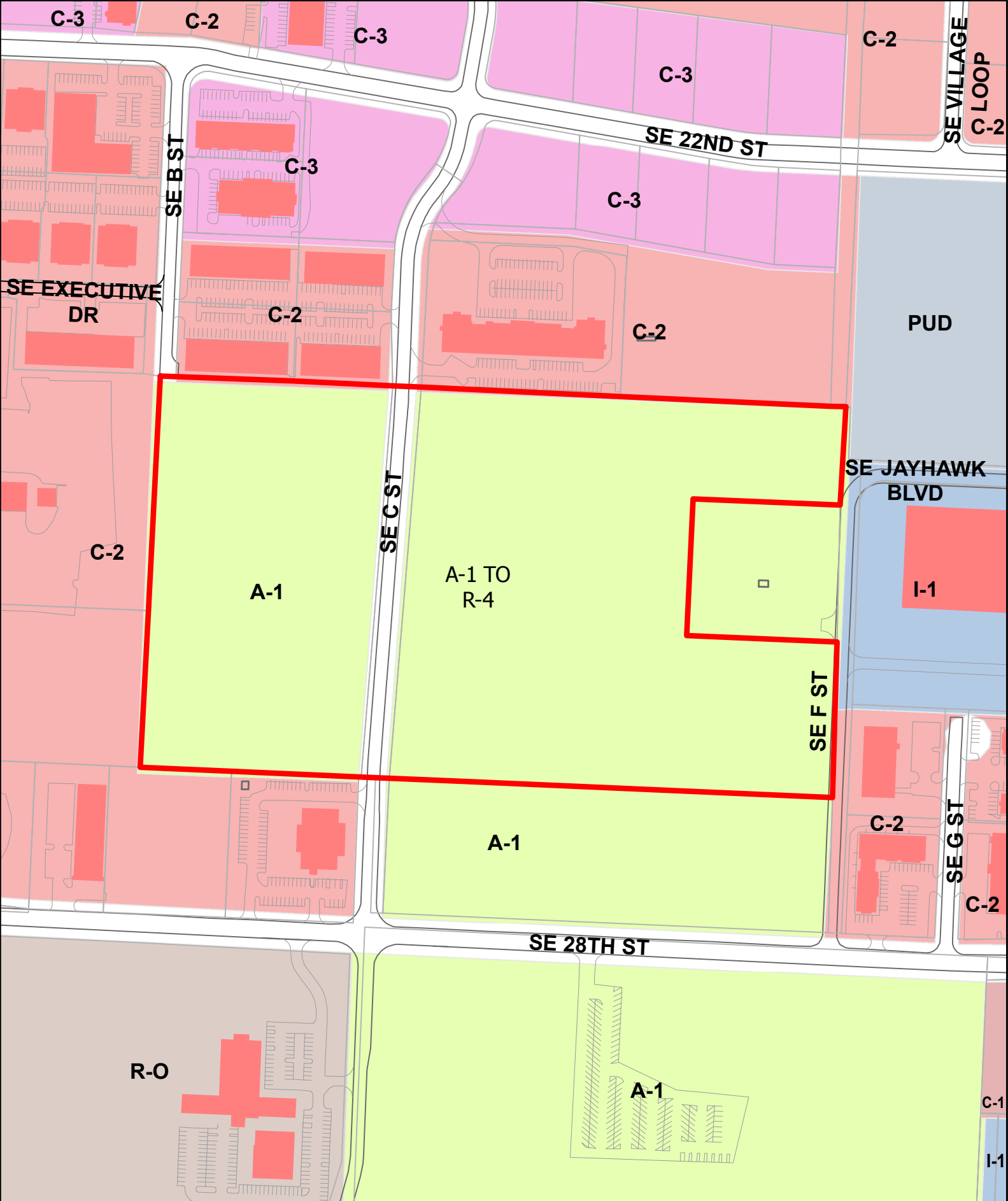
ANALYSIS, CONCLUSION, & SUMMARY

The proposed rezoning is located where an existing arterial and collector street intersects. Additional residential units in this area will provide an opportunity for residents to live and work in the same sector of the city. There are multiple ingress/egress opportunities that can be utilized in the development of the property that will help to reduce traffic congestion. The high density residential designation will create an area of transition between the commercial that exist to the west and the industrial and commercial that exists to the north, and east. The public park to the south will offer recreational opportunities to those living in the area.

STAFF RECOMMENDATION

The rezoning request **IS** consistent with the City of Bentonville's Future Land Use Map, which depicts this property as High Density Residential.

Staff has reviewed this application and based on the findings presented in this staff report, staff recommends **APPROVAL** of this rezoning request from A-1, Agricultural to R-4, High Density Residential.



REZONING
RON BLACKWELL FORD ADDITION
A1-TO R-4
15-09000044



ZONING AMENDMENT NARRATIVE

1. **Reason for the initiation of this Proposal:** A local multi-family developer desires to build an apartment development on the site and would like to amend the Land Use Plan to conform thereto.
2. **How will this change the land use and character of the property:** The land use will change from industrial to residential. This will add more homes to an area close to the downtown services offered by Bentonville. The surrounding area is substantially developed and this amendment will have little impact on the surrounding properties.
3. **How is the property more suitable for the proposed land use:** Bentonville has experienced a surge in growth. Services and jobs are plentiful close to the property but housing is not. This amendment will allow Bentonville residents to live close to work, schools, services, and recreational activities offered by Bentonville.
4. **Would the permitted change be detrimental to the surrounding property:** No. The surrounding property is substantially developed.
5. **What are alternative courses of action:** If the land use is not changed, the apartment home developer will not develop this site.
6. **What are your proposed plans for the property:** An apartment home development.
7. **What alternatives have been discussed:** None at this time.
8. **Additional Information:** Lindsey Management Co., Inc., is the proposed developer.
9. **Appearance:** The proposed apartment home development will be similar in appearance to The Trails at Bentonville apartment development. However, this site is smaller in size which will impact some aspects of allowable greenspace.
10. **Traffic:** The property is surrounded by a fully developed street system so traffic impacts to the surrounding area should be minimal.
11. **Utilities:** Water and sewer service are currently available at the property.

Planning Commission Staff Report
Conditional Use: New Faith Christian Center
Project Number: 15-02000018

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, ACIP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: February 2, 2016

GENERAL INFORMATION:

Applicant: Centro Crisiano De Fe Bentonville, Inc.

Representative: Leonard Gabbard & Kellye Hamblen

Requested Action: Conditional Use Permit Approval

Location: Southwest 14th Street

Existing Zoning: A-1, Agricultural

Land Use Plan: Mixed Use

Proposed Use: Religious Facility

BACKGROUND:

The applicant has submitted a Conditional Use permit for a religious facility in an A-1, Agricultural zoning district for property situated along Southwest 14th Street. The applicant is proposing a 216 seat sanctuary. Hours of operation will be 8:00 am to 5:00 pm Monday through Friday and evening services on Wednesdays and Sundays. Both indoor and outdoor activities will be held at this location. Fifty-nine parking spaces will be provided. The facility will have three employees.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	A-1, Agricultural	Mixed Use
South	A-1, Agricultural & PUD, Planned Unit Development	Low Density Residential
East	R-O, Residential Office	Public
West	A-1, Agricultural	Mixed Use

STREETS:

Direction	Name	Classification
North	-	-
South	Southwest 14 th Street	Arterial
East	-	-
West	-	-

Site Inspection: A site inspection was completed; this property is a currently vacant within an agricultural area along a major commercial coordinator in the southwest part of the city.

Public Notice: On **January 6, 2016** a notice was published in the *Arkansas Democrat-Gazette*, *Northwest Arkansas Addition* and a public hearing notice sign was posted on the property on **January 6, 2016**. This meets legal noticing requirements and is adequate for the scope of this project.

CONDITIONS OF APPROVAL:

1. All technical review comments must be addressed before building permits are issued.
2. The conditional use will coincide with the life of the church provided in the Conditional Use Permit application. Any additions to this floor plan or construction of a new facility must be approved through the planning commission.

ISSUES / ANALYSIS:

SEC. 301.6. Planning Commission

E. Standards for Approval. In carrying out the purpose of this section, the Commission's consideration shall include, but not be limited to, the following development standards and design specifics. The appropriateness of these standards shall be determined at the discretion of the Planning Commission for each specific conditional use location.

1. The proposed use shall be so designated, located and operated so that the public health, safety and welfare will be protected.
2. The proposed land use shall be compatible with other area properties located near it.
3. The proposed use shall be in compliance with the provision of "Conditional Uses" as set out in this Ordinance.
4. The proposed use shall be in conformance with all applicable provisions stated in this Ordinance for the district in which the use is to be located. The use shall facilitate public convenience at that location.
5. The proposed conditional use shall be in conformance with all off-street parking and loading requirements of this Ordinance and ingress and egress and pedestrian ways shall be adequate.
6. Safeguards limiting noxious or offensive emissions, including lighting, noise, glare, dust and odor shall have been addressed in the proposed use application.
7. Landscaping and screening of the proposed use shall be in accordance with these Ordinance regulations and the City of Bentonville landscaping regulations.
8. Proposed use signage shall be in accordance with the provisions of this Ordinance.
9. Open space located on the proposed use shall be maintained by the owner/developer.
10. The size and shape of the site, including size, shape and arrangement of proposed structures shall be in keeping with the intent of this Ordinance.

11. The Planning Commission shall in no case authorize less than minimum requirements of the Ordinance relating to height, area, setbacks, parking or landscaping.
12. The Planning Commission shall not permit any use in a zone as a conditional use that is not permitted under the Zoning Ordinance.

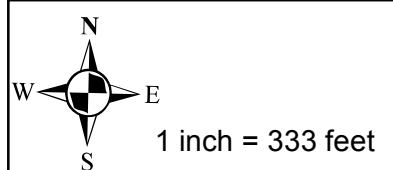
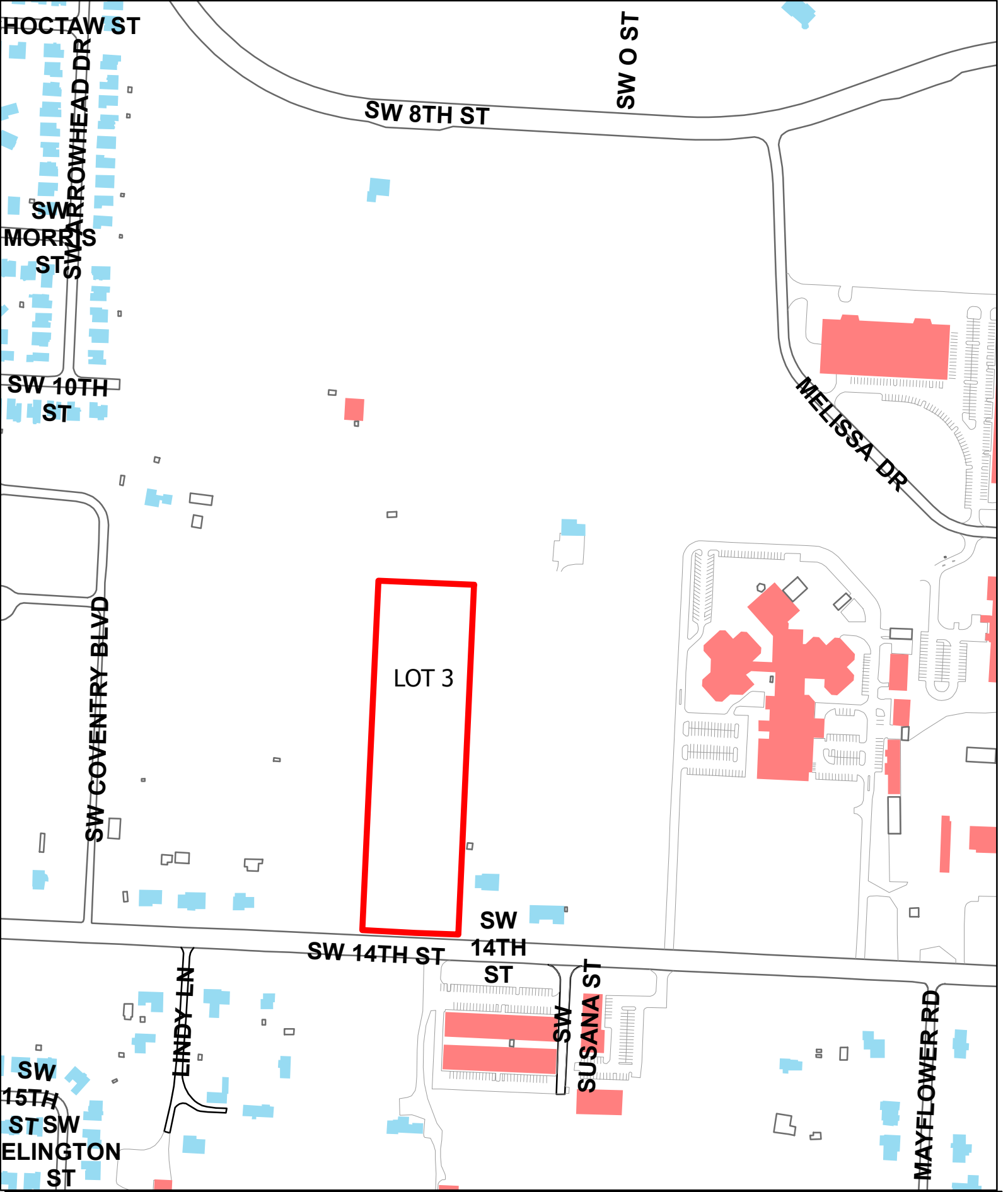
The conditional use is allowed on appeal in the **(A-1, Agricultural)** district.

Allowed under the Protective Covenants of the subdivision. **Not applicable**

To date staff **HAS** been contacted regarding this request.

RECOMMENDATION:

Staff has reviewed this application and recommends APPROVAL.



CONDITIONAL USE
NORTH AR WHOLESALE 8TH ST SUB
LOT 3



Narrative for Conditional Use Request for

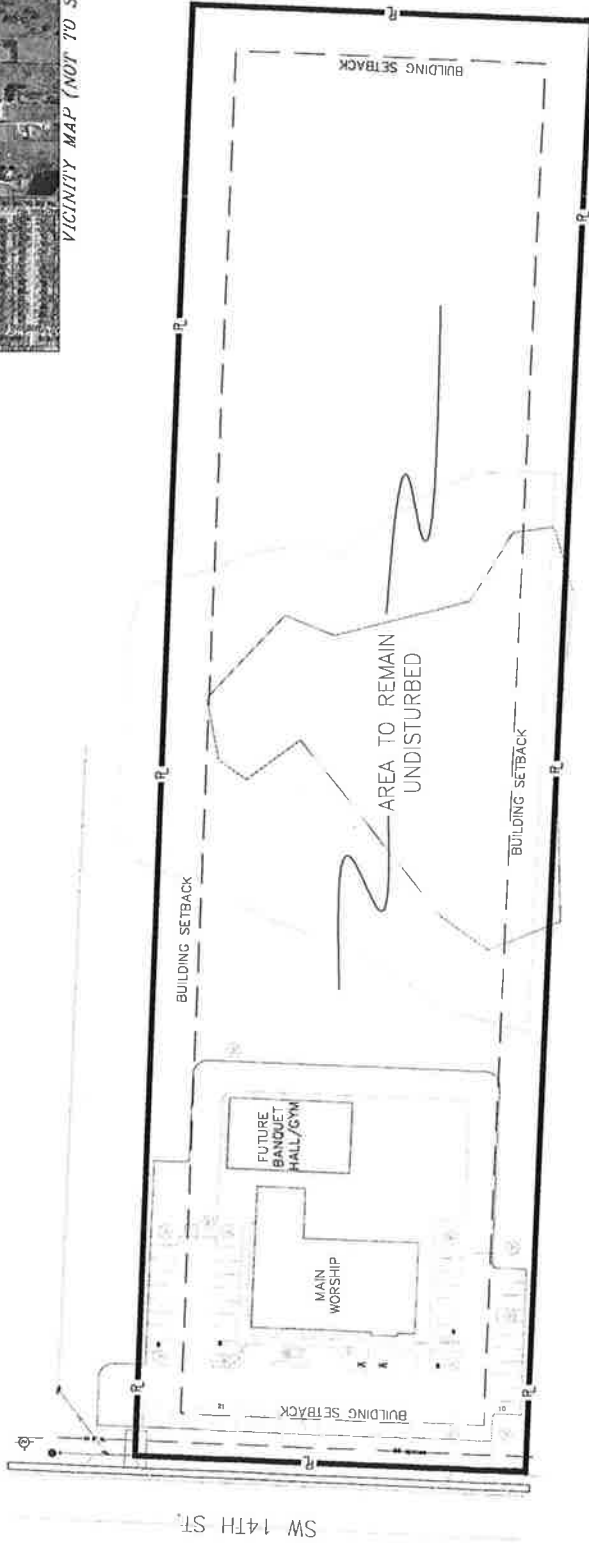
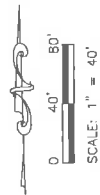
New Faith Christian Center

A Religious Facility in an A-1 Zone

The conditional use is being requested to construct a religious facility in an A-1 (Agricultural) zone. Attached is a preliminary layout of the facility which will be submitted as a large-scale development if the conditional use is granted. The hours of operation will be consistent with typical church-related activities, but will vary depending on the church function taking place. The proposed sanctuary will seat 216 people and will require 54 parking spaces; 59 spaces are shown. All outdoor lighting will meet the requirements of the Bentonville Code of Ordinance and Commercial Design Standards. The church intends to have 3 employees.

New Faith Christian Center Development *1610 Southwest 14th Street, Bentonville, Arkansas* A CONDITIONAL USE REQUEST TO THE CITY OF BENTONVILLE, ARKANSAS ATLAS PAGE 402

GENERAL NOTES
 1. PRESENT ZONING A-1. PROPOSED USE: RELIGIOUS FACILITY
 2. THERE ARE NO STRUCTURES EXISTING ON THE PROPERTY



Engineer/Supervisor James Layout Services, LLC 1500 Box 611 Farmington, Arkansas 72730 Telephone: (479) 439-0929 E-mail: survey@jlsnma.com JLS		SHEET NO. CU
DATE DEC 2015	AS SHOWN LFG	LOCATION BENTONVILLE, ARKANSAS
PROJECT NO. 15-029 SW 14th St. Church Site	CLIENT KEH	REVISIONS DATE BY REASON
PROJECT TITLE New Faith Christian Center		

Planning Commission Staff Report

Lot Split: Lot 13 & 14, Seals Addition

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: February 2, 2016

GENERAL INFORMATION:

Project Number: 15-05000051

Applicant: Chad S. Hatfield Revocable Trust

Representative: CEI Engineering Associates (Nikolay K. Nedkov)

Requested Action: Lot Split Approval

Location: 3401 Southwest 'F' Street

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a lot split for property that fronts North Walton Boulevard to the east and NW 'J' Street to the west. The plat as provided by the applicant shows the creation of two new lots from one existing lot. The new lots will be known as Lot 10 (1.63 acres) and Lot 11 (2.40 acres), of Dowell Addition. Right-of-Way is being dedicated along Northwest 'J' Street per the Master Street Plan. A drainage and cross access easement will also be dedicated with the plat. Water and sewer services are available to this location.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	I-1, Light Industrial	Commercial
South	C-2, General Commercial	Commercial
East	A-1, Agricultural	Commercial
West	R-1, Single Family Residential & C-2, General Commercial	Commercial

STREETS

Direction	Name	Classification
North	-	-
South	-	-
East	-	-
West	Southwest 'F' Street	Collector

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: No traffic data exists for this location.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; Lot 13 is vacant and has an existing detention pond and Lot 14 has an existing office building. Both lots are situated along a collector street in the southwest part of the city.

Drainage Report: A drainage report is not required for this lot split.

Water / Sewer: Per the G.I.S. site, water and sewer are available to the two proposed lots.

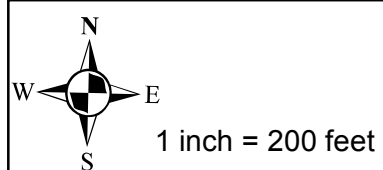
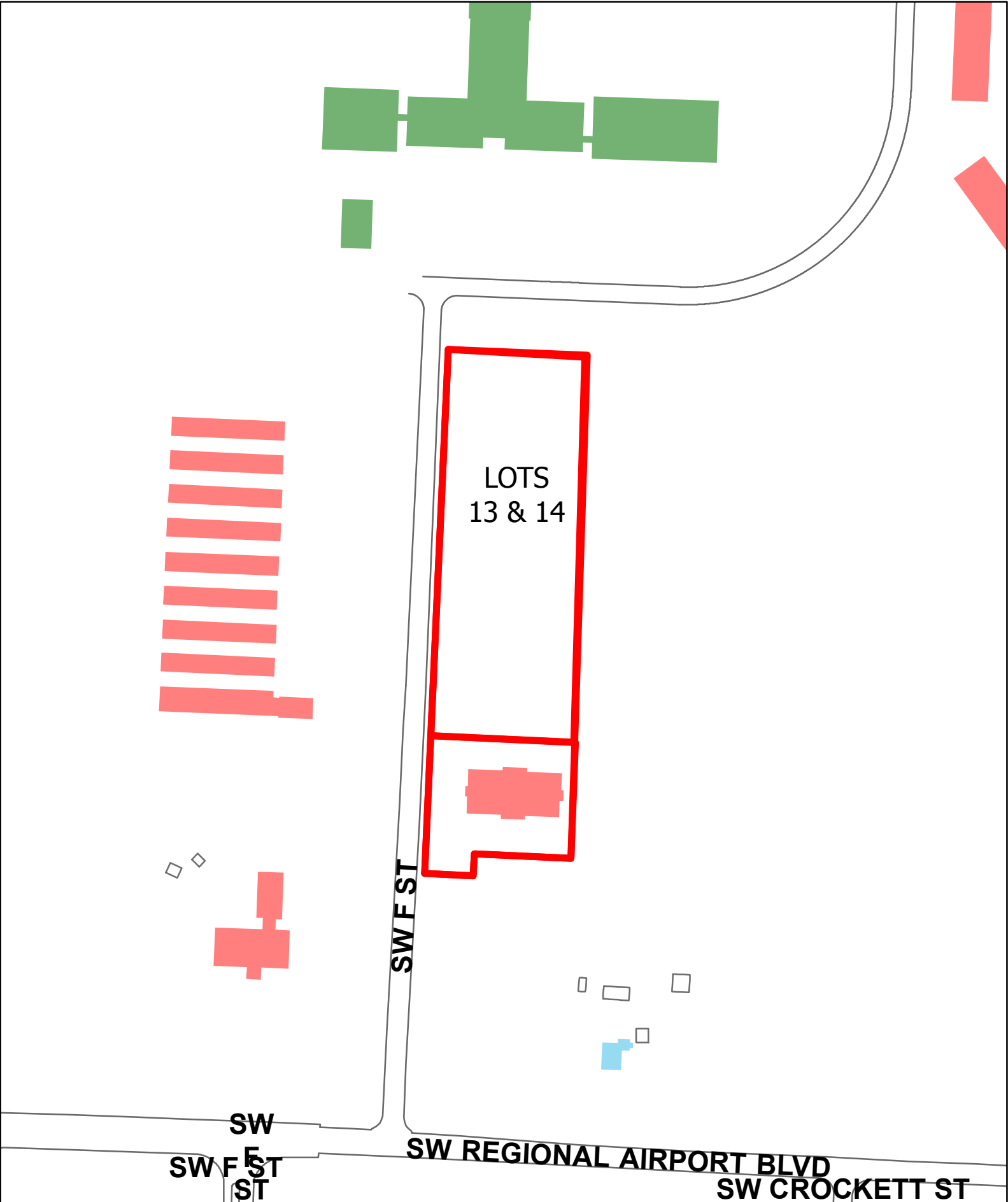
Waiver(s): 1 Waiver Request –

- o The applicant is requesting a waiver to Article 1100, Design Standards, Section 1100.7, Grading & Drainage, Subsection ‘A’ Stormwater Drainage Control Standards. Ordinance states that “All grading and drainage shall be designed and developed in conformance with the requirements of the City’s current adopted Stormwater Drainage Control Standards. The current Stormwater Drainage Manual states in Section 5.4.11 that “ All detention and retention facilities within a subdivision shall be shown on the final plat as an individual lot and said lot shall be a drainage easement to allow for inspection and maintenance of outfall structure by the City. The applicant request to keep the existing detention pond area included as a part of proposed Lot 13 stating that separating the detention pond out into a separate lot will result in a loss of value for the property owner and rendering the proposed new lot unsellable.

Analysis / Conclusion: This lot split **DOES NOT** meet the minimum requirements of the subdivision regulations due to the waiver request.

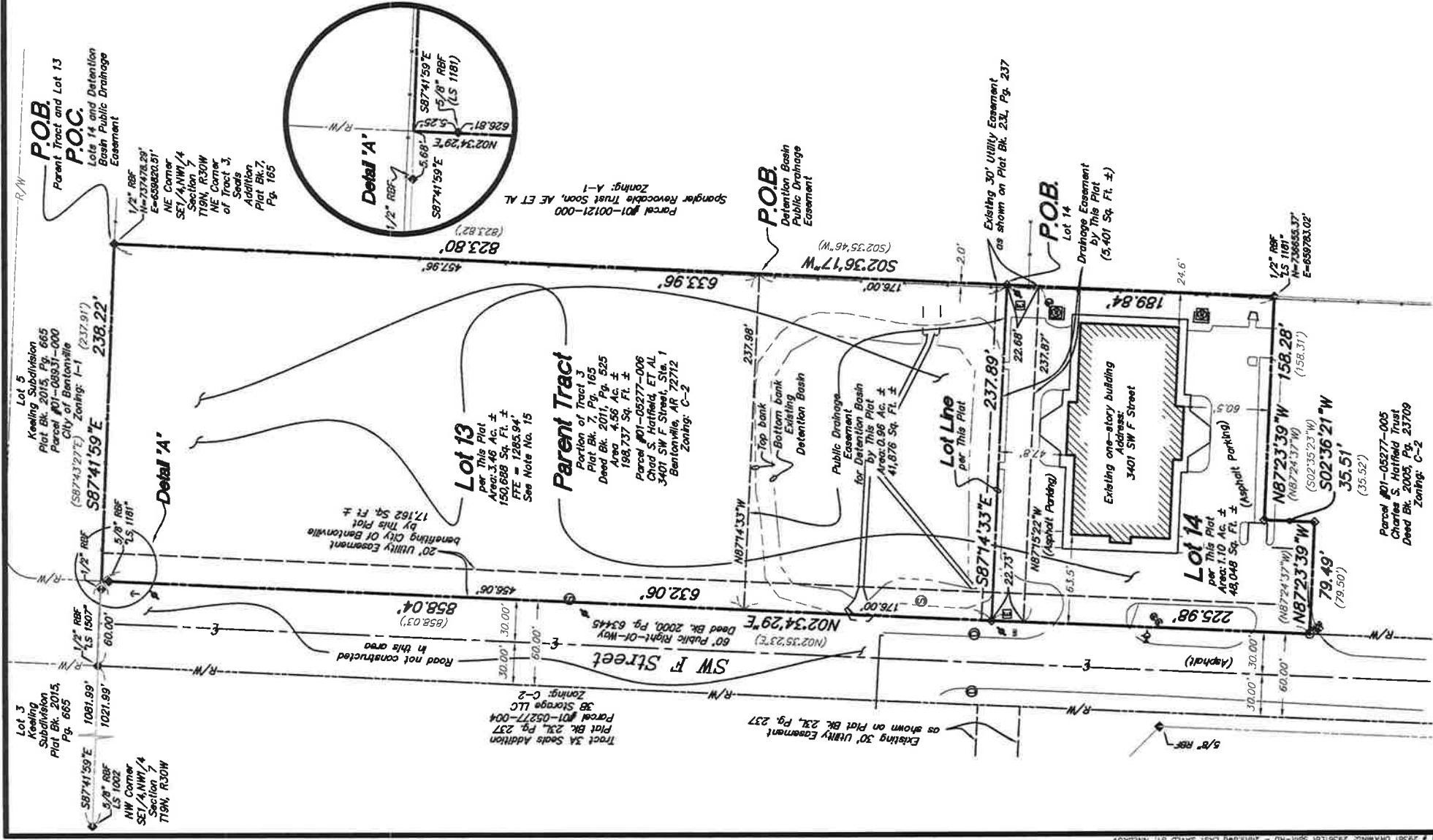
RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



**LOT SPLIT
SEALS ADDITION
NEW LOTS 13 & 14
15-05000051**





Convergence angle: -01°17'21"
Combined Scale Factor: 0.999965223
computed for a found 1/2 inch rebar
at the Northeast corner of Tract 3
being on the NW1/4 of Section 7,
SE1/4, SE1/4,
Section 7, T19N, R30W
N=73°47'20.20"
E=65°02'03.31"
B=1295.61'

Legend

- Property Line
- Right-of-way
- Centerline
- Easement
- Adjacent Property
- Barbed Fence
- Top Bank Existing Pond
- Bottom Bank Existing Pond
- Existing Building
- Found Rebar (As Noted)
- Set 5/8" Rebar with cap 1S 1759"
- Set Mag Nail with washer 1S 1759"
- Sewer Manhole
- Drainage Manhole
- Fire Hydrant
- Water Meter
- Water Valve
- Gas Meter
- Electric Meter
- Guy Wire
- Pod Mount AC Unit
- Electrical Riser
- Utility Pole
- Mailbox
- Sign
- Record call per Deed Bk. 2011, Pg. 525
- Finish Floor Elevation

Lot Split Sheet / Survey Descriptions

Sheet 2

Atlas Page 485

State Plat Code: 500-19N-30W-0-07-420-04-1759

Scale: 1" = 60'	1/18/16	NRN	DRW	FLD	CHK'R
	DATE	PLS	NRN	CSS	NKN
Chad S. Hatfield Revocable Trust					
Engineering Associates, Inc.					
ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3108 SW Regency Parkway, Suite 2 Bentonville, AR 72712					
(479)273-9472 (479)273-0844					
DATE 1/18/16					
SHEET NO. 6-42 PM					
2 of 2					
Lot Split Seeds Addition					
Arkansas					
Bentonville					
Rev-O					



Expires 12/2016



CEI Engineering Associates, Inc.

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2
Bentonville, AR 72712
(479) 273-9472 Fax (479) 273-0844
www.ceieng.com

1/19/16

City of Bentonville Planning Commission
305 SW A Street
Bentonville, AR 72712
(479) 271-3122

**Re: Lot Split of a Portion of Tract 3, Seals Addition – Waiver Request
SW F St.
Bentonville, Arkansas**

To Bentonville Planning Commission:

This is a formal request for a waiver of *Section 5.4.11* of the ***Stormwater Management and Drainage Manual***, which reads:

“All detention and retention facilities within a subdivision shall be shown on the final plat as an individual lot and said lot shall be a drainage easement to allow for inspection and maintenance of outfall structure by the City. Access to the detention facility shall be provided by a minimum 20’ wide unobstructed drainage/access easement between public street and facility when the facility and associated easement is not located adjacent to a public right-of-way.

A detention facility located on an individual commercial development does not require a drainage easement unless the detention is shared or located off-site. In this case, the detention facility shall be enclosed within a drainage easement along with necessary access easement.”

We are requesting a waiver of this requirement as the property owner wishes to keep the detention pond area included in the lot to its North (Proposed lot 13). There is concern in that creation of a separate lot including only the detention area will result in loss of value for the property owner as it would likely be unsellable. Rather, we propose keeping the area incorporated in Lot 13 with the creation of a Public Drainage Easement encompassing the detention basin.

We appreciate your consideration in this matter, and if you have questions or concerns, please do not hesitate to call.

Respectfully submitted,

Nikolay K. Nedkov
Survey Asst. Project Manager
CEI Engineering Associates, Inc.

Providing Consolidated Land Development Services

CALIFORNIA ■ TEXAS ■ ARKANSAS ■ LOUISIANA ■ MINNESOTA ■ GEORGIA ■ PENNSYLVANIA

Planning Commission Staff Report

Waiver Request: Design Standards - Sidewalks

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: February 2, 2016

GENERAL INFORMATION:

Building Permit Number:

Applicant: Jeremy Felton

Representative: Jeremy Felton

Requested Action: Design Standards, Sidewalk Waiver Request

Location: 5036 Southwest Shell Road

Existing Zoning: A-1, Agricultural

Land Use Plan: Low Density Residential

BACKGROUND:

The applicant has submitted a waiver to the sidewalk section of the Design Standards within the City of Bentonville subdivision regulations. Section 11.6 states all new residential construction must construct a sidewalk when abutting a public street and shall construct the sidewalk per the street standards. This section of Southwest Shell Road is unimproved along the north side therefore any future improvements to this collector street will occur along the north side and would potentially require the reconstruction of any sidewalks installed previously. A concrete driveway approach will be required within the right-of-way and to extend 20 feet into the property at time of home construction.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL** of the sidewalk waiver.

Jeremy Felton

5036 SW Shell Road, Bentonville, AR 72712 | jdfelton@cox.net

January 12, 2016

TO: City of Bentonville Planning Commission

RE: Sidewalk Waiver

Dear Planning Commission:

My wife and I reside at 5036 SW Shell Road and anticipate building a new home on our property this year. We are requesting a sidewalk waiver based on the below issues.

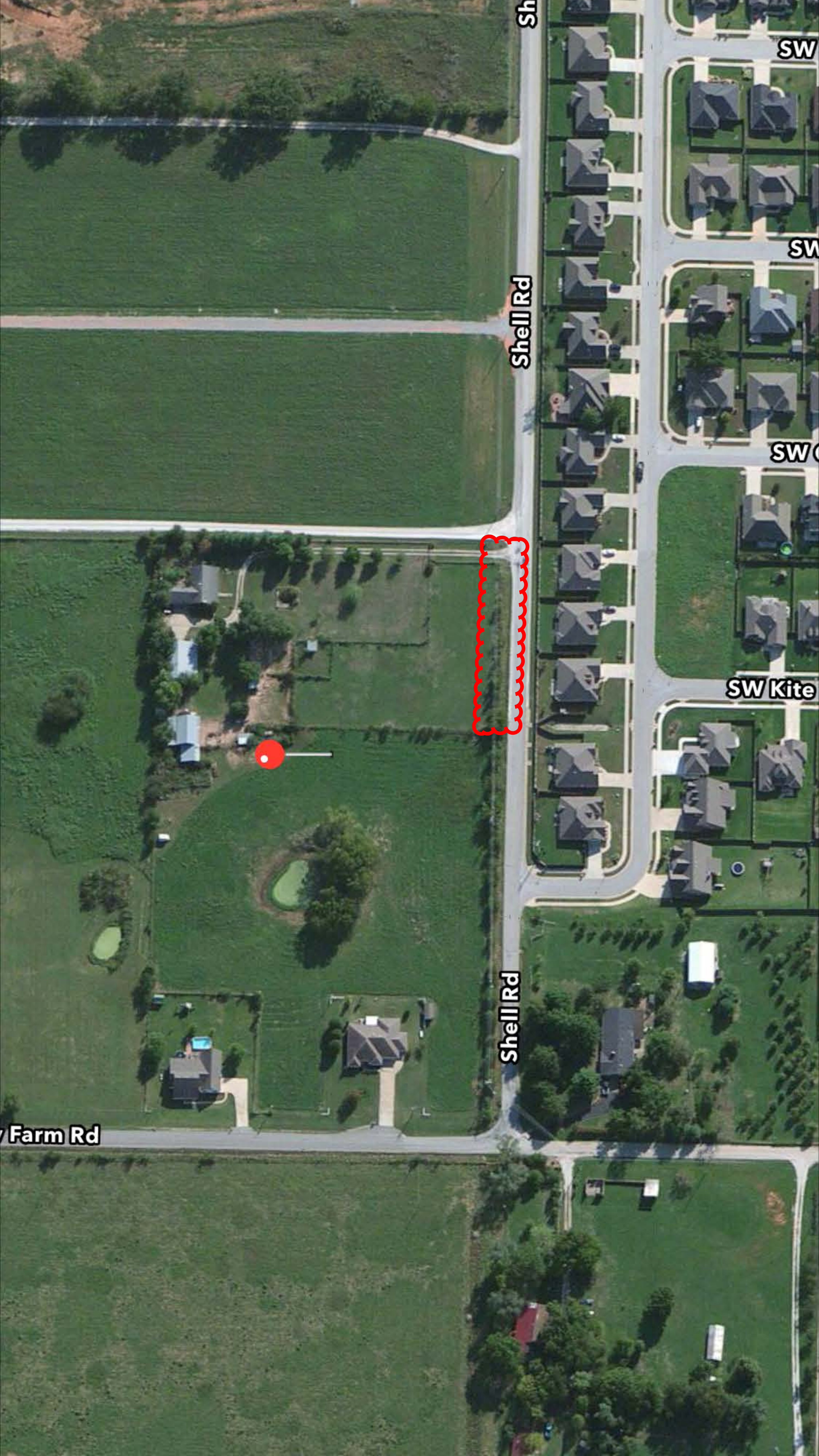
1. The property is 5.4 acres and is currently zoned as A-1.
2. The north side of the road is currently unimproved, without any drainage systems. Any improvements would occur on the north side of the road as the south side, Eagle Creek Subdivision, is already improved. Any improvements that occur would likely cause the sidewalk to be removed and would be a waste of money.
3. The closest sidewalk on the north side of Shell road is over half a mile to the east of our property. There would be a lack of connectivity with any existing sidewalk.
4. The property located to the east of ours is in the City limits of Centerton and is also zoned A-1.
5. There is minimal traffic and pedestrian use of Shell Road as it is still a rural location.

Additionally I have attached several photographs of the property for review. Should you have any questions, please feel free to contact me.

Thanks for your consideration.

Sincerely,

Jeremy Felton



Sh

SW

SW

SW C

SW Kite

Shell Rd

Shell Rd

/ Farm Rd





Planning Commission Staff Report

Ordinance: Design Standards for the Bentonville Municipal Airport

TO: Bentonville Planning Commission Members
THRU: Ben Peter, PE, City Engineer
FROM: Ben Peter, PE, City Engineer
PC DATE: February 2, 2016

Background: Historically, hangar development at Bentonville Municipal Airport has required many variances of the City of Bentonville Commercial Design standards. Members of the Planning Commission have requested that considerations be given to creating Design Standards exclusively for Hangar Development at the airport that would be in keeping with the spirit of the Commercial Design Standards but that would be focused on the particular needs and conditions at the airport. The Bentonville Airport Advisory Board has put together a proposed set of Design Standards that it believes balances the desire for quality development with the needs of airport tenants.

Issues: Current Commercial Design Standards were written with a business oriented building scenario with public interaction. Airport hangars are unique and are somewhat disconnected from the public with barriers to entry and controlled access points. The structures although on public land are private in nature and primarily exist to protect aviation investments from the elements.

Purpose: The purpose of the Airport Design Standards is to create standards that are appropriate to the location and use of the buildings, while blending them into the streetscape.

Proposal: The attached document is a set of standards for development of hangars at Bentonville Municipal Airport. The primary changes from the current Commercial Design Standards are as follows:

Building facades fronting SW I street are limited to no more than 25% metal panel, must utilize a color or architectural element from neighboring buildings. Exterior colors will be limited to one of four preapproved earth tone color palettes. Each color palette will contain three colors that are complementary and commonly used together.

Building facades fronting the runway and or SW Aviation Street are limited to no more than 80% metal panels.

Interior buildings facades that face neither the runway nor a public street may be 100% metal panel.

Synthetic Stucco if used on any façade is limited to 10% of the wall area and may not be used below a threshold of 4' above ground elevation.

Parking is not required but may be constructed and included in the leased area at the builders discretion

Landscaping and Barrier to Entry will be assessed to each development based on building length. A landscaping and fencing fund will be established in the airport budget to hold the funds until it is reasonable to install such amenities

Building shapes, rooflines and structural materials are also limited to support uniformity, compatibility and utilize space efficiently

ORDINANCE NO. _____

**AN ORDINANCE AMENDING CHAPTER 15, SUBDIVISION CODE TO ESTABLISH
DESIGN STANDARDS FOR THE BENTONVILLE MUNICIPAL AIRPORT**

WHEREAS, the City of Bentonville owns and maintains the Bentonville Municipal Airport, Louise M. Thaden Field; and,

WHEREAS, the City of Bentonville desires to improve the quality and compatibility of municipal airport development and to enhance airport safety;

**NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE
CITY OF BENTONVILLE, ARKANSAS:**

Section 1: That the Bentonville Municipal Code, Chapter 15, Subdivision Code, Article 1100 Design Standards, Sec. 1100.13 (C) Exemptions, should be and the same is hereby amended by adding the following:

“Development that is subject to the design standards for the Bentonville Municipal Airport, which have specific site and architectural design standards.”

Section 2: That the Bentonville Municipal Code, Chapter 15, Subdivision Code, Article 1400 Landscaping, Screening and Buffering, Sec. 1400.3 Exemptions, should be and the same is hereby amended by adding the following:

***D. Municipal Airport.** Development subject to the design standards for the Bentonville Municipal Airport, which have specific landscape design standards, shall be exempt.*

Section 3: That the Bentonville Municipal Code, Chapter 15, Subdivision Code, Article 1100 Design Standards should be and the same is hereby amended with the following “Attachment A”, an electronic copy and a paper copy of which are on file with the City Clerk, and which is hereby adopted by reference as though it were copied herein fully.

Section 4: This Ordinance shall be in full force and effect 30 days from the date of its passage and approval.

PASSED and APPROVED this _____ day of _____, 2016.

APPROVED:

Mayor Bob McCaslin

ATTEST:

City Clerk

ATTACHMENT A
DESIGN STANDARDS FOR THE BENTONVILLE MUNICIPAL AIRPORT

SEC. 1100. 17 DESIGN STANDARDS FOR THE BENTONVILLE MUNICIPAL AIRPORT

- A. Purpose and Intent.** The design standards in this section are intended to implement the city's vision for development on the property of the Bentonville Municipal Airport - Louise M. Thaden Field. The intent of these standards is to improve the overall quality and compatibility of municipal airport development and to enhance airport safety with these guiding principles:
- a. Development and land use must have a strong emphasis on aviation related activities;
 - b. Development and design must emphasize safe movement of aircraft for hangar ingress and egress;
 - c. Development should be located to achieve maximum efficiency of land utilization; and
 - d. Structures and buildings should be clustered with a common appearance using compatible and complimentary design principles.
- B. Applicability.** The provisions of this section shall apply to all large scale developments proposed within the property limits of the Bentonville Municipal Airport – Louis M. Thaden Field.
- C. Exemptions.** These regulations are not applicable to:
- a. Interior construction that does not affect the exterior appearance of buildings; and,
 - b. Exterior repairs or replacements that do not change the original appearance or material of the building.
- D. Review Process.** All applicants must have a pre-application conference with the Airport Advisory Board. Applicants must provide preliminary drawings and concepts sufficient for informal review and discussion. Following the pre-application conference, the applicant may submit an application for Large Scale Developments to the Planning Department and the Airport Advisory Board. The standards in this section shall be applied in the normal review process for large scale developments and shall be approved by the Planning Commission and the Airport Advisory Board.
- E. Building Design.**
- 1. Compatibility.** All airport buildings and structures shall be designed in a manner compatible with the materials, color, scale, size, proportion, and massing of other structures in the surrounding vicinity. Buildings and structures that directly face SW I Street must provide at least one common element of color or material among all other structures that face SW I Street.
 - 2. Building Frame.** The frame of the building or structure must be steel, and must meet current Building Code and the minimum standards of the Arkansas State Department of Aeronautics, whichever is more restrictive.
 - 3. Building Heights.** All buildings and structures shall comply with the maximum height regulation(s) established by FAA standards for regulating airspace in the vicinity of runways and the City of Bentonville zoning regulations for the Municipal Airport District.

4. **Roofs.** Roof pitch of individual or multi-unit hangar buildings shall be a minimum of 2:12 slope (rise/run) up to a maximum of 4:12 slope. Roof shape must be either gable, round, shed or Quonset. The Planning Commission may consider any request to vary a roof pitch from these standards.
 5. **Building Size and Shape.** All hangars shall be a minimum of 2,500 square feet per unit. All building and structure footprints must be square or rectangular for maximum space efficiency. All buildings and structures must have vertical walls. Buildings and structures must be consistent in size to preserve sight lines of the airfield from SW "I" street.
 6. **Doors.** Doors must be metal and produced by an aviation door manufacturer. Overhead doors are prohibited in facades fronting SW "I" street.
 7. **Exterior Materials.** The front, rear, and sides of all buildings and structures shall be constructed with materials approved by the City of Bentonville. Builders are encouraged to use sustainable materials, when possible.
 - a. *Generally:* With the exception of facades facing SW I Street and SW Aviation Street, which are subject to specific requirements in this section, materials may include metal, masonry, aluminum, glass, concrete, hardiboard, translucent panels, synthetic stucco, and steel or a combination thereof. Building glazing shall not cause glare or reflectors that will interfere with airport operations or ground circulation. If synthetic stucco is used on any side of the building, the maximum allowable coverage for that side is 10% and cannot be used below four (4) feet above base of the building or structure. Metal exterior siding must be a minimum of 26 gauge.
 - b. *Facades fronting SW I Street:* Use of a metal material on the façade facing SW I Street may not exceed 25% of the of the wall area facing SW I Street.
 - c. *Facades facing SW Aviation Street:* Use of a metal material on the façade facing SW Aviation Street may not exceed 80% of the wall area facing SW Aviation Street.
 - d. *Compatibility.* The architectural design and style of a building shall be carried throughout the building and shall match on all sides of the building.
 8. **Exterior Colors.** Exterior colors shall utilize primarily muted, neutral, or earth tone colors. Builders must choose from a set of four (4) pre-approved color palettes, which will be made available to all prospective builders. The selected color palette shall be provided with all plan submittals.
 9. **Floors.** All hangar floors must be constructed with finished concrete that is impermeable to water seepage.
 10. **Insulation.** For all fully enclosed T and Box hangars, interior insulation is required, including hangar doors when applicable.
- F. Utility and Mechanical Equipment Screening.** All exterior mechanical equipment must be screened from view from SW I Street.
- G. Site Planning**
- a. **Setbacks.** The Owner will determine setback distances for construction based on FAA regulations, airport layout plan and other airport regulations that may be enacted from time to time. No part or portion of any building shall be erected, constructed, or extended into any setback area. No

building construction equipment or materials shall be staged, placed, or operated in a manner that impedes the movement of aircraft along taxi lanes or taxiways.

- b. Parking.** Parking spaces may be constructed at Builder's discretion and must be included in the leased ground area.. Parking spaces shall not be placed on the active side of hangar where aircraft movement could be compromised. Parking areas must be developed with a dust proof/all-weather surface.
- c. Landscaping.** Builders will be responsible for the planting trees or contributing to a common landscape fund to be used in further development, based on these standards:

 - a. If building is adjacent to SW I Street, no trees or fees are required.
 - b. If building is not adjacent to SW I Street, trees or equivalent fees are required at 1 tree per 15 feet of building length, measured north/south. Each tree shall be valued at \$350.00.
- d. Barriers to entry.** A "barrier to entry" shall be constructed with each project to provide separation between aircraft movement areas and other areas of airport property. Barriers will be designed on a case by case basis. A fee in lieu of the barrier may be approved for special circumstances in which constructing the barrier is not practical during the building project.