



**Planning Commission
Agenda
February 16, 2016**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**
 - 1. Pharm Townhomes** **Large Scale Development**
401, 405, 407 411, 4132 & 417 Southwest 'B' Street
 - 2. 301 South Main** **Large Scale Development**
301 South Main Street
- IV. New Business**
 - 1. Lots 1 Burris Subdivision** **Lot Split**
820Tiger Boulevard
 - 2. Burris Architecture Office** **Large Scale Development**
820 Tiger Boulevard
 - 3. Lot 2 Bella Heights Subdivision** **Large Scale Development**
805 Southwest 12th Street
- V. Other Business**
 - a. February 18th - Small Area Visioning Workshop @ 6:00pm, Bentonville Public Library**
 - b. February 19th – Planning Commissioner Training Workshop @ 8:30am, Arvest Community Room**
- VI. Planner's Report**
- VII. Adjournment**

Planning Commission
Minutes
February 2, 2016

Present: Joe Haynie, Greg Matteri, Scott Eccleston, Debi Havner, Jim Grider, Rod Sanders and Richard Binn.
City Staff Beau Thompson and Jon Stanley

Motion by Grider, seconded by Haynie to approve the minutes of January 19, 2016 as written.
Approved 7-0

New Business:

Item #1

Rezoning: (15-09000044) Ronald L. Blackwell, Southeast "C" Street & Southeast 28th Street, Rezoning Request from A-1, Agricultural to R-4, High Density.

Opened public hearing

Hugh Jarratt representative present for questions.

No public comment

Approved 7-0

Item #2

Conditional Use (15-02000018) Centro Crisiano De Fe Bentonville, Inc., Southwest 14th Street, Zoned A-1, Agricultural,

Proposed Use-Religious Facility.

The applicant has submitted a Conditional Use permit for a religious facility in an A-1, Agricultural zoning district for property situated along Southwest 14th Street. The applicant is proposing a 216 seat sanctuary. Hours of operation will be 8:00 am to 5:00 pm Monday through Friday and evening services on Wednesdays and Sundays. Both indoor and outdoor activities will be held at this location. Fifty-nine parking spaces will be provided. The facility will have three employees.

Opened public hearing

No public comment

Approved 7-0

Item #3

Lot Split: (15-05000051) Chad S. Hatfield Revocable Trust, 3401 Southwest 'F' Street, Zoned C-2.

The applicant has submitted a lot split for property that fronts Southwest 'F' Street to the west. The plat as provided by the applicant shows the creation of two new lots from a portion of existing Tract 3. The new lots will be known as Lot 13 (3.46 acres) and Lot 14 (1.10 acres), of Seals Addition. A 20' utility easement is being dedicated along Southwest 'F' Street and a drainage easement is also being dedicated to allow access to an existing detention pond that resides on the proposed lot 13. Water and sewer services are available to both lots.

- o The applicants have requested a waiver request The applicant is requesting a waiver to Article 1100, Design Standards, Section 1100.7, Grading & Drainage, Subsection 'A' Stormwater Drainage Control Standards. Ordinance states that "All grading and drainage shall be designed and developed in conformance with the requirements of the City's current adopted Stormwater Drainage Control Standards. The current Stormwater

Drainage Manual states in Section 5.4.11 that “ All detention and retention facilities within a subdivision shall be shown on the final plat as an individual lot and said lot shall be a drainage easement to allow for inspection and maintenance of outfall structure by the City. The applicant request to keep the existing detention pond area included as a part of proposed Lot 13 stating that separating the detention pond out into a separate lot will result in a loss of value for the property owner and rendering the proposed new lot unsellable.

Motion by Havner, seconded by Grider to approve the waiver request
Approved 7-0

Motion to approve the lot split of Lot 13 & 14, Seals Addition.
Approved 7-0

Item #4

Waiver Request: Design Standards-Sidewalks: Jeremy Felton, 5063 Southwest Shell Road, Zoned A-1
The applicant has submitted a waiver to the sidewalk section of the Design Standards within the City of Bentonville subdivision regulations. Section 11.6 states all new residential construction must construct a sidewalk when abutting a public street and shall construct the sidewalk per the street standards. This section of Southwest Shell Road is unimproved along the north side therefore any future improvements to this collector street will occur along the north side and would potentially require the reconstruction of any sidewalks installed previously. A concrete driveway approach will be required within the right-of-way and to extend 20 feet into the property at time of home construction.
Motion by Matteri, seconded by Grider approve the waiver request
Approved 7-0

Item #5

Ordinance: Design Standards for Bentonville Municipal Airport
Ben Peters, City Engineer Presented Ordinance
Opened public hearing
No public comment
Approved 7-0

ORDINANCE NO. _____

**AN ORDINANCE AMENDING CHAPTER 15, SUBDIVISION CODE TO ESTABLISH
DESIGN STANDARDS FOR THE BENTONVILLE MUNICIPAL AIRPORT**

WHEREAS, the City of Bentonville owns and maintains the Bentonville Municipal Airport, Louise M. Thaden Field; and,

WHEREAS, the City of Bentonville desires to improve the quality and compatibility of municipal airport development and to enhance airport safety;

**NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE
CITY OF BENTONVILLE, ARKANSAS:**

Section 1: That the Bentonville Municipal Code, Chapter 15, Subdivision Code, Article 1100 Design Standards, Sec. 1100.13 (C) Exemptions, should be and the same is hereby amended by adding the following:

“Development that is subject to the design standards for the Bentonville Municipal Airport, which have specific site and architectural design standards.”

Section 2: That the Bentonville Municipal Code, Chapter 15, Subdivision Code, Article 1400 Landscaping, Screening and Buffering, Sec. 1400.3 Exemptions, should be and the same is hereby amended by adding the following:

***D. Municipal Airport.** Development subject to the design standards for the Bentonville Municipal Airport, which have specific landscape design standards, shall be exempt.*

Section 3: That the Bentonville Municipal Code, Chapter 15, Subdivision Code, Article 1100 Design Standards should be and the same is hereby amended with the following “Attachment A”, an electronic copy and a paper copy of which are on file with the City Clerk, and which is hereby adopted by reference as though it were copied herein fully.

Section 4: This Ordinance shall be in full force and effect 30 days from the date of its passage and approval.

PASSED and APPROVED this _____ day of _____, 2016.

APPROVED:

Mayor Bob McCaslin

ATTEST:

City Clerk

ATTACHMENT A
DESIGN STANDARDS FOR THE BENTONVILLE MUNICIPAL AIRPORT

SEC. 1100. 17DESIGN STANDARDS FOR THE BENTONVILLE MUNICIPAL AIRPORT

- A. Purpose and Intent.** The design standards in this section are intended to implement the city's vision for development on the property of the Bentonville Municipal Airport - Louise M. Thaden Field. The intent of these standards is to improve the overall quality and compatibility of municipal airport development and to enhance airport safety with these guiding principles:
- a. Development and land use must have a strong emphasis on aviation related activities;
 - b. Development and design must emphasize safe movement of aircraft for hangar ingress and egress;
 - c. Development should be located to achieve maximum efficiency of land utilization; and
 - d. Structures and buildings should be clustered with a common appearance using compatible and complimentary design principles.
- B. Applicability.** The provisions of this section shall apply to all large scale developments proposed within the property limits of the Bentonville Municipal Airport – Louis M. Thaden Field.
- C. Exemptions.** These regulations are not applicable to:
- a. Interior construction that does not affect the exterior appearance of buildings; and,
 - b. Exterior repairs or replacements that do not change the original appearance or material of the building.
- D. Review Process.** All applicants must have a pre-application conference with the Airport Advisory Board. Applicants must provide preliminary drawings and concepts sufficient for informal review and discussion. Following the pre-application conference, the applicant may submit an application for Large Scale Developments to the Planning Department and the Airport Advisory Board. The standards in this section shall be applied in the normal review process for large scale developments and shall be approved by the Planning Commission and the Airport Advisory Board.
- E. Building Design.**
- 1. Compatibility.** All airport buildings and structures shall be designed in a manner compatible with the materials, color, scale, size, proportion, and massing of other structures in the surrounding vicinity. Buildings and structures that directly face SW I Street must provide at least one common element of color or material among all other structures that face SW I Street.
 - 2. Building Frame.** The frame of the building or structure must be steel, and must meet current Building Code and the minimum standards of the Arkansas State Department of Aeronautics, whichever is more restrictive.
 - 3. Building Heights.** All buildings and structures shall comply with the maximum height regulation(s) established by FAA standards for regulating airspace in the vicinity of runways and the City of Bentonville zoning regulations for the Municipal Airport District.

4. **Roofs.** Roof pitch of individual or multi-unit hangar buildings shall be a minimum of 2:12 slope (rise/run) up to a maximum of 4:12 slope. Roof shape must be either gable, round, shed or Quonset. The Planning Commission may consider any request to vary a roof pitch from these standards.
 5. **Building Size and Shape.** All hangars shall be a minimum of 2,500 square feet per unit. All building and structure footprints must be square or rectangular for maximum space efficiency. All buildings and structures must have vertical walls. Buildings and structures must be consistent in size to preserve sight lines of the airfield from SW "I" street.
 6. **Doors.** Doors must be metal and produced by an aviation door manufacturer. Overhead doors are prohibited in facades fronting SW "I" street.
 7. **Exterior Materials.** The front, rear, and sides of all buildings and structures shall be constructed with materials approved by the City of Bentonville. Builders are encouraged to use sustainable materials, when possible.
 - a. *Generally:* With the exception of facades facing SW I Street and SW Aviation Street, which are subject to specific requirements in this section, materials may include metal, masonry, aluminum, glass, concrete, hardiboard, translucent panels, synthetic stucco, and steel or a combination thereof. Building glazing shall not cause glare or reflectors that will interfere with airport operations or ground circulation. If synthetic stucco is used on any side of the building, the maximum allowable coverage for that side is 10% and cannot be used below four (4) feet above base of the building or structure. Metal exterior siding must be a minimum of 26 gauge.
 - b. *Facades fronting SW I Street:* Use of a metal material on the façade facing SW I Street may not exceed 25% of the of the wall area facing SW I Street.
 - c. *Facades facing SW Aviation Street:* Use of a metal material on the façade facing SW Aviation Street may not exceed 80% of the wall area facing SW Aviation Street.
 - d. *Compatibility.* The architectural design and style of a building shall be carried throughout the building and shall match on all sides of the building.
 8. **Exterior Colors.** Exterior colors shall utilize primarily muted, neutral, or earth tone colors. Builders must choose from a set of four (4) pre-approved color palettes, which will be made available to all prospective builders. The selected color palette shall be provided with all plan submittals.
 9. **Floors.** All hangar floors must be constructed with finished concrete that is impermeable to water seepage.
 10. **Insulation.** For all fully enclosed T and Box hangars, interior insulation is required, including hangar doors when applicable.
- F. Utility and Mechanical Equipment Screening.** All exterior mechanical equipment must be screened from view from SW I Street.

G. Site Planning

- a. **Setbacks.** The Owner will determine setback distances for construction based on FAA regulations, airport layout plan and other airport regulations that may be enacted from time to time. No part or portion of any building shall be erected, constructed, or extended into any setback area. No

building construction equipment or materials shall be staged, placed, or operated in a manner that impedes the movement of aircraft along taxi lanes or taxiways.

- b. Parking.** Parking spaces may be constructed at Builder's discretion and must be included in the leased ground area.. Parking spaces shall not be placed on the active side of hangar where aircraft movement could be compromised. Parking areas must be developed with a dust proof/all-weather surface.
- c. Landscaping.** Builders will be responsible for the planting trees or contributing to a common landscape fund to be used in further development, based on these standards:
 - a. If building is adjacent to SW I Street, no trees or fees are required.
 - b. If building is not adjacent to SW I Street, trees or equivalent fees are required at 1 tree per 15 feet of building length, measured north/south. Each tree shall be valued at \$350.00.
- d. Barriers to entry.** A "barrier to entry" shall be constructed with each project to provide separation between aircraft movement areas and other areas of airport property. Barriers will be designed on a case by case basis. A fee in lieu of the barrier may be approved for special circumstances in which constructing the barrier is not practical during the building project.

Other Business

- February 18th-Small Area Visioning Workshop @6:00p.m. Bentonville Public Library
- February 19-Planning Commissioner Training Workshop

Meeting adjourned

Diane Shastid

Planning Commission Staff Report

Large Scale Development: Pharm Townhomes

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, City Planner
PC DATE: February 16, 2016

GENERAL INFORMATION:

Project Number: 15-06000032

Applicant: Newell Development

Representative: Evan Niehues (Bates & Associates, Inc.)

Requested Action: Large Scale Development Approval

Location: 401, 405, 407, 411, 413 & 417

Existing Zoning: D-E, Downtown Edge

Land Use Plan: Mixed Use

BACKGROUND:

The applicant has submitted a Large Scale Development for 6 Townhomes located at the intersection of Southwest 4th Street and Southwest 'B' Street. Each of the units will be two stories and approximately 1,500 square feet. 12 total parking spaces are being provided, 6 on-street spaces and 6 off-street spaces including the garages. An 8' wide sidewalk with street trees will be constructed along both street frontages. Underground stormwater detention is being installed. Each unit will have rear access from Southwest 4th Street thru a private driveway. The exterior materials of the townhomes will consist of brick veneer, lap fiber cement siding, vinyl dentil molding, vinyl windows and wooden trim.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front Non-Residential:	0' max	-
Front Residential:	20' max	1' West & 0' North
Side:	6' min	7' South
Rear: Adjacent to non-residential zones.	6' min	2' North
Rear: Adjacent to residential zones and building height < 20'.	8' min	-
Rear: Adjacent to residential zones and building height > 20'.	12' min.	21' East
Max Height	80'	29'
Landscape Coverage	1 per tree 25 liner feet	8' sidewalk with 6 trees
Parking		
Standard Stalls	6	12
ADA Stalls	0	0
Total:	6	12

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	R-1, Single Family Residential	Mixed Use
South	R-1, Single Family Residential	Mixed Use
East	R-O, Residential Office	Mixed Use
West	R-1, Single Family Residential	Downtown Mixed Use Residential

STREETS

Direction	Name	Classification
North	Southwest 4 th Street	Local
South	-	
East	-	
West	Southwest 'B' Street	Local

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows: N/A

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently vacant in a rapidly developing area in the southwest part of downtown.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

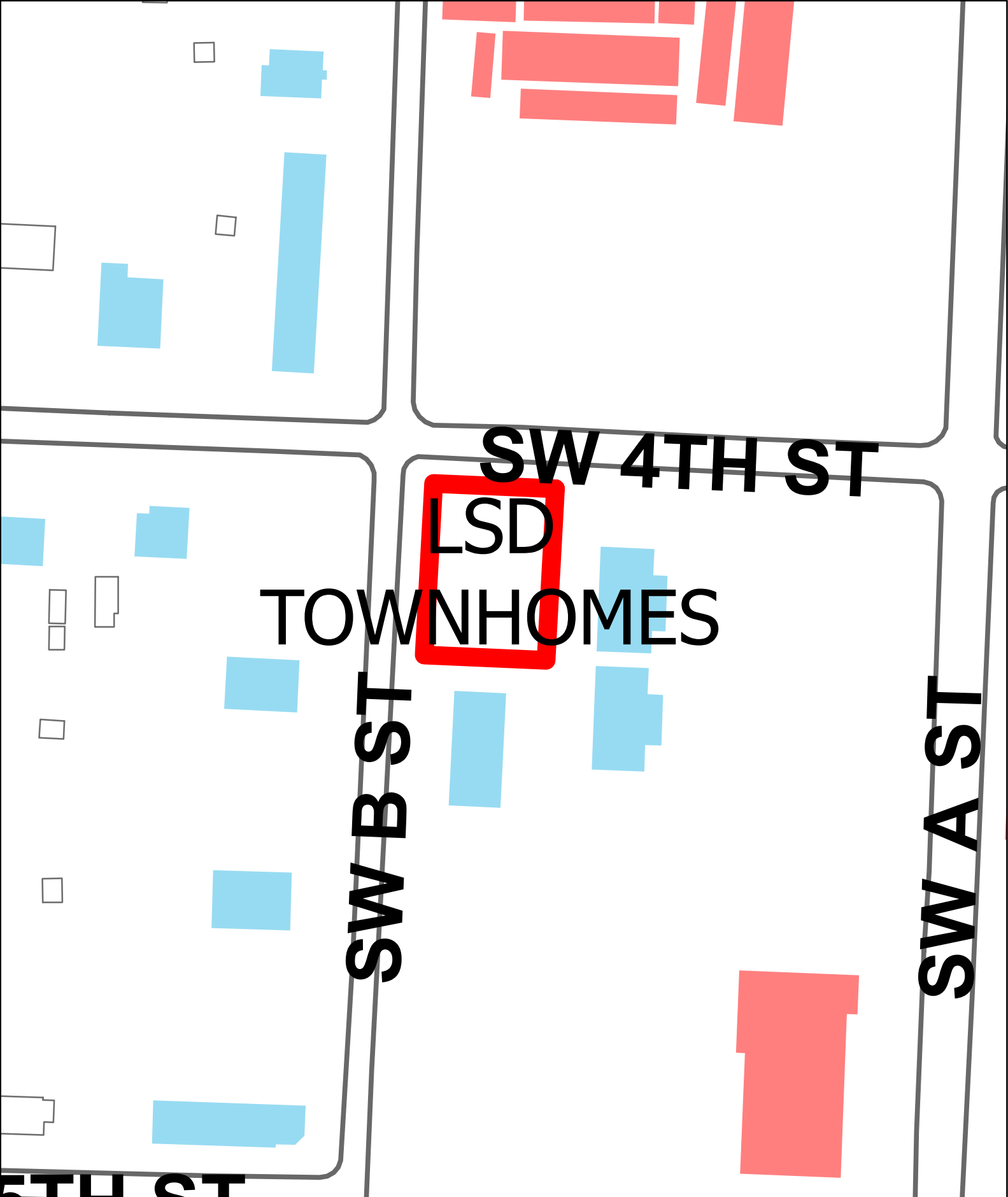
Water / Sewer: Per the G.I.S. site, water and sewer **ARE** available to this site.

Waiver(s): N/A

Analysis / Conclusion: This large scale development **DOES** meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



1 inch = 75 feet

**LARGE SCALE DEVELOPMENT
PHARM TOWNHOMES-
HOLLANDS SUBDIVISION
15-06000032**



PHARM TOWNHOMES
LARGE SCALE DEVELOPMENT PLANS
SITE SHEET
BENTONVILLE, ARKANSAS

ADJOINING PROPERTY OWNERS:

1. SW A BUILDING LLC
208 SW 4TH
206 SW 4TH
2. SUGLAR FAMILY TRUST
BOBBY E & SHIRLI A
203 A & B SW 4TH
3. MSB HOLDINGS LLC
403 SW B ST.
4. RUSH 2014 REVOCABLE TRUST, REEDA M
406 SW B
5. HAGGARD, MYRA L
301 SW 4TH
6. PBR HOLDINGS LLC
310 SW B ST.

HYDRANT DATA:
HYDRANT 0511: RESIDUAL = 70
SW "B" & 4TH STATIC = 76
GPM = 1088

NOTE: THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPEARANCES. ALL UTILITY LINES APPEARING ON THIS PLAT, AS WELL AS THOSE THAT MAY EXIST UNDERGROUND NEED TO BE VERIFIED PRIOR TO DOING ANY TYPE OF EXCAVATION. SOME UTILITY LINES MAY ALSO EXIST THAT WERE NOT SHOWN ON THIS PLAT.

SITE AND UTILITY NOTES:

1. ALL OUTDOOR LIGHTING SHALL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL FOR COMPLIANCE WITH THE OUTDOOR LIGHTING ORDINANCE.
2. ALL MECHANICAL AND UTILITY EQUIPMENT LOCATED ON THE WALL OR GROUND SHALL BE SCREENED. ALL ROOF MOUNTED UTILITIES AND MECHANICAL EQUIPMENT SHALL BE SCREENED BY INCORPORATING SCREENING INTO THE STRUCTURE UTILIZING MATERIALS COMPATIBLE WITH THE SUPPORTING BUILDINGS. MECHANICAL AND UTILITY EQUIPMENT OVER 30 INCHES IN HEIGHT SHALL MEET BUILDING SETBACKS. SMALLER GROUND MOUNTED EQUIPMENT MAY BE SCREENED WITH TALL GRASSES OR SHRUBS.
3. ALL EXISTING UTILITIES BELOW 12KV SHALL BE RELOCATED UNDERGROUND. ALL INSTALL UTILITIES SHALL BE LOCATED UNDERGROUND.
4. ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.
5. DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPERS EXPENSE.
6. TREES MUST BE LOCATED 5' FROM PUBLIC UTILITIES.
7. WATER AND SEWER SERVICE WILL BE FROM EXISTING BUILDING.

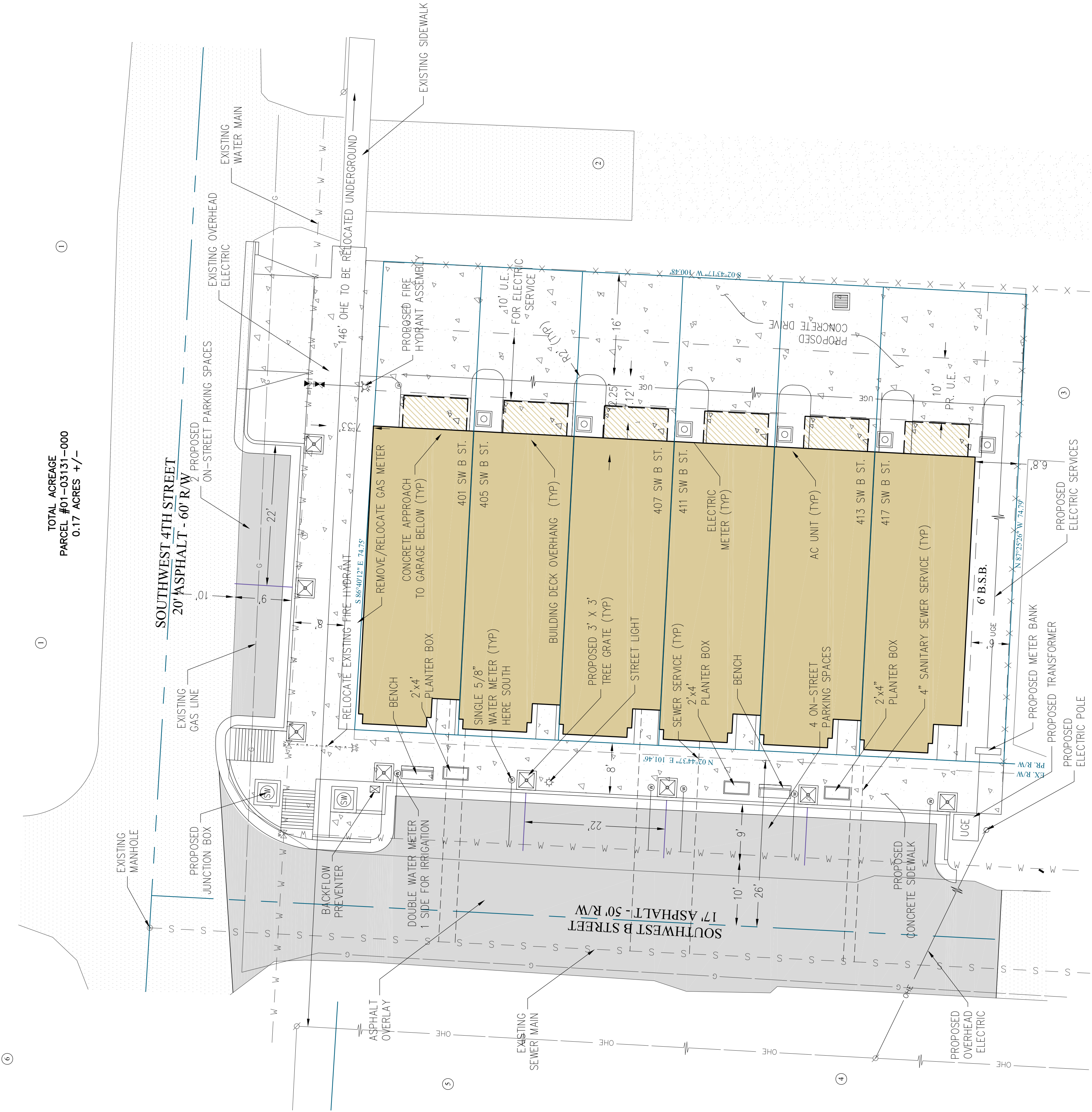
ELECTRIC DEPARTMENT NOTES:

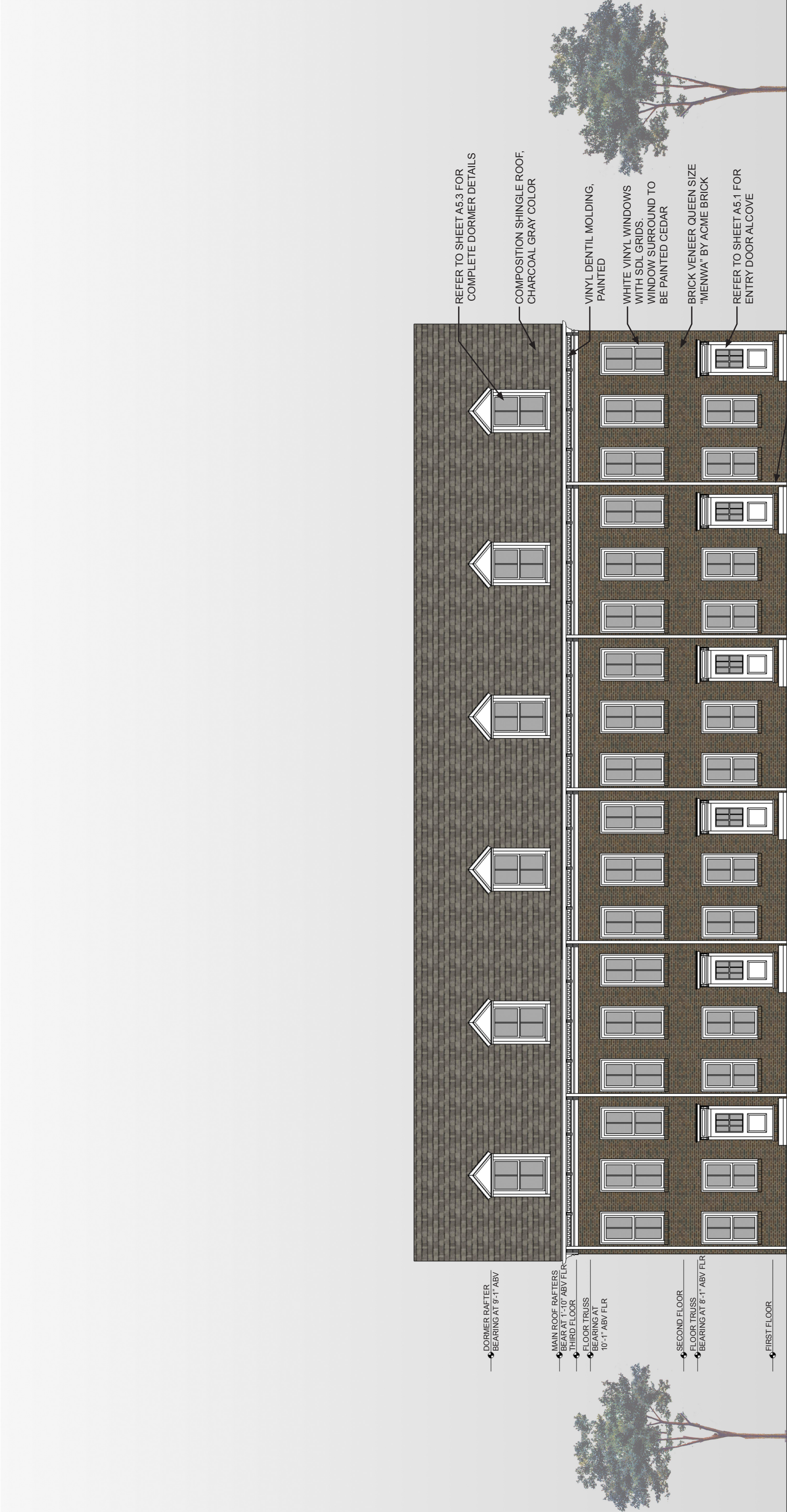
1. SPECIFIC METERING REQUIREMENTS FOR PRELIMINARY PLAT ARE OUTLINED IN SECTION 11 OF THE BENTONVILLE ELECTRIC UTILITY DEPARTMENTS' DEVELOPERS' GUIDELINES.
2. BENTONVILLE ELECTRIC UTILITY DEPARTMENT WILL DETERMINE THE LIGHTING REQUIREMENTS FOR THIS DEVELOPMENT. DEVELOPER IS REQUIRED TO PAY FOR DECORATIVE STREET LIGHTING BEFORE A PRECONSTRUCTION MEETING WILL BE SCHEDULED.
3. ANY LANDSCAPING MUST MAINTAIN PROPER DISTANCES AWAY FROM BURIED POWER LINE, ELECTRIC DEVICES, OR OVERHEAD LINES.
4. RELOCATION OF EXISTING ELECTRICAL FACILITIES SHALL BE AT THE OWNER'S EXPENSE.
5. BUILD LAYOUT DRAWING TAKES PRECEDENCE OVER ANY ELECTRIC INFORMATION SHOWN ON THE SITE & UTILITY PLAN. CONTRACTOR SHALL FOLLOW DESIGN ON BUILD'S DRAWING WHEN INSTALLING FACILITIES.

WATE DEPARTMENT NOTES:

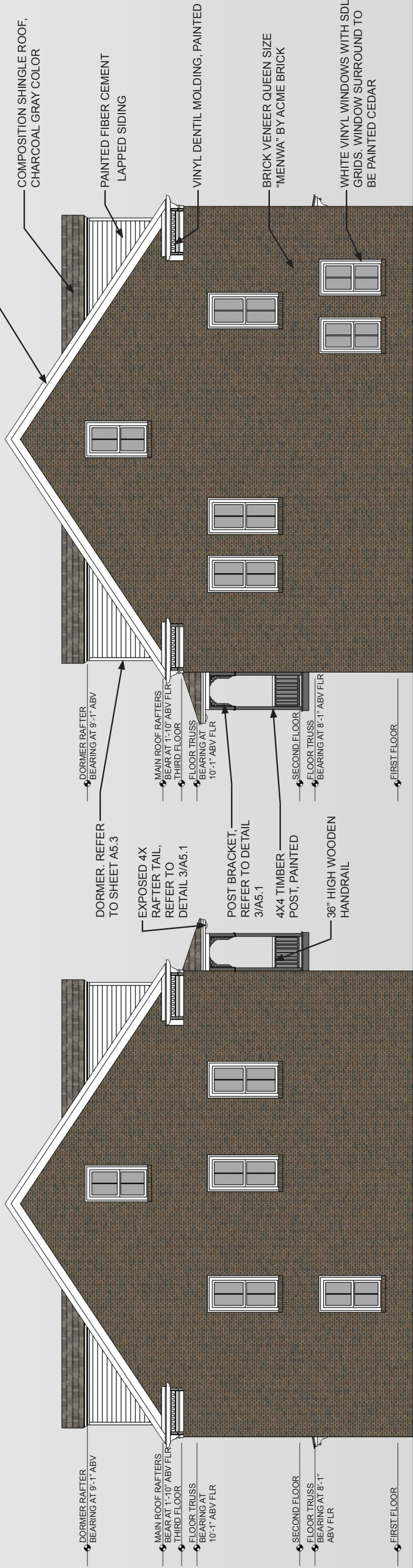
1. VERIFY DEPTH OF WATER MAIN ON 4TH ST. PRIOR TO FIRE HYDRANT INSTALLATION. THERE MAY BE A CONFLICT AND A DIFFERENT TAPPING METHOD WILL BE REQUIRED.
2. WATER SERVICES SHALL BE INSTALLED BY THE CITY OF BENTONVILLE AT THE OWNER/DEVELOPER'S EXPENSE.
3. IRRIGATION SYSTEM CONNECTION(S) SHALL BE PROTECTED BY AN RP TYPE BACKFLOW PREVENTER(S).

PROPOSED	EXISTING	LEGEND	DESCRIPTION
		ASPHALT (EDGE)	ASPHALT (SURFACE)
		BALLAND	BALLAND
		BUILDINGS SETBACK LINE	BUILDINGS SETBACK LINE
		CURBS & GUTTER	CURBS & GUTTER
		EASEMENT	EASEMENT
		ELECTRICAL (UNDERGROUND)	ELECTRICAL (UNDERGROUND)
		ELECTRICAL (OVERHEAD)	ELECTRICAL (OVERHEAD)
		ELECTRICAL TRANSFORMER	ELECTRICAL TRANSFORMER
		FENCE (WOOD)	FENCE (WOOD)
		FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION
		FIRE HYDRANT	FIRE HYDRANT
		GAS METER	GAS METER
		IRRIGATION CONTROL VALVE	IRRIGATION CONTROL VALVE
		POWER POLE	POWER POLE
		SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
		SANITARY SEWER PIPE	SANITARY SEWER PIPE
		SANITARY SEWER SERVICE	SANITARY SEWER SERVICE
		SEWALMS	SEWALMS
		AC UNIT	AC UNIT
		STORM SEWER PIPE	STORM SEWER PIPE
		TELEPHONE (JACKETED OR STICKY)	TELEPHONE (JACKETED OR STICKY)
		WATER PIPE	WATER PIPE
		WATER METER	WATER METER
		WATER VALVE	WATER VALVE

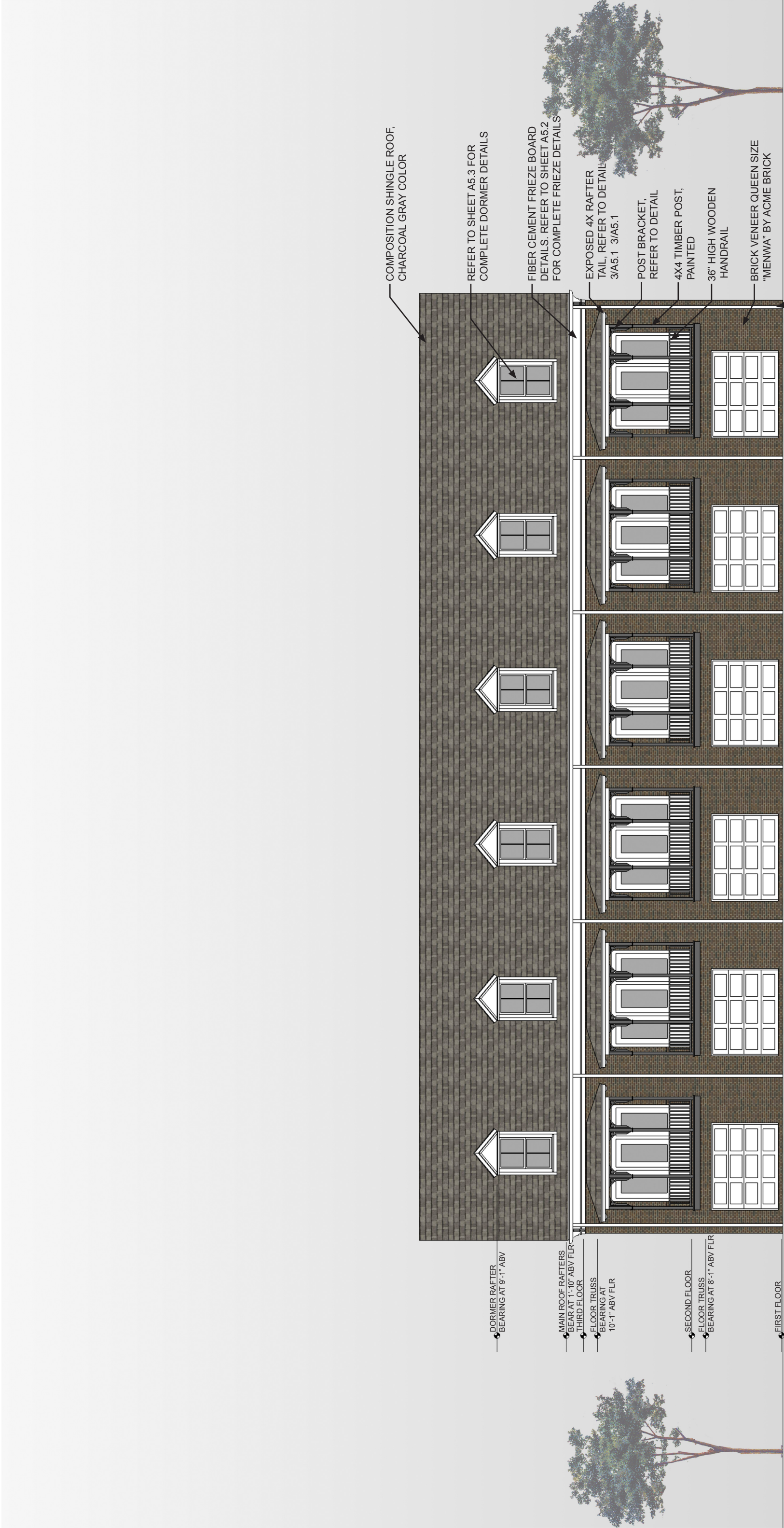




WEST ELEVATION - PHARM TOWNHOMES



SOUTH & NORTH ELEVATIONS - PHARM TOWNHOMES



EAST ELEVATION - PHARM TOWNHOMES

Planning Commission Staff Report

Large Scale Development: 301 South Main

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: February 16, 2016

GENERAL INFORMATION:

Project Number: 15-06000026

Applicant: Charles Chamber

Representative: 301 South Main LLC

Requested Action: Large Scale Development Approval

Location: 301 South Main Street

Existing Zoning: D-E, Downtown Edge

Land Use Plan: Mixed Use

BACKGROUND:

The applicant has submitted a Large Scale Development for 8 Mixed Units located at the intersection of South Main Street and Southeast 3rd Street. Each of the units will be two stories and will range in size from 1,970 to 1,985 square feet. Nineteen total parking spaces are being provided, 9 on-street spaces and 10 off-street spaces. Improvements will be made to the public alley to the south to allow ingress/egress to the off-street parking spaces. A 10' wide sidewalk with street trees and planters will be constructed along South Main Street and an 8' sidewalk with street trees will be constructed along Southeast 3rd Street. Underground stormwater detention is being installed. The exterior materials of the building will consist of stone veneer & EFIS.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front Non-Residential:	0' max	-
Front Residential:	20' max	25' East & 1.5' North
Side:	6' min	40' South
Rear: Adjacent to non-residential zones.	6' min	2' North
Rear: Adjacent to residential zones and building height < 20'.	8' min	12' East
Rear: Adjacent to residential zones and building height > 20'.	12' min.	-
Height	60' max.	40'
Landscape Coverage	0%	10%
Parking		
Standard Stalls	8	9 on street and 10 on site
Handicap Stalls	1	1
Total:	9	19

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	D-C, Downtown Core	Mixed Use
South	D-E, Downtown Edge	Mixed Use
East	D-E, Downtown Edge	Mixed Use
West	D-C, Downtown Core	Mixed Use

STREETS

Direction	Name	Classification
North	Southeast 3 rd Street	Collector
South	-	-
East	-	-
West	South Main Street	Collector

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows:

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently vacant in a downtown mixed use area.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

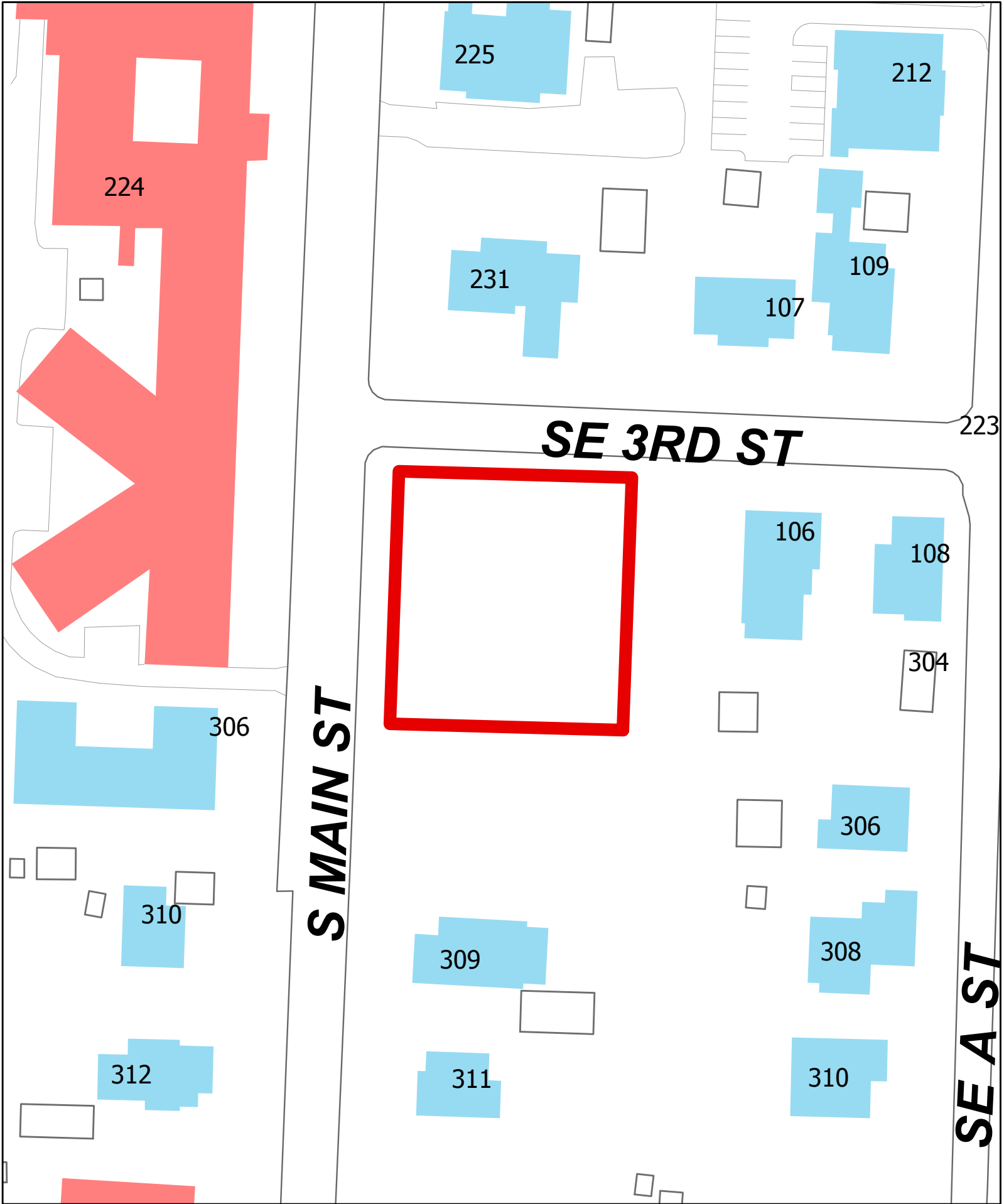
Water / Sewer: Per the G.I.S. site, water and sewer ARE available to this site.

Waiver(s): N/A

Analysis / Conclusion: This large scale development **DOES** meet the minimum requirements of the subdivision regulations.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



Plant Table

Broadleaf Evergreen Shrub

Quantity	Code Name	Scientific Name	Common Name	Planting Size
10	AZ-PE	Azalea Encore 'Autumn Amethyst'	Pink Encore Azalea	3-Gal
65	GVB	Buxus x 'Green Velvet'	Green Velvet Boxwood	3-Gal
33	OLL	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	3-Gal

Broadleaf Deciduous Shrub

Quantity	Code Name	Scientific Name	Common Name	Planting Size
7	ESI-hyd	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	3-Gal
36	PCM	Lagerstroemia indica 'Palominoke'	Dwarf Pink Crapemyrtle	3-Gal
3	SSV	Viburnum plicatum 'Summer Snowflake'	Summer Snowflake Viburnum	3-Gal

Rose

Quantity	Code Name	Scientific Name	Common Name	Planting Size
4	RKD	Rosa 'Radiko'	Double 'Knockout' Rose - Red	3-Gal

Broadleaf Deciduous Shade Tree

Quantity	Code Name	Scientific Name	Common Name	Planting Size
7	Gib	Ginkgo biloba	Maidenhair tree	2 1/2'-Cal
4	ABS	Amelanchier x 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2 1/2'-Cal

Broadleaf Deciduous Ornamental Tree

Quantity	Code Name	Scientific Name	Common Name	Planting Size
3	Glr	Gleditsia triacanthos 'nemris'	Thornless honeylocust	2 1/2'-Cal

- MAINTENANCE NOTES:**
- FERTILIZE ALL PERENNIAL & ANNUAL FLOWERS ONCE A MONTH THRU THE SUMMER SEASON. BE SURE TO INCLUDE THE TREE FORM BUDGEE. FERTILIZER SHOULD BE APPLIED TO THE SOIL SURROUNDING THE PLANT. SPRAYER FOR QUICK APPLICATION. NOTE: ONLY FERTILIZE THE AZALEAS ONCE - IMMEDIATELY AFTER BLOOMING.
 - TREAT THE AZALEAS W/ D-Y SYSTEM OR EQUIVALENT SYSTEMIC ANTSICIDE, YEARLY TO PREVENT LACE BUGS.
 - FERTILIZE EVERYTHING ONCE A YEAR. IN THE SPRING W/ A GRAMULAR SLOW RELEASE, SPECIALLY FORMULATED TREE & SHRUB FOOD. (DO NOT USE AGRICULTURAL FERTILIZERS)

LANDSCAPE NOTES:

- ALL PLANTS ARE TO BE OF EXCELLENT QUALITY, WELL BRANCHED, WITH NO SIGN OF DISEASE OR INJURY. PLANTS SHOULD BE OF THE MINIMUM SPECIFIED SIZE. PLANTS SHOULD BE PLANTED WITH PROPER SPACING AND DIRECTION.
- INSTALL 3/4" TO 1" OF TOPRESS MULCH MAIL BED AREAS. BEFORE APPLYING THE MULCH, TREAT W/ A PRE-EMERGENT WEED CONTROL.
- INSTALL AZALEAS AND PERENNIAL BEDS. MAX ONE 4' X 6' BALE OF PEAT MOSS PER 50 S.F. OF BED AREA.
- USE 1/2" TO 1" OF TOPRESS MULCH MAIL BED AREAS WHEN THEY ARE ADJACENT TO FESCUE OR OTHER COOL SEASON GRASSES.
- USE A 1/2" X 2" STEEL FLOORING TO COVER THE MAIL BED BED AREAS WHEN THEY ARE ADJACENT TO BERNALDA OR ZOYSIA GRASS.
- DIG DOWN THE EDGE OF ALL BEDS WHERE THEY ARE ADJACENT TO WALLS, WALKWAYS OR CURBS, SO THAT THE WALL, WALKWAY OR CURB WILL WORK AS A BED EDGE TO CONTAIN THE MAIL BED MULCH. THE EDGE SHOULD BE DUG DOWN 3/4" TO 1".
- LAWNS SHOULD BE 1/2" TO 1" BELOW TOP EDGE OF SIDEWALKS & DRIVEWAYS FILL WITH 1/2" SOIL. AS REQUIRED.

LAWN NOTES:

- SPREAD TOPSOIL 4" DEEP OVER ALL DISTURBED AREAS, AND SOD ALL AREAS WITH BERNALDA GRASS SOD WITHIN 15 FT OF BUILDING, PARKING LOTS AND SIDEWALKS.
- FERTILIZE ALL AREAS WITH A SPECIALLY FORMULATED NEW LAWN STARTER FERTILIZER.

Guarantee

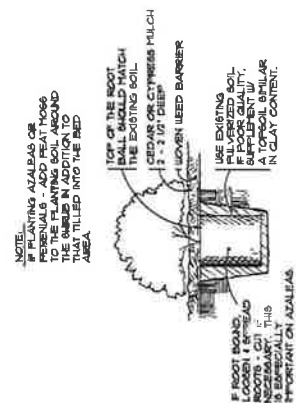
Maintenance Guarantee:
Once installed, landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced.
Tree Topping Guarantee:
Trees shall not be topped at any time and proper tree pruning techniques as established in the latest edition of the ANSI A300 "Standards for Tree Care" shall be utilized for maintenance.
Tree Removal Guarantee:
Healthy trees shall not be removed at any time and proper tree pruning techniques as established in the latest edition of the ANSI A300 "Standards for Tree Care" shall be utilized for maintenance.

Location Note:

- All trees shall be installed a minimum of 5 ft. from any utility lines.

2 Shrub Planting Detail:

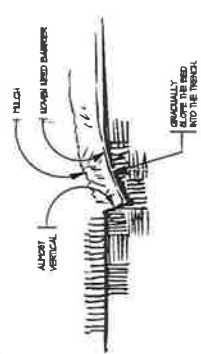
L-1 NTS



3 Trench Bed Edge Detail:

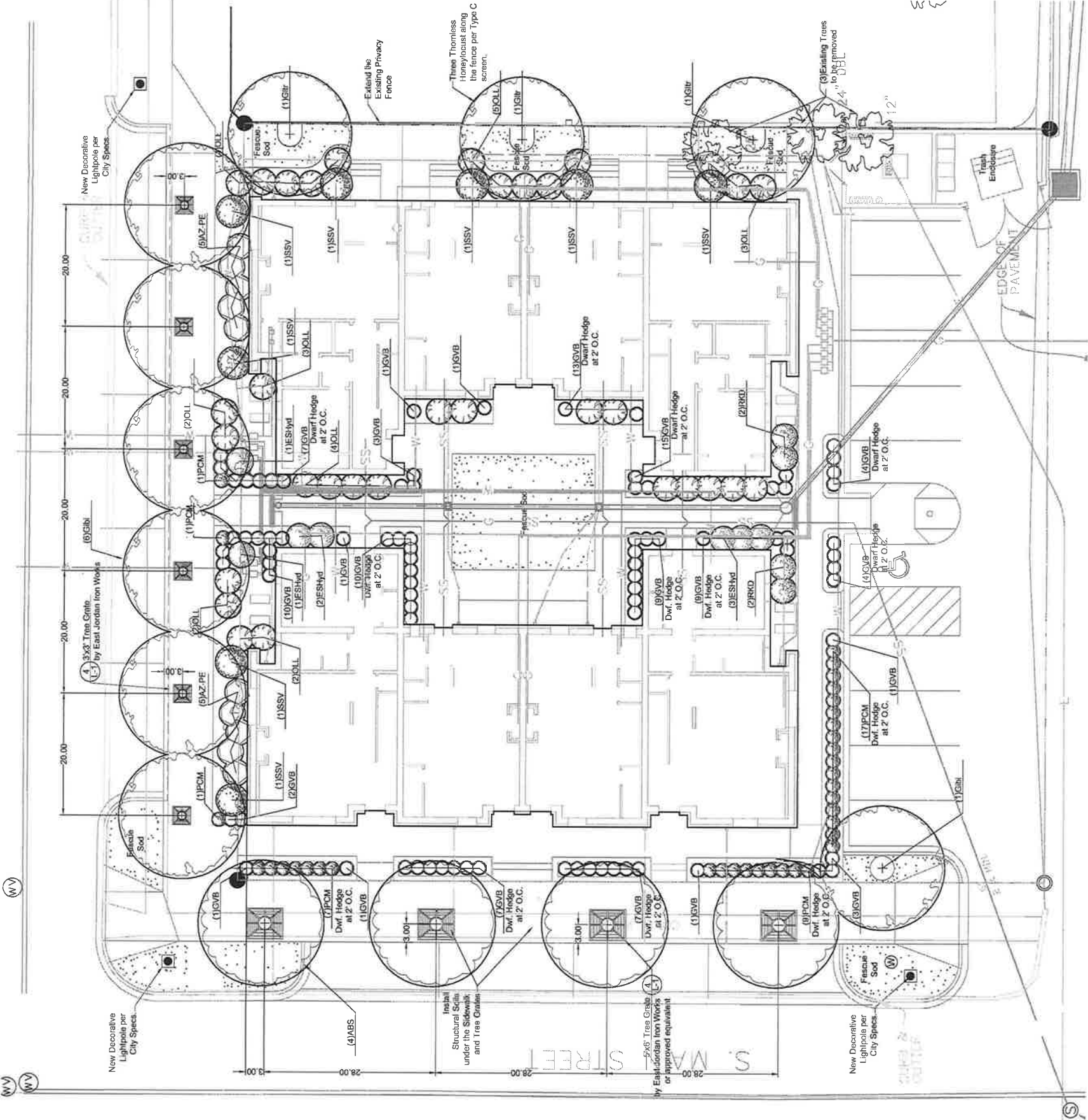
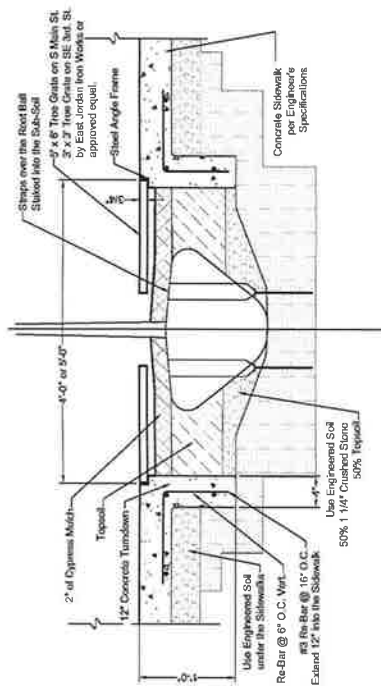
L-1 NTS

NOTE: THIS CAN BE USED WITH FESCUE SOD, F AN IRRIGATION SYSTEM IS INSTALLED.



4 Tree Grate Detail

L-1 NTS



1 Landscape Plan

L-1 Scale: 1"=10'

GORE 227 INC.

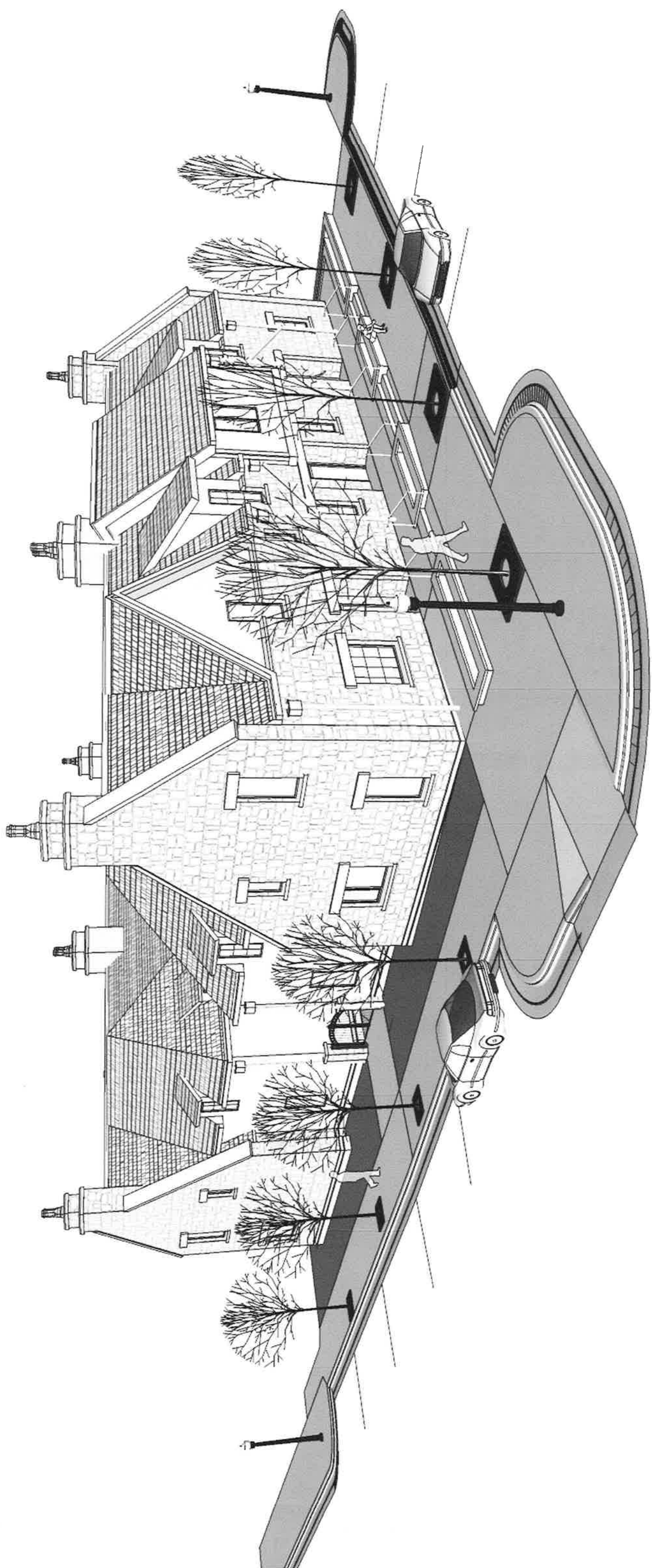
475 BENTON DRIVE
PEA RIDGE, ARKANSAS 72751
Phone: (479) 486-8223
Fax: (479) 486-8223
Date: 07/13/2015
Email: g227@go227.com

PREPARED FOR: Charles Chambers, The Parabolic Redevelopment Company, LLC

LANDSCAPE PLAN

301 S. MAIN
BENTONVILLE, ARKANSAS

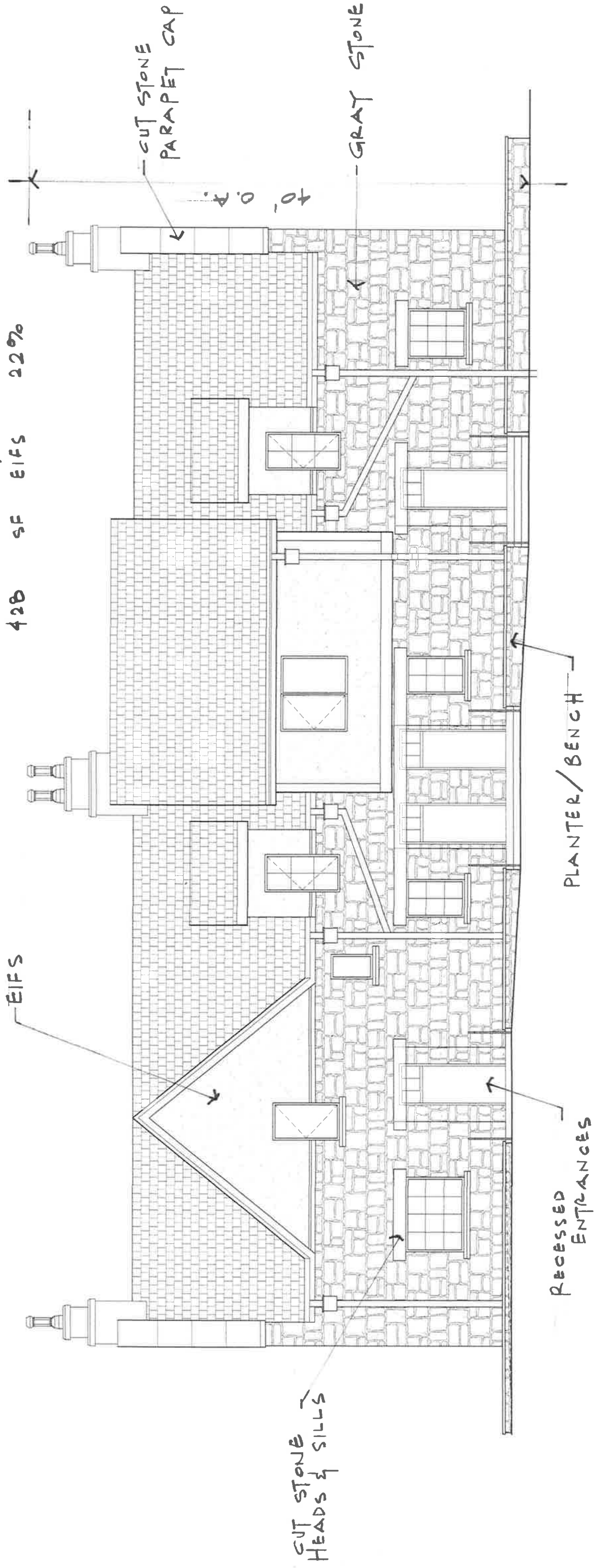
PROJECT NO: 918-15-227
DESIGN: JFG
DRAWN: JFG
DATE: December 21, 2015





MATERIAL COVERAGE

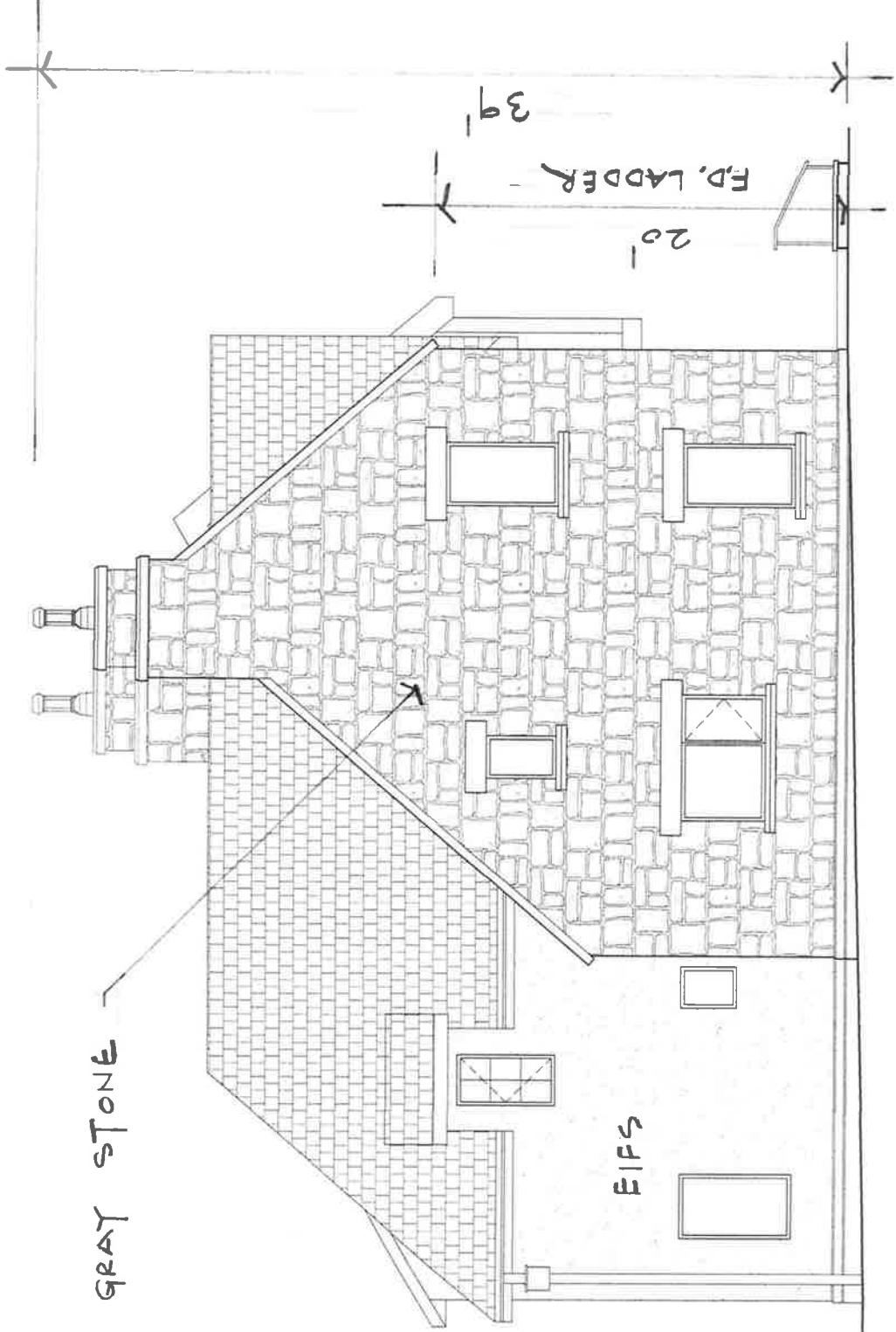
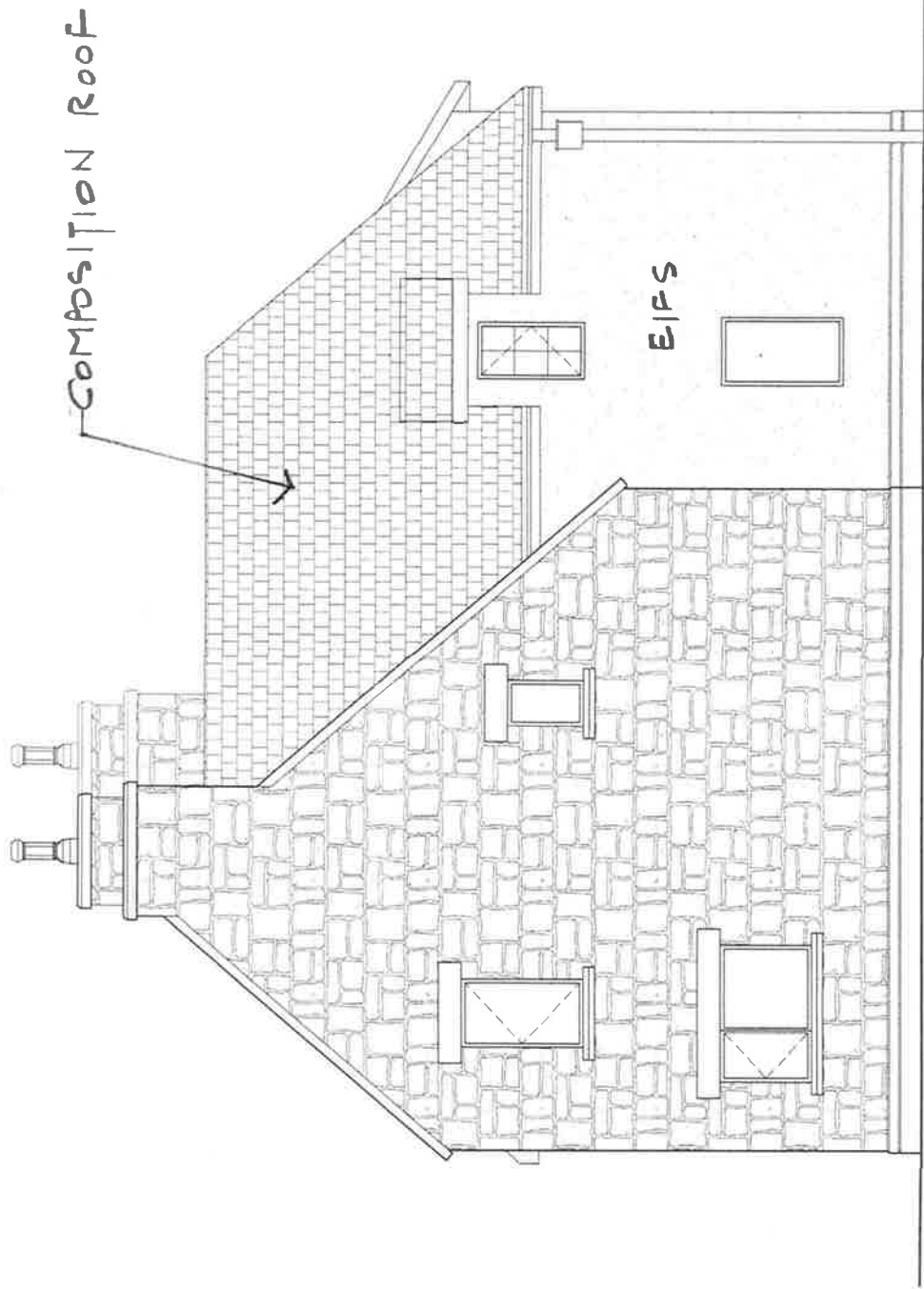
1965	SF	TOTAL
1533	SF	STONE
428	SF	EIFS
		78%
		22%



WEST ELEVATION
ALONG SOUTH MAIN ST.

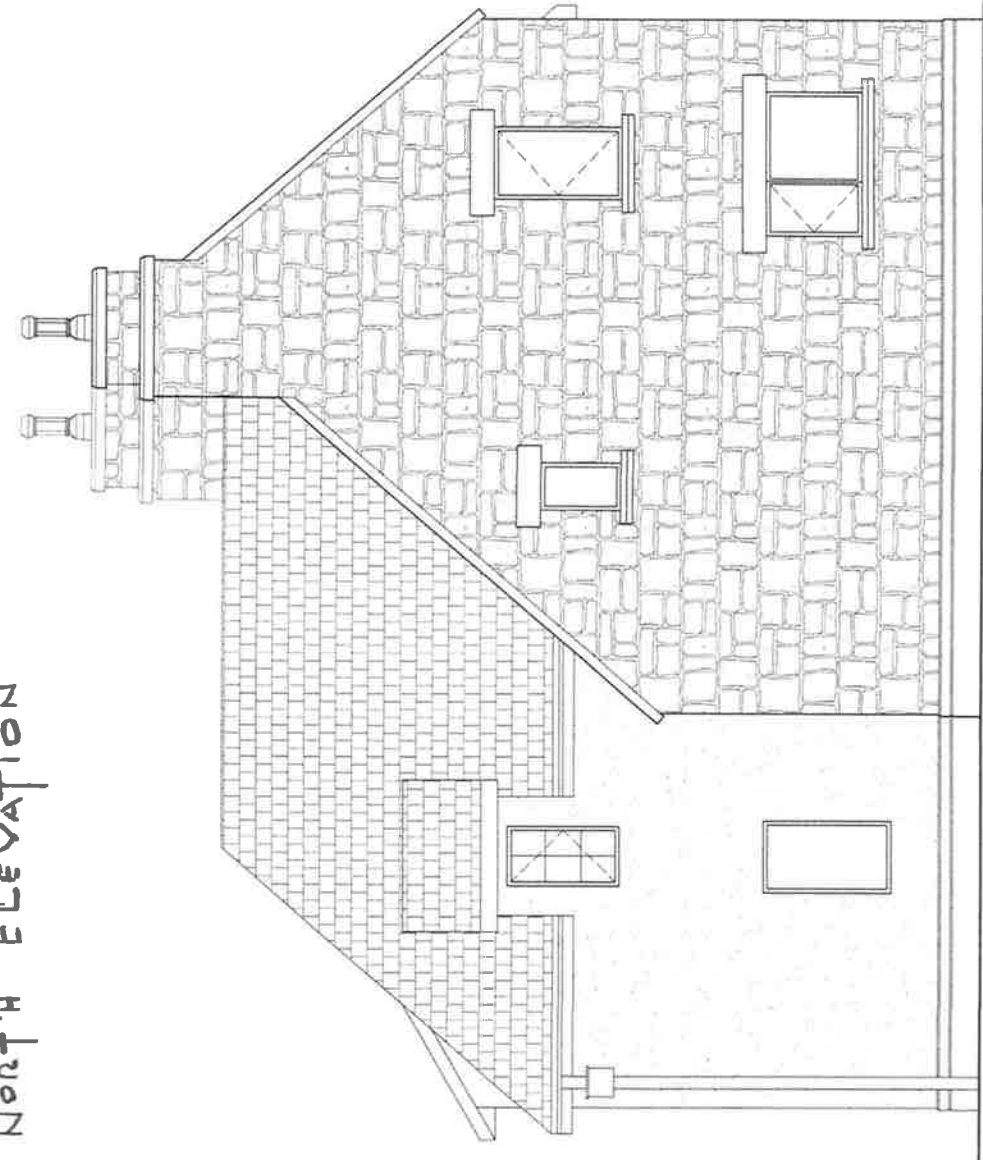
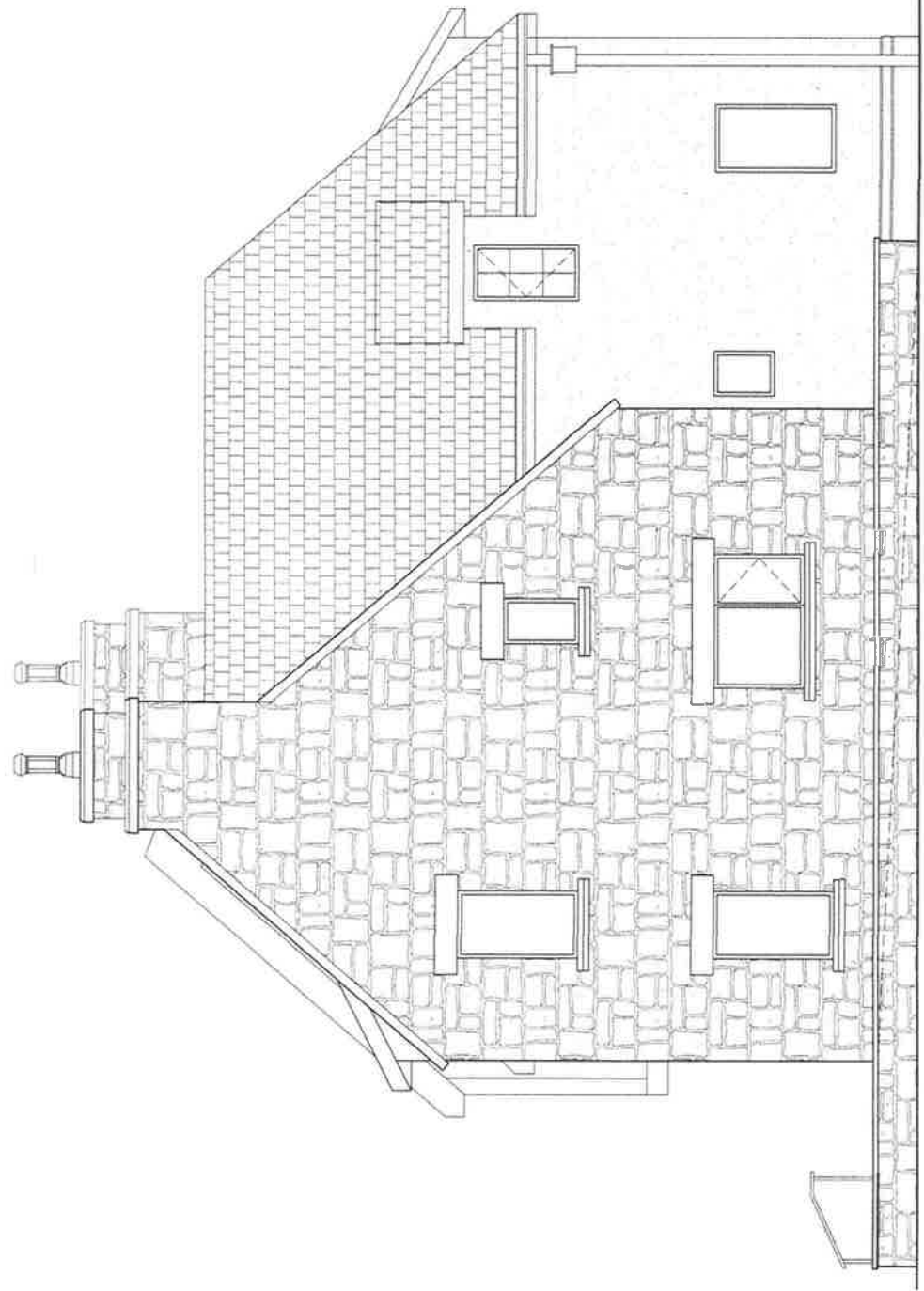
MATERIAL COVERAGE (PER BUILDING)

1029	SF	TOTAL		
774	SF	STONE	7590	
255	SF	EIFS	2590	



NORTH ELEVATION
ALONG SE 3RD ST.

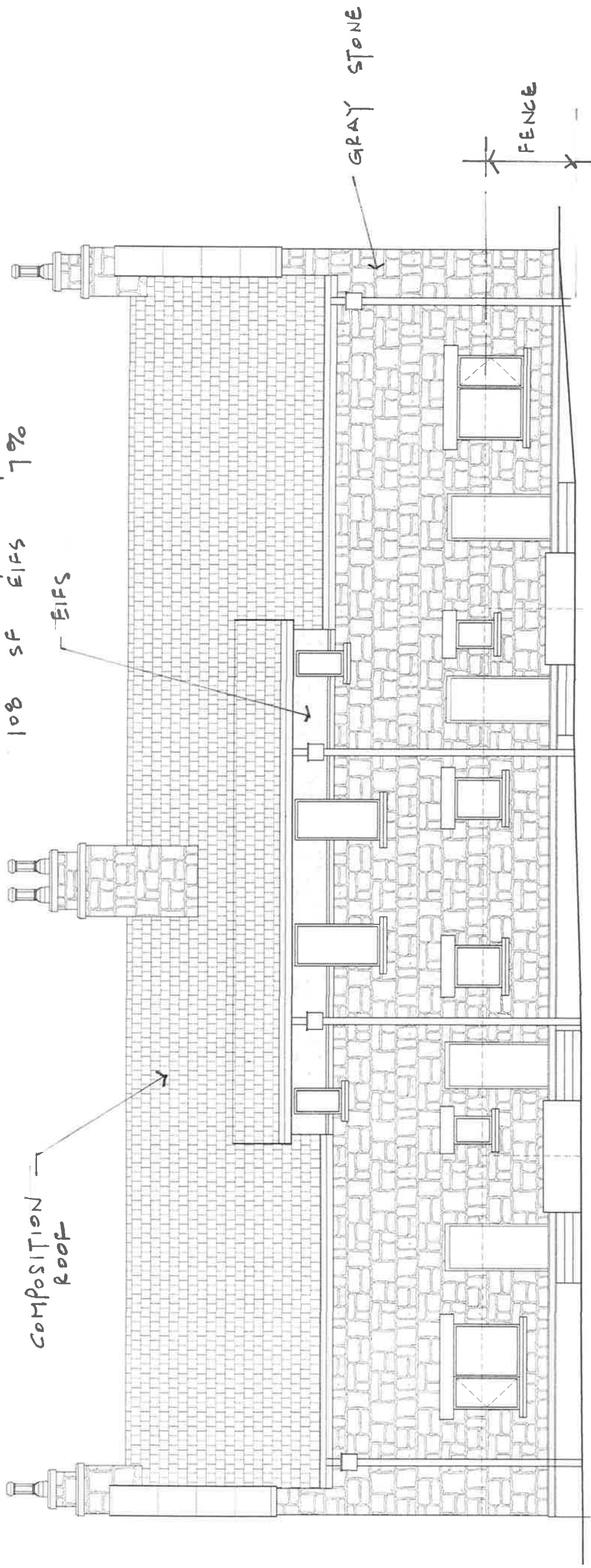
* FINISHES & COVERAGE
AS NORTH ELEVATION



SOUTH ELEVATION
ALONG ALLEY

MATERIAL COVERAGE

1638	TOTAL
1530	SF STONE 93%
108	SF EIFS 7%



EAST ELEVATION

ALONG FENCE LINE

Planning Commission Staff Report

Lot Split: Lot 1 Burris Subdivision

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, Planner
PC DATE: February 16, 2016

GENERAL INFORMATION:

Project Number: 16-05000001

Applicant: Dave & Kate Burris

Representative: Geoff Bates (Bates & Associates)

Requested Action: Lot Split Approval

Location: 820 Tiger Boulevard

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a lot split for property located at 803 Tiger Boulevard. The plat as provided shows the creation of one new lot from an un-platted piece of section land. The new lot will be known as Lot 1 (0.38 acres) of Burris Subdivision. The plat indicates the dedication of 35' of right-of-way along Tiger Boulevard and the dedication of a 7' utility easement along the western property line for an existing water main. A 24' private access easement will be dedicated per a separate document to allow cross access from the adjacent property to the east. Water and sewer services are available to both lots.

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	C-2, General Commercial	Commercial
South	C-2, General Commercial	Commercial
East	C-2, General Commercial	Commercial
West	C-2, General Commercial	Commercial

STREETS

Direction	Name	Classification
North	-	-
South	Tiger Boulevard	Arterial
East	-	-
West	-	-

TRAFFIC FINDINGS

- (a) Traffic data for the nearest intersections are as follows: No traffic data exists for this location.
- (b) Traffic summary software predicts the additional traffic for this project is: N/A.

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; Lot 13 is vacant and has an existing detention pond and Lot 14 has an existing office building. Both lots are situated along a collector street in the southwest part of the city.

Drainage Report: A drainage report is not required for this lot split.

Water / Sewer: Per the G.I.S. site, water and sewer are available to the two proposed lots.

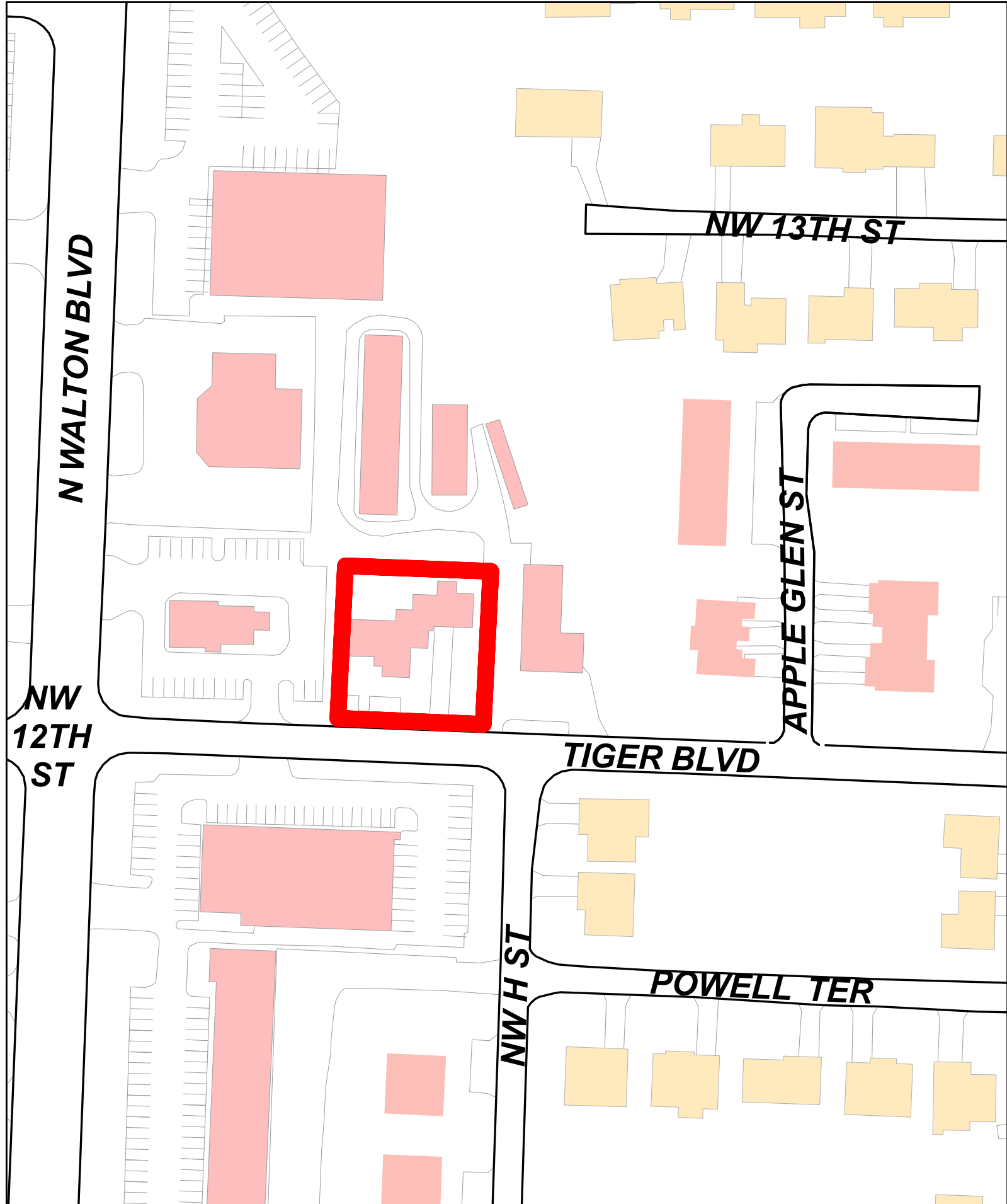
Waiver(s): 1 Waiver Request –

- o The applicant is requesting a waiver to Article 1100, Design Standards, Section 1100.5, Streets, Subsection ‘B’ Master Street Plan Requirements. Ordinance states that right-of-way for an Arterial Street shall be 45’ from centerline however, Tiger Boulevard intersection improvements have been designed and the additional right-of-way is not required. Applicant is requesting to dedicate 35’ to accommodate the designed plan.

Analysis / Conclusion: This lot split **DOES NOT** meet the minimum requirements of the subdivision regulations due to the waiver request.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



LOT SPLIT CREATING LOT 1 BURRIS SUBDIVISION

ADJACENT PROPERTY OWNERS

1) PARCEL #01-00236-000
BILLINGSLEY FAMILY LIMITED PARTNERSHIP
1206 N WALTON BLVD
BENTONVILLE AR 72712-4131
ZONED: C-2

2) PARCEL #01-02334-000
HANEY ENTERPRISES LLC
1307 NW K ST
BENTONVILLE AR 72712-4145
ZONED: R-O

3) PARCEL #01-02333-000
HANEY ENTERPRISES LLC
1307 NW K ST
BENTONVILLE AR 72712-4145
ZONED: R-O

4) PARCEL #01-01333-000
OMCINSKI, BONNIE
1120 NW H ST
BENTONVILLE AR 72712-4237
ZONED: R-1

5) PARCEL #01-05075-000
TIGER STREET PROPERTIES LLC
414 BAUXHALL CT
KATY TX 77450-2203
ZONED: C-2

6) PARCEL #01-15208-000
ROBERT L DAVIS INVESTMENT CO
C/O BENNING, ANDY- US BEEF CORP
4923 E 49TH ST
TULSA OK 74135-7002
ZONED: C-2

OWNER / DEVELOPER:
BURRIS, DAVID & KATE
603 JEFFERSON
BENTONVILLE AR 72712-3252

PROPOSED USE:
PROFESSIONAL OFFICE

BASIS OF BEARING:
GPS OBSERVATION - AR NORTH ZONE

REFERENCE DOCUMENTS:

- 1) WARRANTY DEED FILED IN BOOK 2014 AT PAGE 68332
2) PLAT OF SURVEY FILED IN PLAT BOOK "N" AT PAGE 13
3) PLAT OF SURVEY FILED IN BOOK 2006 AT PAGE 1214
4) PLAT OF SURVEY FILED IN PLAT BOOK "N" AT PAGE 190
5) PLAT OF SURVEY FILED IN PLAT BOOK 2013 AT PAGE 131
6) PLAT OF SURVEY FILED IN PLAT BOOK 2006 AT PAGE 1409
7) PLAT OF SURVEY FILED IN PLAT BOOK 4 AT PAGE 278
8) PLAT OF SURVEY FILED IN PLAT BOOK "N" AT PAGE 96
9) PLAT OF SURVEY FILED IN PLAT BOOK "S" AT PAGE 214

PROPERTY ZONED:
C-2

BUILDING SETBACKS:

- FRONT (WITH PARKING IN FRONT) 50ft
FRONT (NO PARKING IN FRONT) 20ft
SIDE (ADJACENT TO NON-RESIDENTIAL) 7 ft
SIDE (ADJACENT TO RESIDENTIAL) 30ft
REAR (ADJACENT TO NON-RESIDENTIAL) 20ft
REAR (ADJACENT TO RESIDENTIAL) 30ft

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 01°14'02" E	20.00'
L2	N 02°48'02" E	12.93'

FLOOD CERTIFICATION:

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS.
(FIRM PANEL #05007C0090J. DATED 09/28/2007)

NOTES:

- 1) SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.
2) BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
3) OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.
4) NO FENCES OR STRUCTURES SHALL BE BUILT WITHIN DRAINAGE EASEMENTS.

PARCEL #01-00237-000 LEGAL DESCRIPTION:

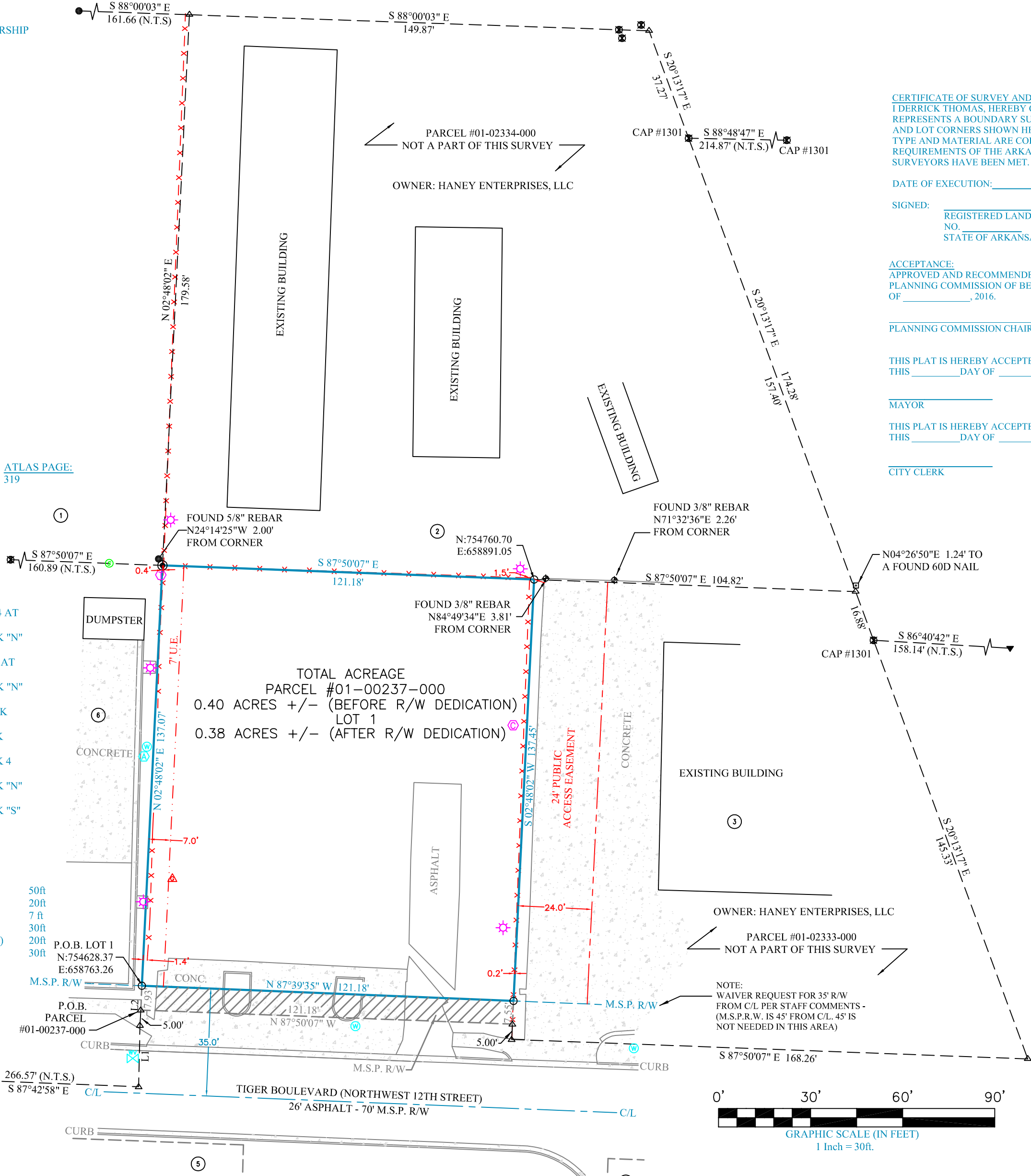
A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 20 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT THE SOUTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE S87°42'58"E 266.57', THENCE N01°14'02"E 20.00', THENCE N02°48'02"E 5.00' TO A POINT ON THE EXISTING NORTH RIGHT OF WAY OF TIGER BLVD (NW 12TH STREET), MARKING THE TRUE POINT OF BEGINNING AND RUNNING THENCE N02°48'02"E 145.00' TO AN EXISTING PIPE, THENCE S87°50'07"E 121.18', THENCE S02°48'02"W 145.00' TO A POINT ON THE SAID NORTH RIGHT-OF-WAY, THENCE ALONG SAID RIGHT-OF-WAY N87°50'07"W 121.18' TO THE POINT OF BEGINNING, CONTAINING 0.40 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

LOT 1, BURRIS SUBDIVISION LEGAL DESCRIPTION:

A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 20 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT THE SOUTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE S87°42'58"E 266.57', THENCE N01°14'02"E 20.00', THENCE N02°48'02"E 12.93' TO A POINT ON THE PROPOSED NORTH MASTER STREET PLAN RIGHT-OF-WAY OF TIGER BLVD (NW 12TH STREET), MARKING THE TRUE POINT OF BEGINNING AND RUNNING THENCE N02°48'02"E 137.07' TO AN EXISTING PIPE, THENCE S87°50'07"E 121.18', THENCE S02°48'02"W 137.45' TO A POINT IN THE SAID NORTH RIGHT-OF-WAY, THENCE ALONG SAID RIGHT-OF-WAY N87°39'35"W 121.18' TO THE POINT OF BEGINNING, CONTAINING 0.38 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

SURVEY NOTE:

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES. ALL UTILITY LINES APPEARING ON THIS PLAT, AS WELL AS THOSE THAT MAY EXIST UNDERGROUND NEED TO BE VERIFIED PRIOR TO DOING ANY TYPE OF EXCAVATION. SOME UTILITY LINES MAY ALSO EXIST THAT WERE NOT SHOWN ON THIS PLAT.



CERTIFICATE OF SURVEY AND ACCURACY:

I DERRICK THOMAS, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION: _____

SIGNED: _____
REGISTERED LAND SURVEYOR
NO. _____
STATE OF ARKANSAS

ACCEPTANCE:
APPROVED AND RECOMMENDED FOR ACCEPTANCE BY THE CITY PLANNING COMMISSION OF BENTONVILLE, ARKANSAS, THIS ____ DAY OF _____, 2016.

PLANNING COMMISSION CHAIRMAN _____

THIS PLAT IS HEREBY ACCEPTED BY THE BENTONVILLE CITY COUNCIL THIS ____ DAY OF _____, 2016.

MAYOR _____

THIS PLAT IS HEREBY ACCEPTED BY THE BENTONVILLE CITY COUNCIL THIS ____ DAY OF _____, 2016.

CITY CLERK _____

PARCEL #01-02334-000, OWNER'S CERTIFICATION:

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.
DATE OF EXECUTION: _____

PRINTED NAME: _____
NAME & ADDRESS

SIGNATURE: _____

SOURCE OF TITLE: D.R. DEED BOOK 2012 AT PAGE 15058

PARCEL #01-02337-000, OWNER'S CERTIFICATION:

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.
DATE OF EXECUTION: _____

PRINTED NAME: _____
NAME & ADDRESS

SIGNATURE: _____

SOURCE OF TITLE: D.R. DEED BOOK 2014 AT PAGE 68332

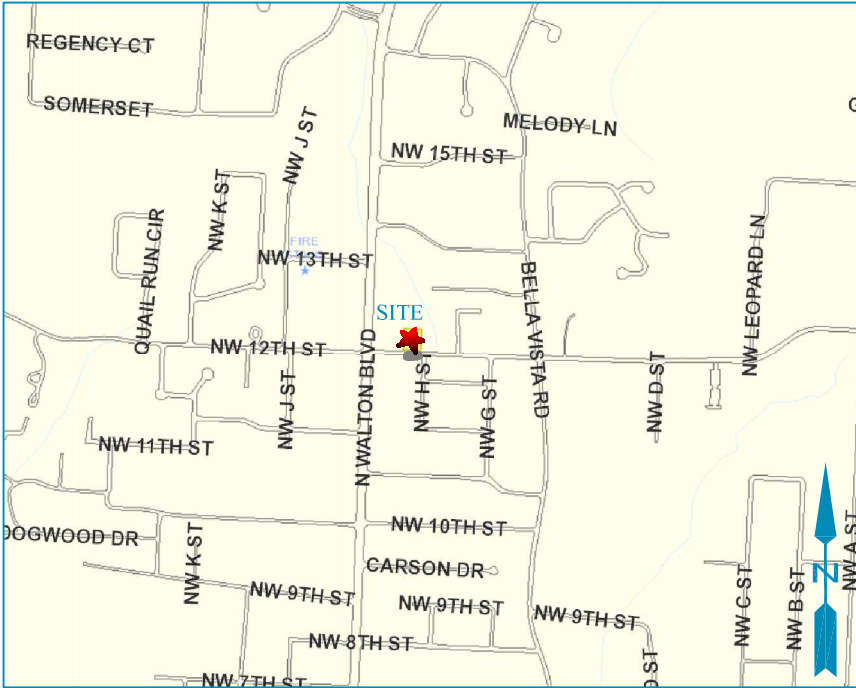
STATE RECORDING NUMBER:
500-20N-30W-0-19-330-04-1642

I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS THE 20TH DAY OF AUGUST, 2016.



IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL AND NOT BLUE IN COLOR THEN IT SHOULD BE ASSUMED THAT THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

VICINITY MAP



VICINITY MAP NOT TO SCALE

RECORDING NUMBER/DATE

DRAWING # 14-246 SUB

FOR USE AND BENEFIT OF:
DAVE BURRIS

ADDRESS:
820 TIGER BLVD.
BENTONVILLE, ARKANSAS

DATE: 1/29/16 SCALE: 1"=30'

LOCATION:
SECTION: 19
TOWNSHIP: 20 NORTH
RANGE: 30 WEST

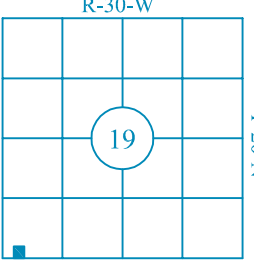
SURVEYED: _____
DRAFTED: _____
REVIEWED: DT



Bates & Associates, Inc.
Engineers - Surveyors - Landscape Architects

2230 S. Pleasant Ridge Dr. - Fayetteville, Arkansas 72704 - 479.442.9350 - Fax 479.521.9350
BATES & ASSOCIATES, INC. Copyright 2015
This survey was conducted for the person or persons whose name(s) appear on this plat. This plat is protected by copyright. No one including the person(s) named may reproduce this plat without the express written consent of Bates & Associates, Inc. Surveyor has made no independent investigation for encumbrances of record, encroachments, restrictive covenants, ownership title evidence, or any other fact which a complete and accurate title search may disclose. Any flood statement provided on this plat is for information only and Bates & Associates, Inc. assumes no liability for the correctness of the hereto cited maps, furthermore the above statement does not represent the opinion of Bates & Associates, Inc. of the probability of flooding.

Location Map:

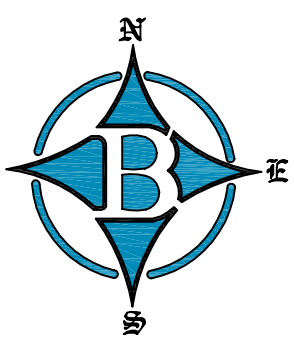


LEGEND:

THESE STANDARD SYMBOLS WILL BE FOUND IN THE DRAWING.

- BUILDING SETBACK
- BOUNDARY LINE (MEASURED)
- FORTY LINE/TIE LINE
- PREVIOUS BOUNDARY LINE
- CENTERLINE OF ROAD
- RIGHT-OF-WAY
- INGRESS & EGRESS EASEMENT
- FENCE

- FOUND 5/8" REBAR/CAP
- FOUND PIPE
- FOUND 1/2" REBAR
- NAIL
- COMPUTED POINT
- SET 5/8" REBAR/CAP
- CABLE PEDESTAL
- TELEPHONE PEDESTAL
- WATER METER
- SANITARY SEWER MH
- GAS METER
- LIGHT





7230 S Pleasant Ridge Dr / Fayetteville, AR 72704
PH: 479-442-9350 * FAX: 479-521-9350

January 29, 2016

Planning Commission
City of Bentonville
117 W. Central Ave.
Bentonville, AR 72712

RE: Waiver Request for ROW Dedication on North Right-of-Way of Tiger Blvd on Parcel 01-00237-000 (820 Tiger Blvd)

Dear Commissioners,

Mr. Dave Burris would like to request a waiver from the required 45' Right-of-Way Dedication on Parcel #01-00237-000 (820 Tiger Blvd). Upon the Planning and Zoning Review of the 1st Submittal of the Burris Subdivision, it was determined that the Master Street Plan Right-of-Way requirement of 45' was not needed, and it was requested that 35' be dedicated. This waiver request was asked to be submitted in the aforementioned review.

If you have any questions or require additional information, please feel free to contact me at your convenience.

Sincerely,

Jason Young
Bates & Associates, Inc

Planning Commission Staff Report

Large Scale Development: Burris Architecture Office

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, City Planner
PC DATE: February 16, 2016

GENERAL INFORMATION:

Project Number: 16-06000001

Applicant: Dave Burris

Representative: Geoff Bates (Bates & Associates)

Requested Action: Large Scale Development Approval

Location: 820 Tiger Boulevard

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a Large Scale Development for a 2,581 square foot office building located at 820 Tiger Boulevard in the C-2, General Commercial zoning district. Fourteen (14) off-street parking spaces are being provided. The applicant will be eliminating one existing curb cut and will utilize another existing curb cut to the east to access the project through a cross access easement with the adjacent property owner. The exterior materials of the building will be constructed of lap smooth cedar siding with Black Pine, Cypress siding, glass and Poly carbonate panels. On-site stormwater detention is being provided. Applicants engineer to provide an Fee-in-Lieu estimate for the Tiger Boulevard Intersection Improvements to be reviewed and approved by the City Engineer.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks		
Front with Parking:	50' min	-
Front without Parking:	20' min	27' South
Side: Adjacent to non-residential	7' min	15' West
Side: Adjacent to residential	30' min	32' East
Rear: Adjacent to non-residential	20' min	-
Rear: Adjacent to residential	30' min	60' North
Max Height	60'	20.5'
Landscape Coverage	8%	0%
Parking		
Standard Stalls	8	13
ADA Stalls	1	1
Total:	9	14

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	R-O, Residential Office	Commercial
South	C-2, General Commercial & R-1, Single Family Residential	Commercial
East	R-O, Residential Office	Commercial
West	C-2, General Commercial	Commercial

STREETS

Direction	Name	Classification
North	-	-
South	Tiger Boulevard	Arterial
East	-	-
West	-	-

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows: N/A

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently the location of a vacant single family home in a redeveloping commercial area in the northwest part of the city.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

Water / Sewer: Per the G.I.S. site, water and sewer **ARE** available to this site.

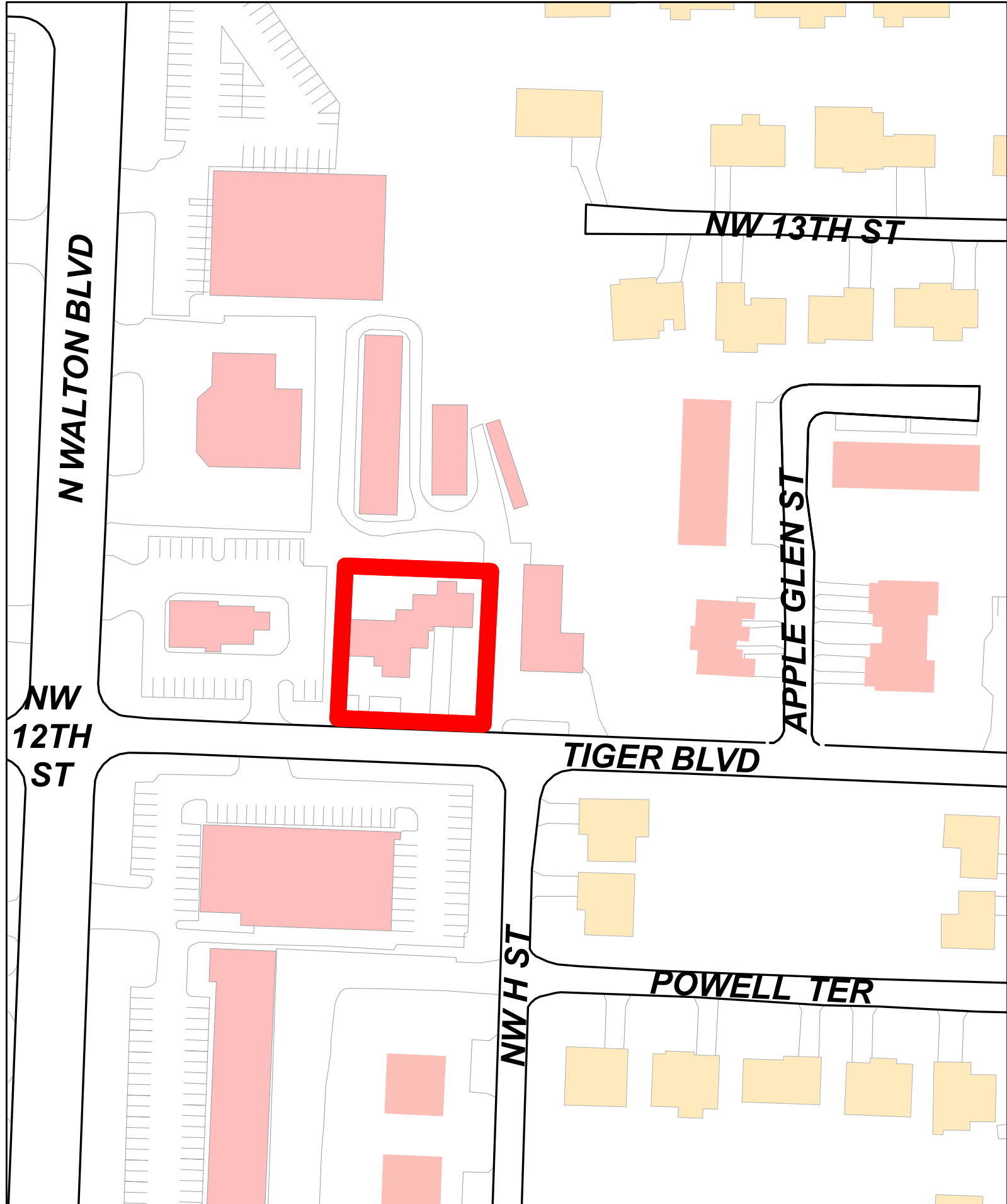
Waiver(s): The applicant has submitted 2 Waiver Request –

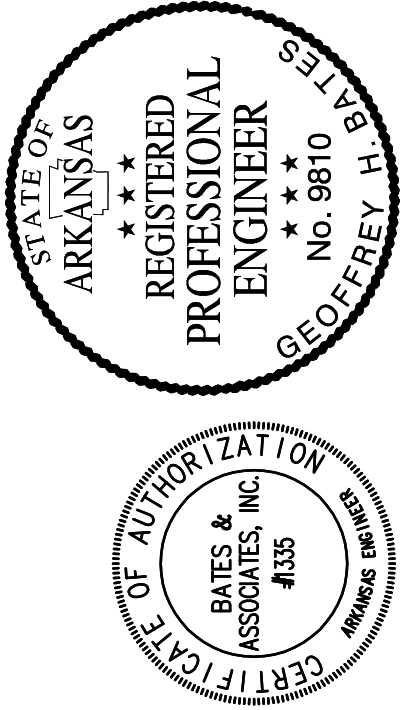
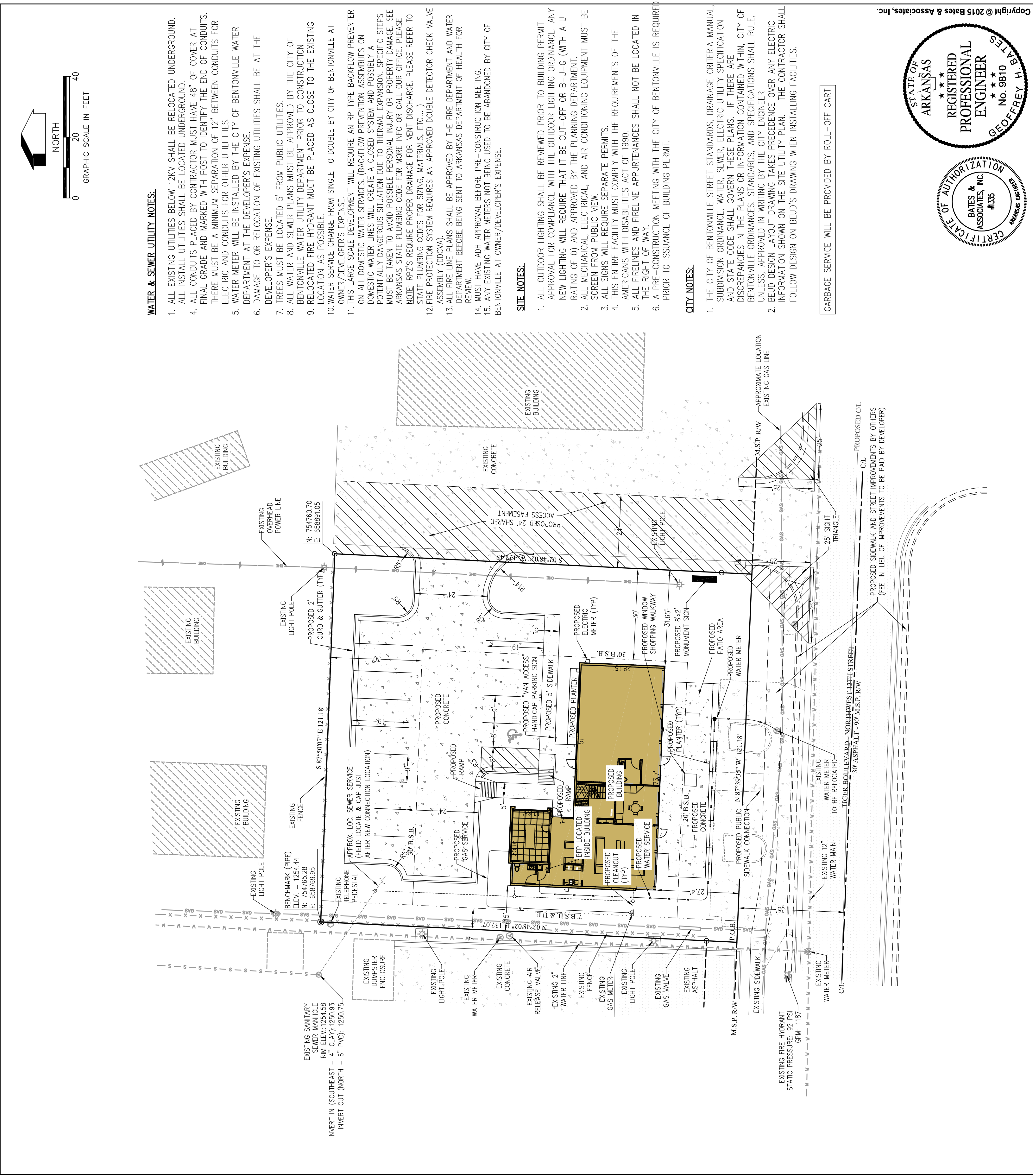
- o The applicant is requesting a waiver to Article 1400, Landscaping, Screening & Buffering, Section 1400.8, Interior Parking Lot Landscaping, Subsection 'A.1' Interior Greenspace Requirements. Ordinance states that 8% interior greenspace shall be provided for parking lots ranging in size from 3,000-49,000 square feet. Applicant states parking lot is small, not visible from public right-of-way and will utilize existing tree canopy to help reduce heat island effect.
- o The applicant is requesting a waiver to Article 1100, Design Standards, Section 1100.13, Design Standards for Large Scale Developments, Subsection 'E.1' Building Design Materials. Ordinance states that the primary material shall constitute at least 75% of the wall area, excluding glass. The primary external material shall consist of a combination of brick, textured concrete block, or natural stone. Wood shall only be used as trim which is defined as an ornamental design feature, that when removed does not significantly alter the appearance of the building. The applicant is requesting that more than 25% wood be allowed on the north, west and east facades.

Analysis / Conclusion: This large scale development **DOES NOT** meet the minimum requirements of the subdivision regulations due to the waiver request.

RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.





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GARBAGE SERVICE WILL BE PROVIDED BY ROLL-OFF CART

CITY NOTES:

1. THE CITY OF BENTONVILLE STREET STANDARDS, DRAINAGE CRITERIA MANUAL, SUBDIVISION ORDINANCE, WATER, SEWER, ELECTRIC UTILITY SPECIFICATION AND STATE CODE SHALL GOVERN THESE PLANS. IF THERE ARE DISCREPANCIES IN THE PLANS OR INFORMATION CONTAINED WITHIN, CITY OF BENTONVILLE ORDINANCES, STANDARDS, AND SPECIFICATIONS SHALL RULE, UNLESS, APPROVED IN WRITING BY THE CITY ENGINEER

2. BEUD DESIGN LAYOUT DRAWING TAKES PRECEDENCE OVER ANY ELECTRIC INFORMATION SHOWN ON THE SITE UTILITY PLAN. THE CONTRACTOR SHALL FOLLOW DESIGN ON BEUD'S DRAWING WHEN INSTALLING FACILITIES.

SITE NOTES:

1. ALL OUTDOOR LIGHTING SHALL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL FOR COMPLIANCE WITH THE OUTDOOR LIGHTING ORDINANCE. ANY NEW LIGHTING WILL REQUIRE THAT IT BE CUT-OFF OR B-U-G (WITH A U RATING OF 0) AND APPROVED BY THE PLANNING DEPARTMENT.

2. ALL MECHANICAL, ELECTRICAL, AND AIR CONDITIONING EQUIPMENT MUST BE SCREEN FROM PUBLIC VIEW.

3. ALL SIGNS WILL REQUIRE SEPARATE PERMITS.

4. THIS ENTIRE FACILITY MUST COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990.

5. ALL FIRELINES AND FIRELINE APPURTENANCES SHALL NOT BE LOCATED IN THE RIGHT OF WAY

6. A PRE-CONSTRUCTION MEETING WITH THE CITY OF BENTONVILLE IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.

BURRIS ARCHITECTURE OFFICE
LARGE SCALE DEVELOPMENT PLANS
SITE & UTILITY PLAN
BENTONVILLE, AR

Bates & Associates, Inc.
Civil Engineering & Surveying
www.batesnwa.com
91 W. Colt Sq., Dr., Suite 3
Fayetteville, Arkansas 72703 • Phone 479.442.9350 Fax 479.521.9350

DRAWING NO. 3

PROJECT NO. 14-246

REVISIONS	DATE
FIRST SUBMITTAL	01/11/16
REVISIONS PER 1/20/16 COMMENTS	01/31/16

DRAWN BY: J. YOUNG

ENGINEER: G. BATES

PRELIMINARY
NOT FOR CONSTRUCTION

BURRIS OFFICE BUILDING

820 TIGER BLVD
BENTONVILLE, AR

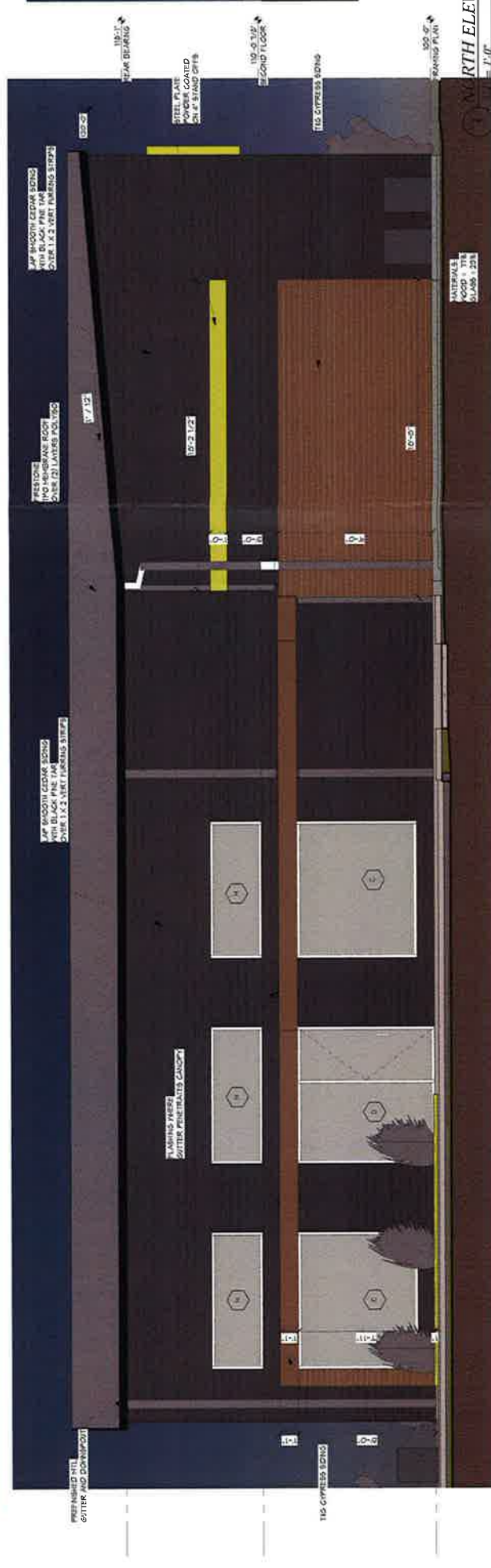
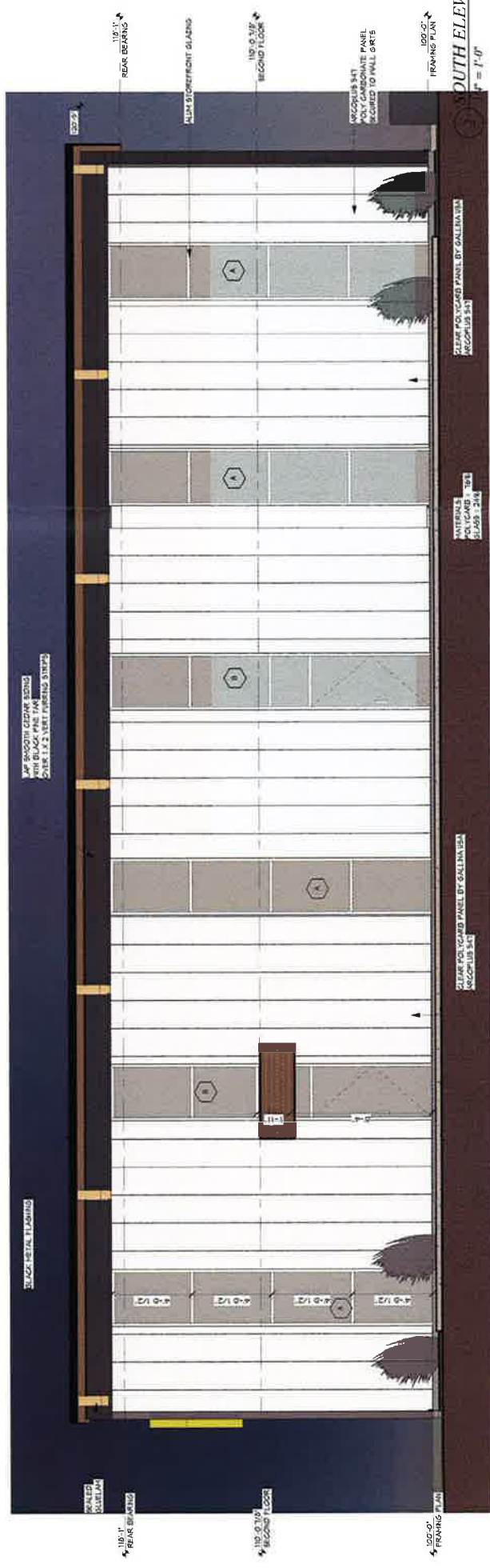
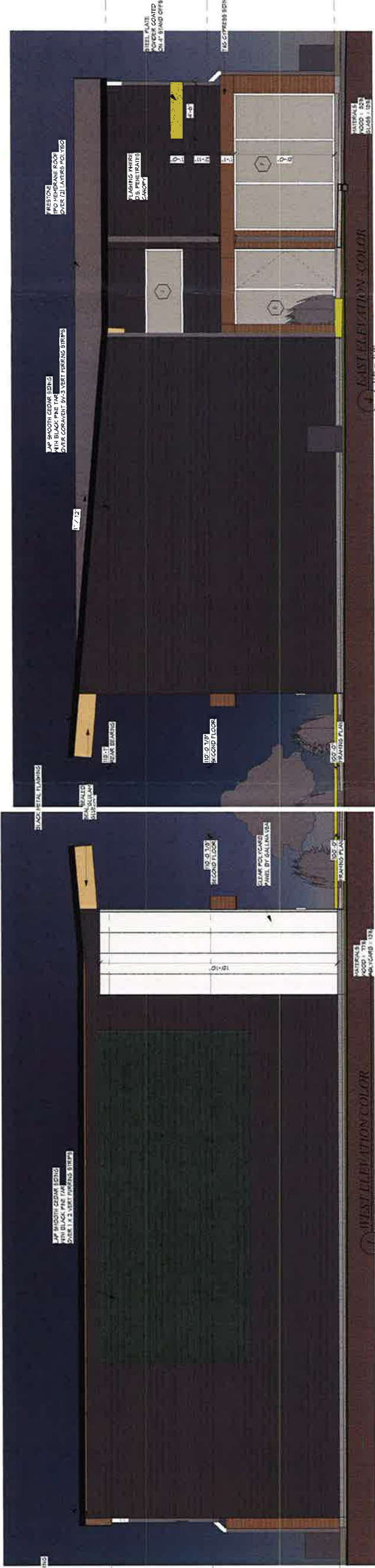
Burris
Architecture
300 N 2nd Suite A, Rogers, AR 72756
479-636-3531

DATE 2-1-16
JOB NO 15047
REVISIONS

PRE.1
COLOR PRELIM ELEV



5 CONCEPT RENDERING Copy 1



NORTH ELEVATION COLOR



Burris Architecture

300 N 2ND ST ROGERS, AR 72756
479.636.3531

Date: Feb. 9th 2016
To: City of Bentonville Planning
Project: Burris Architecture Office
From: Dave P Burris

To whom it may concern:

Burris Architecture respectfully requests a waiver from the use of wood on our building project on Tiger. The wood is to be treated with a "Black Pine Tar" giving it a matt black finish. This is a traditional method to treating wood used in a contemporary manner. Below is an image to show the design intent.

Thank you for your consideration,

Dave P Burris, AIA





7230 S Pleasant Ridge Dr / Fayetteville, AR 72704

PH: 479-442-9350 * FAX: 479-521-9350

January 29, 2015

Planning Commission
City of Bentonville
117 W. Central Ave.
Bentonville, AR 72712

RE: Waiver Request for 8% Greenspace Requirement

Dear Commissioners,

Mr. Dave Burris would like to request a waiver to the requirement for 8% interior landscaping. This is a small parking lot where the longest run of spaces is 9. In addition to its size, parking is provided in the rear of the lot, so it'll be much less visible from the street. There are also two existing trees that will help insulate the 14 spaces from the right-of-way and shield Bentonville from the heat island effect that permeates in urban areas.

If you have any questions or require additional information, please feel free to contact me at your convenience.

Sincerely,

Geoff Bates
Bates & Associates, Inc

Planning Commission Staff Report

Large Scale Development: Lot 2 Bella Heights Subdivision

TO: Bentonville Planning Commission Members
THRU: Troy Galloway, AICP, Community Development Director
FROM: Jon Stanley, City Planner
PC DATE: February 16, 2016

GENERAL INFORMATION:

Project Number: 16-06000004

Applicant: John & Julie Butler

Representative: Jayne Sablotne (Sand Creek Engineering)

Requested Action: Large Scale Development Approval

Location: 805 Southwest 12th Street

Existing Zoning: C-2, General Commercial

Land Use Plan: Commercial

BACKGROUND:

The applicant has submitted a Large Scale Development for a 4,066 square feet office/warehouse building located at 805 Southwest 12th Street in the C-2, General Commercial zoning district. Six (6) off-street parking spaces are being provided. Access to the property will be from a single curb cut onto Southwest 12th Street. On-site stormwater detention is being provided. The exterior materials of the building will be constructed of a 4' high wainscot and fiber cement board siding.

PROJECT STATISTICS ARE AS FOLLOWS:

Site / Building Requirements	Required / Allowed	Proposed
Setbacks Front with Parking: Front without Parking: Side: Adjacent to non-residential Side: Adjacent to residential Rear: Adjacent to non-residential Rear: Adjacent to residential	50' min 20' min 7' min 30' min 20' min 30' min	51' North - 7' West & 27' East - - 19' (Rear Setback Variance was approved on 11-25-15)
Max Height	60'	21'
Landscape Coverage	8%	8%
Parking Standard Stalls ADA Stalls Total:	5 1 6	5 1 6

SURROUNDING LAND USES AND ZONING:

Direction	Zoning	Land Use
North	A-1, Agricultural	Commercial
South	A-1, Agricultural & R-1, Single Family Residential	Commercial
East	C-2, General Commercial	Commercial
West	A-1, Agricultural	Commercial

STREETS

Direction	Name	Classification
North	Southwest 12 th Street	Local
South	-	-
East	-	-
West	Southwest 'I' Street	Arterial

TRAFFIC FINDINGS

(a) Traffic data for the nearest intersections are as follows: N/A

STANDARD CONDITIONS OF APPROVAL

1. A digital copy of the plat.
2. All technical review comments must be addressed before building permits will be issued.
3. All landscaping shall be maintained in healthy living condition and all plant material that dies shall be replaced. (Sec 1400.5.C-10)
4. The building will be constructed with similar exterior materials of those submitted and approved by the planning commission.

ISSUES / ANALYSIS:

Site Inspection: A site inspection was completed; this site is currently the location of a vacant commercial lot in an established commercial subdivision located in the southwest part of the city.

Drainage Report: A drainage report was submitted and tentatively approved by the city engineer.

Water / Sewer: Per the G.I.S. site, water and sewer **ARE** available to this site.

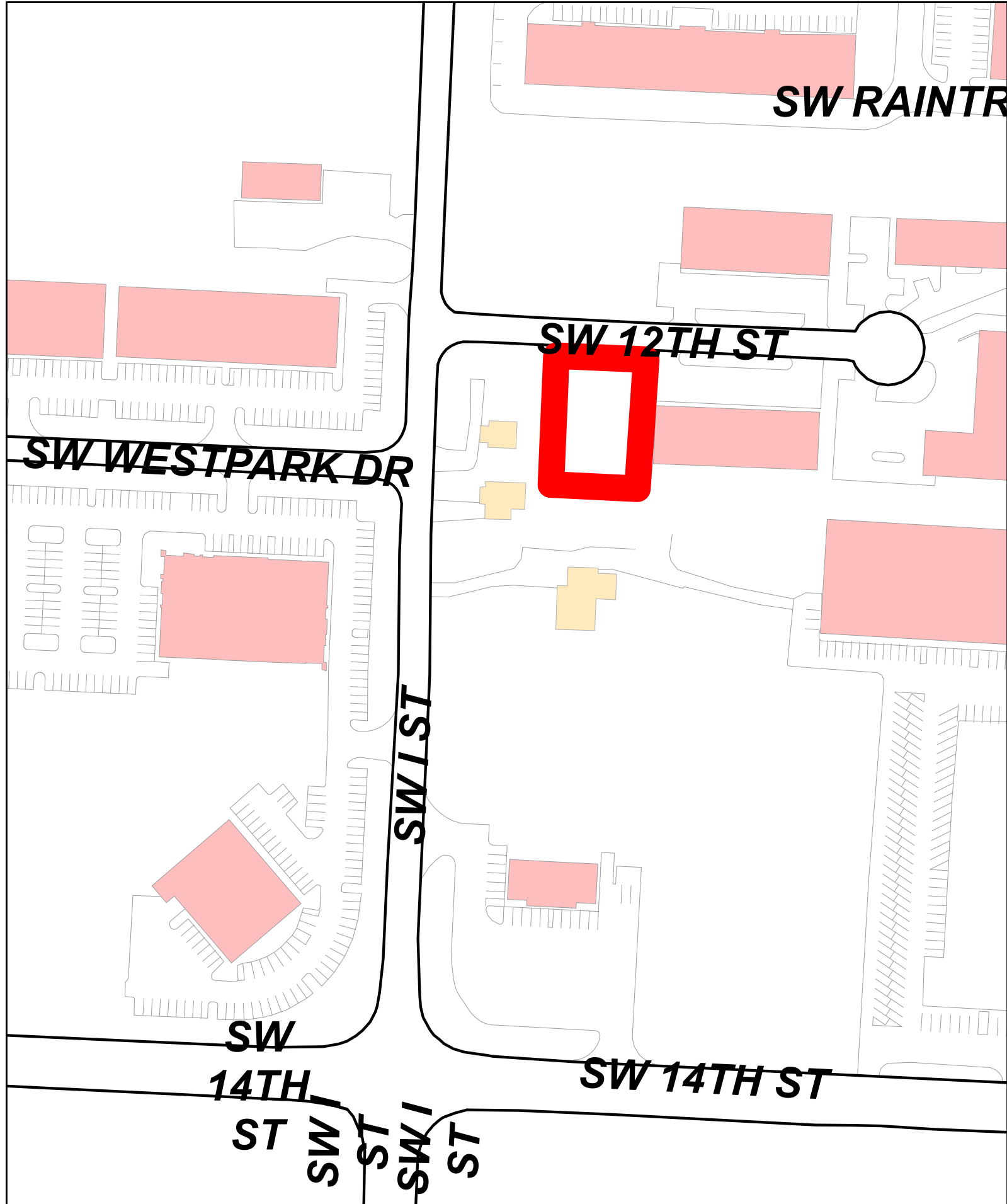
Waiver(s): The applicant has submitted 3 Waiver Request –

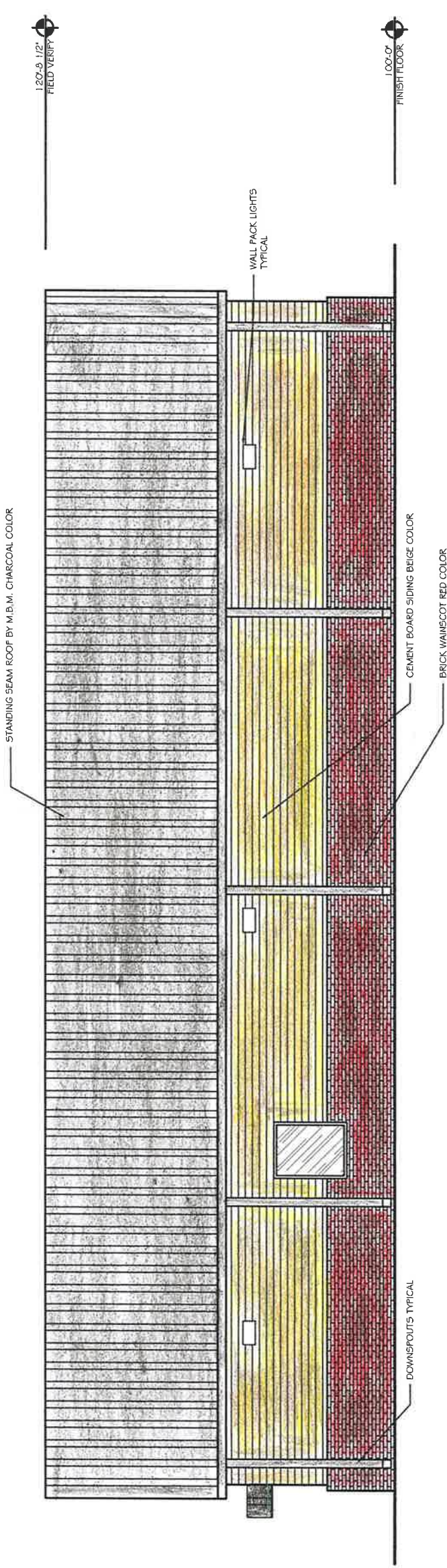
- o The applicant is requesting a waiver to Article 1400, Landscaping, Screening & Buffering, Section 1400.6, Street Frontage Buffer Landscaping, Subsection ‘A.1’ Minimum Width Requirements. Ordinance states that the landscaped street frontage buffer shall be 20’. The applicant is requesting that 11’ be allowed.
- o The applicant is requesting a waiver to Article 1400, Landscaping, Screening & Buffering, Section 1400.7, Perimeter Landscaping & Screening, Subsection ‘A.1’ Width Requirements. Ordinance states that the perimeter landscape strip shall be a minimum of 7’ wide. The applicant is requesting that 5’ be allowed.
- o The applicant is requesting a waiver to Article 1100, Design Standards, Section 1100.9, Access Requirements, Subsection ‘A.6’ Distance Between Curb Cuts. Ordinance states that when the posted speed limit is 30 mph or less that the minimum distance between curb cuts shall be 100. The applicant is requesting that 32’ be allowed from center line of drives.

Analysis / Conclusion: This large scale development **DOES NOT** meet the minimum requirements of the subdivision regulations due to the waiver request.

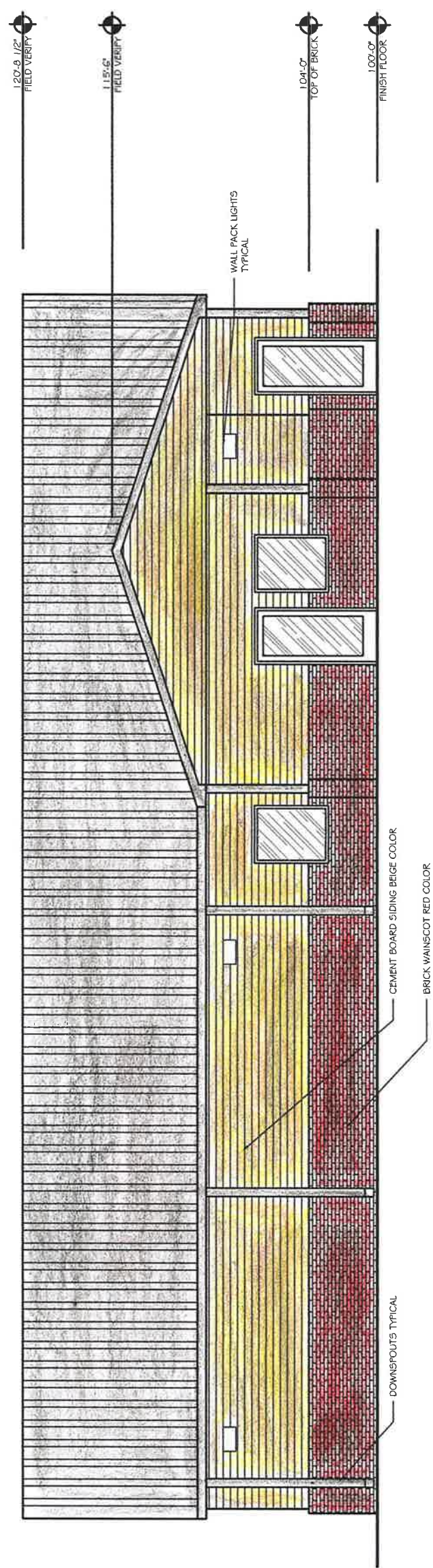
RECOMMENDATION:

Staff has reviewed this application and recommends **APPROVAL**.



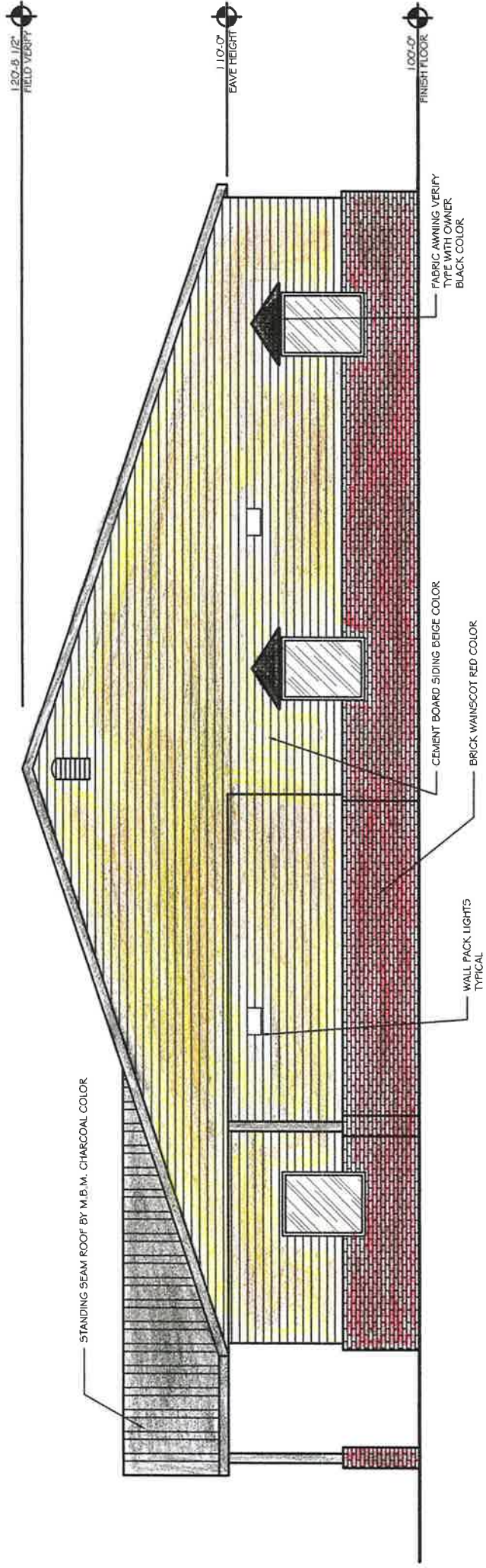


2 BACK ELEVATION

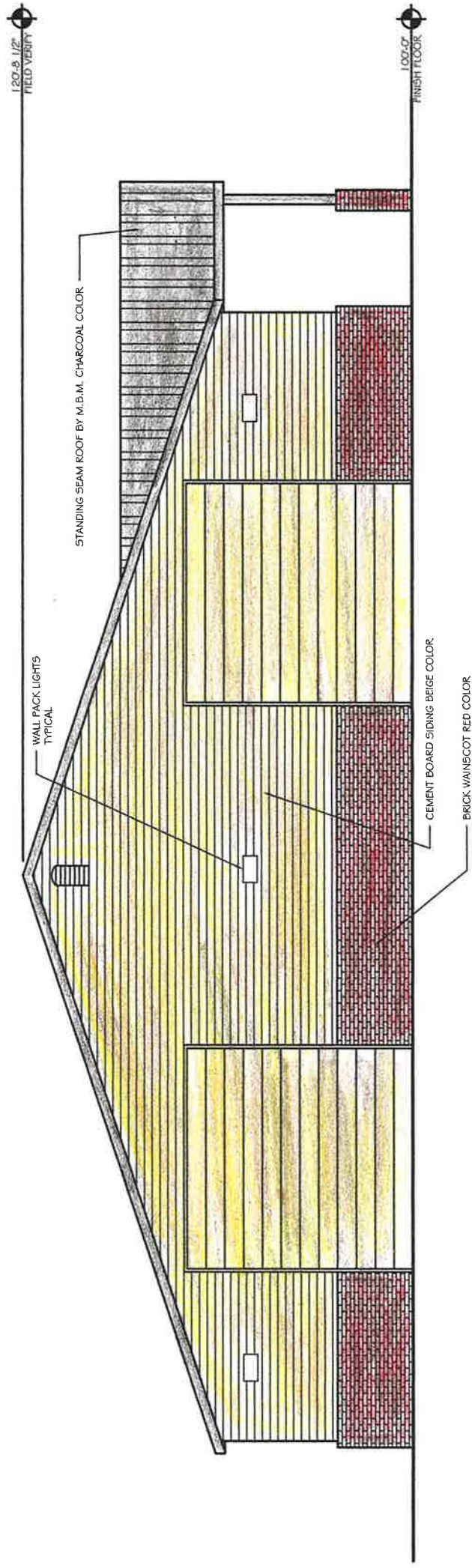


1 FRONT ELEVATION

JOHN BUTLER PROJECT
LOT 2 BELLE HEIGHTS
S.W. 12TH STREET
BENTONVILLE, ARKANSAS



2 RIGHT ELEVATION



1 LEFT ELEVATION

JOHN BUTLER PROJECT
LOT 2 BELLE HEIGHTS
S.W. 12TH STREET
BENTONVILLE, ARKANSAS



civil engineering
landscape architecture
land planning
surveying

SAND CREEK

Engineering and Landscape Architecture, Inc.

Bentonville, Arkansas (479) 464-9282

Date: February 9, 2016

Job # 14070

PROJECT: Lot 2 of Belle Heights Subdivision located at SW 12th St
Parcel No. 01-01278-000

RE: Waiver of driveway separation, street frontage landscape buffer and sideyard landscape buffers.

Bentonville Planning:

The owner of the above referenced property would like to request a waiver of the following requirements:

Driveway Separation - Due to the location of the curb cut of the adjacent lot in the existing development, we cannot meet the driveway separation requirement. The required separation is 100 feet. The lot is 104.93 feet wide and the adjacent drive is one foot from the property line.

Street Frontage Greenspace Buffer - Due to the lot configuration, we are requesting a reduction of nine feet to the front greenspace buffer. This allows the required parking spaces, drive and sidewalk configuration for the site.

Sideyard Greenspace Buffers - Due to the limited width of the lot, the ability to access and park the required number of spaces and meet the interior greenspace requirements and the sideyard buffers cannot be met. The sideyard buffers are proposed to be 5' instead of the required 7'. The site layout has been coordinated with staff through several iterations to present what we feel is the best configuration for development of this lot.

Thank you for your consideration of these requests.

Sincerely,

Jayne Sablotne/Project Manager
Sand Creek Engineering