



**Planning Commission
Agenda
February 20, 2018**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**

- 1. Lots 39, 42, 43, & 64-66 Wildwood Subdivision Phase VI** **Lot Split**
SW Morningstar Road (*LS18-0002*)
- 2. Lots 1 & 2 Grimsley Addition** **Lot Split**
6349 Lee Harris Road (*LS18-0007*)
- 3. Lot 28 Crabtree Addition** **Property Line Adjustment**
807 NW A Street (*PLA18-0003*)
- 4. Lot 27 Crabtree Addition** **Property Line Adjustment**
811 NW A Street (*PLA17-0009*)
- 5. Gateway Park Warehouse 4** **Large Scale Development Extension**
SW Regional Airport Boulevard (*LSD17-00037*)

IV. New Business

- 6. McDonald** **Rezoning***
(A-1, Agricultural to R-1, Single-Family Residential)
9688 Haxton Road (*RZ18-0004*)
- 7. NWA Trailblazers** **Rezoning***
(A-1, Agricultural to C-1, Neighborhood Commercial)
Punkin Hollow Road (*RZ18-0005*)
- 8. Crystal Flats Greenhouse** **Conditional Use***
NE John DeShields Boulevard (*CU18-0002*)
- 9. SE Phyllis Street Maintenance Yard** **Conditional Use***
SE Phyllis Street (*CU18-0003*)
- 10. Coler Mountain Bike Preserve** **Conditional Use***
Punkin Hollow Road (*CU18-0004*)

11. Coler Homestead

NW 12th Drive (*LSD18-0005*)

Large Scale Development

12. SE Phyllis Street Maintenance Yard

SE Phyllis Street (*LSD18-0006*)

Large Scale Development

V. Other Business

VI. Planner's Report

VII. Adjournment

Planning Commission
Minutes
February 6, 2018

Meeting called to order at 5:00 p.m. by Rod Sanders, Chairman

Present: Joe Haynie, Elaine Kerr, Scott Eccleston, Jim Grider, Rod Sanders, Tregg Brown, and
Richard Binns
Staff: Jon Stanley and Tyler Overstreet

Motion by Mr. Haynie, seconded by Mr. Grider to approve the minutes of January 16, 2018 as written
Approved 7-0

Consent Agenda

- | | |
|---|-----------------------------------|
| 1. Coler Creek Subdivision Phase II | Preliminary Plat |
| Southwest 2 nd Street, PP18-0002 | |
| 2. Slim Chickens | Large Scale Development |
| Southeast Eagle Way, LSD18-0003 | |
| 3. Thaden Barn | Large Scale Development Extension |
| Southeast C Street, LSD17-00032 | |

Approved 7-0

New Business

Item #1

Ball: Rezoning, Southeast 22nd Street & Southeast G Street, PUD, Planned Unit Development to C-2,
General Commercial, RZ18-0001

Tyler Overstreet reads the staff report.

Opened public hearing

No public comments

Closed public hearing

Approved 7-0

Item #2

Hammack Estate: General Plan Amendment, 217 NW A Street, High Density Residential to Mixed Use,
GPA18-0001

Tyler Overstreet reads the staff report.

Opened public hearing

No public comments

Closed public hearing

There is some discussion between the Commissioners.

Approved 7-0

Item #3

Aurora Subdivision: Planned Residential Development, South Morningstar Road, R-1, Single Family Residential to PRD, Planned Residential Development, PRD17-0100

Tyler Overstreet reads the staff report.

Opened public hearing

No public comments

Closed public hearing

Mr. Haynie states that the Variances voted for in Board of Adjustment were no greater than what has been voted on previous projects.

Approved 7-0

Item #4

Coolwag Daycare: Large Scale Development, 1100 NE J Street, LSD18-0001

Tyler Overstreet reads the staff report.

The Commissioners state that they still have issues with certain items on the project. The applicant states they are working on a redesign.

There continues to be discussion between the Commissioners and the applicant on aesthetics.

Mr. Sanders states that there will be a special meeting at Tech Review next Tuesday, February 13, 2018 with a revised set of plans.

Motion by Mr. Grider, seconded by Mr. Haynie to table the item.

Tabled 7-0

Item #5

The ROC: Large Scale Development Extension, Southeast 11th Street, LSD17-00022

Tyler Overstreet reads the staff report.

Approved 7-0

Other Business

Item #1

Statement of Financial Interest Form-needs to be completed and returned to Mr. Stanley.

Item #2

By-laws- vote at March 6th Meeting

Mr. Stanley explains further on the Mixed Use plan amendment proposed by Hammack Estate.

There is discussion between the Commissioners on protocols.

Th

Motion by Mr. Grider, seconded by Mr. Haynie to adjourn

Meeting adjourned

Ali Worley

*A copy of this recording can be obtained from the Bentonville Planning Department.

Planning Commission
Minutes
February 13, 2018

Special meeting called to order at 4:30 p.m. by Rod Sanders, Chairman

Present: Joe Haynie, Elaine Kerr, Scott Eccleston, Jim Grider, Rod Sanders, Tregg Brown, and
Richard Binns

Staff: Jon Stanley and Tyler Overstreet

Old Business

Item #1

Coolwag Daycare: Large Scale Development, 1100 NE J Street, LSD18-0001

Tyler Overstreet reads the staff report.

There is discussion between the Commissioners.

Approved 7-0

Motion by Mr. Grider, seconded by Mr. Haynie to adjourn

Meeting adjourned

Ali Worley

*There is no recording for this meeting.



Consent Agenda Items

For Planning Commission meeting of February 20, 2018

Reviewer: Tyler Overstreet, Planner

- ❖ At the Technical Review meeting held on February 13, 2018 the Planning Commission requested these items be placed on the Consent agenda. The descriptions below shall serve as the staff report for each of the consent agenda items.

Lot Split: Lots 39, 42, 43, & 64-66 Wildwood Subdivision Phase VI, Dream Structures Residential, LLC, SW Morningstar Road, R-1, Single-Family Residential

The applicant has submitted a lot split for an approximately 3.51 acre area, splitting Lot 27 of Wildwood Subdivision Phase VI and creating Lots 39, 42, 43, and 64-66 of Wildwood Subdivision Phase VI. Per the City's GIS website, public water and sewer are available to all lots created by this subdivision. The average lot size is approximately .26 acres. A 20 ft. utility easement will be dedicated per this plat. *(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)*

Lot Split: Lots 1 & 2 Grimsley Addition, Carolyn Grimsley, 6349 Lee Harris Road, A-1, Agricultural

The applicant has submitted a lot split for an approximately 66.75 acre area, creating Lots 1 & 2 of Grimsley Addition. Each lot will have access to a public street and public utilities. Right-of-way along SW Lee Harris Road and SW Regional Airport Boulevard will be dedicated per the plat. A 20 ft. utility easement along the northern and western property lines will be dedicated per the plat. *(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)*

Property Line Adjustment: Lot 28 Crabtree Addition, Gregory Luka, 807 NW A Street, R-1, Single-Family Residential

The applicant has submitted a property line adjustment removing the common lot line between Lots 13 & 16 of Crabtree Addition, creating Lot 28 of Crabtree Addition. The new lot has access to a public street and public utilities. Right-of-way along NW A Street will be dedicated per the plat. A 10 ft. general utility easement along the western property line will be dedicated per the plat. *(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)*

Property Line Adjustment: Lot 27 Crabtree Addition, Timothy Kenyon, 811 NW A Street, R-1, Single-Family Residential

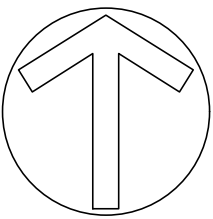
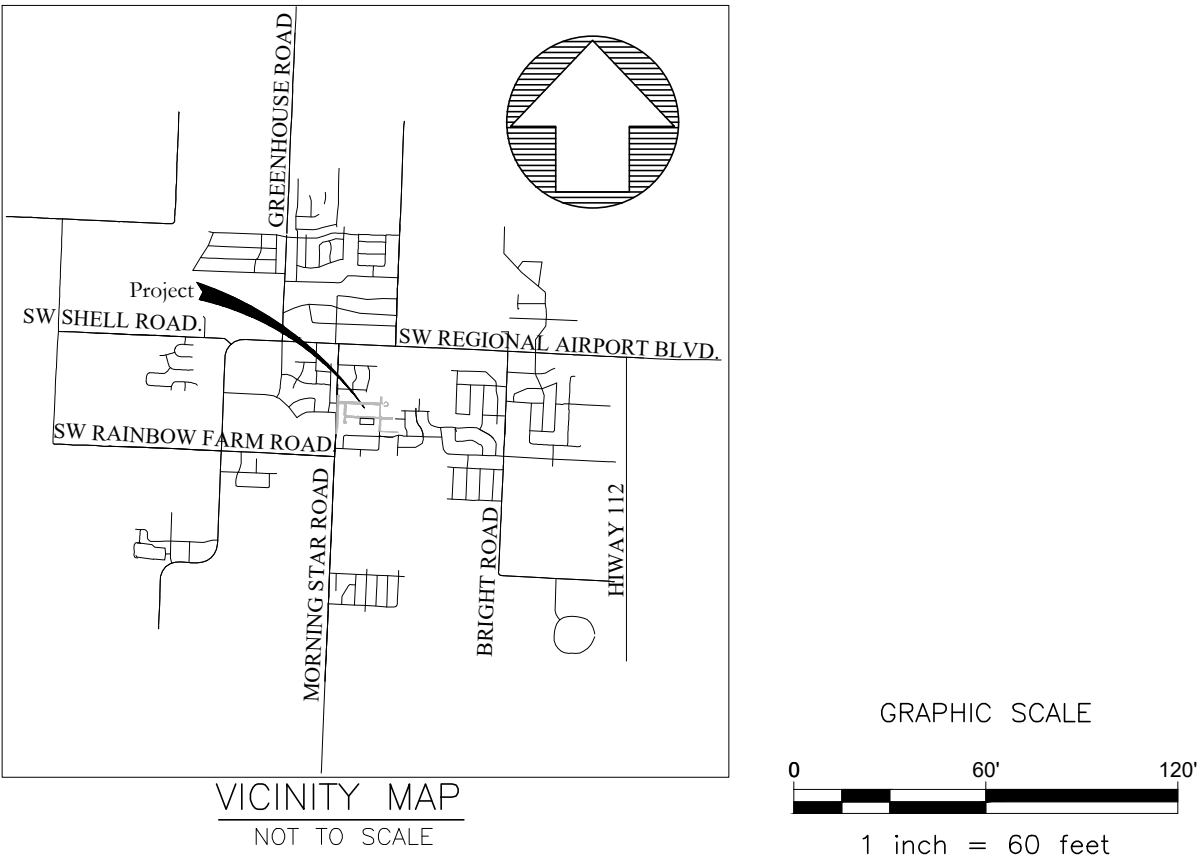
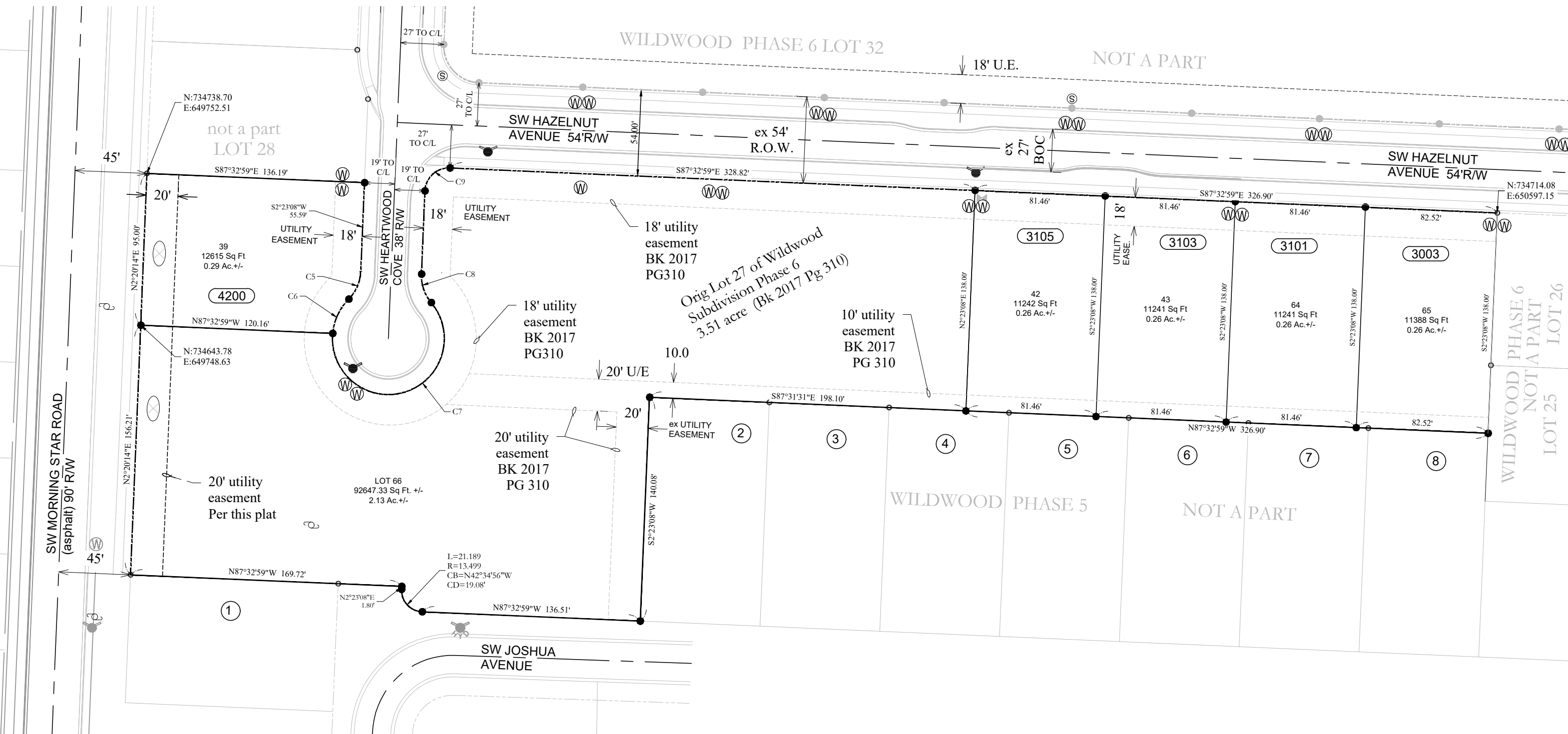
The applicant has submitted a property line adjustment removing the common lot line between Lots 8 & 9 of Crabtree Addition, creating Lot 27 of Crabtree Addition. The new lot has access to a public street and public utilities. Right-of-way along NW A Street will be dedicated per the plat. *(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)*

Large Scale Development Extension: Gateway Park Warehouse 4, Crossmar Investments, SW Regional Airport Boulevard, I-1, Light Industrial

This item was originally approved by the Planning Commission on August 15, 2017.

The applicant has submitted a large scale development extension for a 170,300 sq. f.t, 43 ft. tall, office/warehouse facility located at 5300 SW Regional Airport Boulevard. One hundred fifty-two (152) parking spaces are being provided. Two points of access are proposed, one onto SW Regional Airport Boulevard and one onto SW Vendor Boulevard. Cross access will be provided to the north and west for future development. Sidewalks will be installed along both street frontages. The primary materials depicted for the exterior elevations include concrete tilt-up panels, stone veneer and glass.

LOT SPLIT OF LOT 27 OF WILDWOOD PH6 SUBDIVISION CREATING LOTS 39, 42, 43, 64, 64, & 66



- LEGEND**
- SET IRON PIN
 - FOUND IRON PIN
 - PR LOT LINE
 - LOT LINE EXISTING
 - EX CENTERLINE
 - EX EASEMENT LINE
 - PR EASEMENT LINE
 - EXISTING R/W
 - ADJACENT TO LOT
 - EXISTING R/W-OFFSITE
 - EX WATER METER
 - EX FIRE HYDRANT
 - EX SANITARY MANHOLE
 - EX WATER VALVE
 - STREET ADDRESS

ADJACENT PROPERTY OWNERS

#1 01-16324-003
HENLEY, SAMUEL & SARAH
4300 SW BOXELDER ST
BENTONVILLE AR 72712-4496

#2 01-16325-000
GEORGE, STEVEN M & JANIS A
3204 SW JOSHUA AVE
BENTONVILLE AR 72712-4386

#3 01-16325-001
MARTIN, JARED A & KENDRA
3202 SW JOSHUA AVE
BENTONVILLE AR 72712-4386

#4 01-16325-002
OTTER, BRENT L & OTTER, SANDRA E
3200 SW JOSHUA AVE
BENTONVILLE AR 72712-4386

#5 01-16325-003
ATHAWALE, NIRAJ MADHAV &
PRAJAKTA NIRAJ
3104 SW JOSHUA AVE
BENTONVILLE AR 72712-5385

#6 01-16306-000
LANE, BRYAN W & BRANDY B
3102 SW JOSHUA AVE
BENTONVILLE AR 72712-5385

#7 01-16307-000
MULLEN, LINDSEY & BOBBY
3100 SW JOSHUA AVE
BENTONVILLE AR 72712-5385

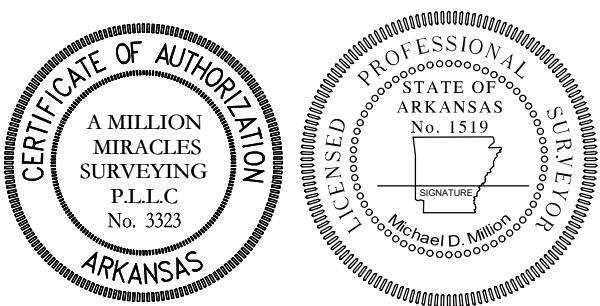
#8 01-16308-000
AVERY, SCOTT & JACQUELINE
3002 SW JOSHUA AVE
BENTONVILLE AR 72712-5467

ALL OTHER INTERIOR LOTS ADJACENT
TO SAID LOT 27 ARE OWNED BY DREAM
STRUCTURES RESIDENTIAL LLC
PO BOX 39
LOWELL AR 72745-0039

SEC-11, T-19-N, R-31W
ATLAS PAGE #403
BENTONVILLE, AR

CERTIFICATE OF SURVEY AND ACCURACY:
I HEREBY CERTIFY THAT THE PLAN SHOWN AND
DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY
AND THAT THE MONUMENTS HAVE BEEN PLACED AS
STATED HEREON AS REQUIRED BY THE SUBDIVISION
REGULATIONS OF THE CITY OF BENTONVILLE, BENTON
COUNTY, ARKANSAS.

DATE MICHAEL D. MILLION, PLS #1519
PROFESSIONAL LAND SURVEYOR



A MILLION MIRACLES SURVEYING P.L.L.C.
Eric Heller, Project Manager
129 W Boles St., Apt. A
eric@amms-pllc.com
PHONE: (479) 387-4361

Mike Million, Project Manager
129 W Boles St., Apt. A
mike@amms-pllc.com

LOT SPLIT OF LOT 27
PER SUBDIVISION OF WILDWOOD
PH6 BOOK 2017 PAGE 310 (04/14/2017)

FOR:
DREAM STRUCTURES
STEVE FISCHER
PO BOX 49
LOWELL, AR

DATE: 1/29/2018
SCALE: 1"=60'
DRWN BY: ETH
JOB: 01-04-18
FC: JW
REVIEW BY:
MDM
SHEET: 1 OF 1
City of Bentonville
Project #
LS18-0002

- GENERAL NOTES**
- BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITH-IN THE RIGHT-OF-WAY".
 - OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.
 - SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE
 - ALL NEW STRUCTURES MUST MAINTAIN MINIMUM OF 20' CLEARANCES FROM ALL ELECTRIC LINES.
 - NO PUBLIC ELECTRIC IMPROVEMENTS ARE PART OF THIS PLAT APPROVAL, ANY FUTURE STRUCTURES MUST BE APPROVED BY BEUD PRIOR TO A BUILDING PERMIT
 - THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.

CERTIFICATE OF APPROVAL
PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS
AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN
COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS
CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY
OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

BENTONVILLE PLANNING COMMISSION CHAIRMAN

MAYOR, CITY OF BENTONVILLE

CITY CLERK, CITY OF BENTONVILLE

BASIS OF BEARING:
ARKANSAS STATE PLANE,
NORTH ZONE, NAD 83 GRID, PER
G.P.S. OBSERVATIONS FROM
CITY OF BENTONVILLE G.I.S.
MONUMENTS #86, #82 AND #15.

FLOOD ZONE:
THIS PROPERTY IS LOCATED IN ZONE X, BEING
OUTSIDE THE 100-YEAR FLOOD ZONE, AS
GRAPHICALLY DEPICTED ON F.I.R.M. MAP NUMBER
05007C0255K DATED JUNE 5, 2012.

Curve Table					
Curve #	Length	Radius	Delta	Chd Brg	Chd Length
C5	19.27	26.00	42.46	S23°37'02"W	18.83'
C6	24.14	35.00	39.52	S25°05'15"W	23.67'
C7	137.69	35.00	225.40	N72°37'26"E	64.58'
C8	19.27	26.00	42.46	N18°50'47"W	18.83'
C9	23.90	14.34	95.51	N47°25'24"E	21.23'

- Dedicated 20' utility easement per this Lot Split along SW Morning Star Road
- Front 18' utility easement was dedicated per Final Plat of Wildwood Sundivision in BK 2017 PG 310

ORIGINAL SURVEY DESCRIPTION LOT 27

LOT 27 OF THE FINAL PLAT OF WILDWOOD PH6
SUBDIVISION CONTAINING 152,766.2 SF, OR 3.51 AC.+/-,
MORE OR LESS. FILED IN BOOK 2017 PAGE 310
(04/14/2017) IN THE OFFICE OF THE CIRCUIT CLERK AND
EX-OFFICIO RECORDER, CITY OF BENTONVILLE, BENTON
COUNTY, ARKANSAS. SUBJECT TO ANY EXISTING
EASEMENTS, COVENANTS, OR RESTRICTIONS OF
RECORD OR FACT.

NOTES:

1. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.

2. BASIS OF BEARINGS: ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE.

3. DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

4. THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.

5. THE PROPERTY SHOWN HEREON IS ZONED A-1 (AGRICULTURAL) AND IS WITHIN THE CITY LIMITS OF BENTONVILLE, ARKANSAS. THE FRONT, SIDE AND REAR YARD REGULATIONS ARE AS FOLLOWS:

FRONT YARD: 30 FEET
SIDE YARD: 30 FEET
REAR YARD: 30 FEET

6. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.

7. SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.

8. THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.

9. OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.

10. BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.

PARENT TRACT:

A PART OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$), AND A PART OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE NE CORNER OF THE NE $\frac{1}{4}$ OF SAID SECTION 21; THENCE S02°18'16"W 85.47 FEET TO THE POINT OF BEGINNING; THENCE S02°18'16"W 2550.23 FEET; THENCE N87°12'18"W 608.99 FEET; THENCE N15°00'23"W 395.82 FEET; THENCE N35°40'23"W 237.00 FEET; THENCE N86°45'23"W 398.88 FEET TO THE EAST RIGHT-OF-WAY LINE OF SW LEE HARRIS ROAD; THENCE ALONG SAID EAST RIGHT-OF-WAY LINE THE FOLLOWING COURSES: N04°12'20"E 93.18 FEET; THENCE N06°20'29"E 104.14 FEET; THENCE N02°52'30"E 143.89 FEET; THENCE N01°33'20"E 390.11 FEET; THENCE N02°03'46"E 856.57 FEET; THENCE N06°32'06"E 84.32 FEET; THENCE N12°27'35"E 181.32 FEET; THENCE N06°41'43"E 142.47 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SW AIRPORT BOULEVARD; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE S85°58'59"E 400.10 FEET; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE S87°12'39"E 822.39 FEET TO THE POINT OF BEGINNING, CONTAINING 2,907,483.19 SQUARE FEET OR 66.75 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

LOT 1:

A PART OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$), AND A PART OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS:

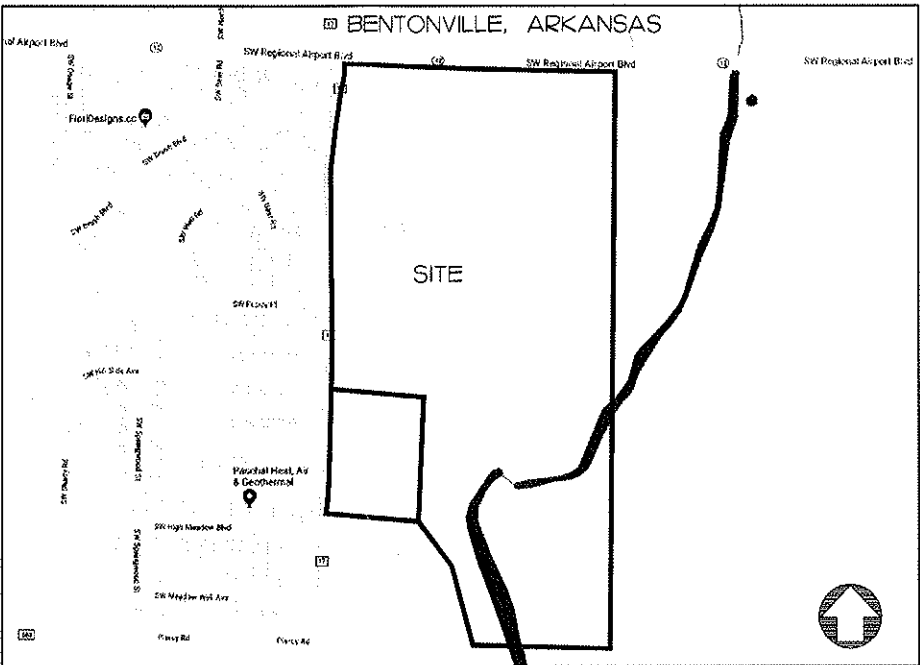
COMMENCING AT THE NE CORNER OF THE NE $\frac{1}{4}$ OF SAID SECTION 21; THENCE S02°18'16"W 85.47 FEET TO THE POINT OF BEGINNING; THENCE S02°18'16"W 2550.23 FEET; THENCE N87°12'18"W 608.99 FEET; THENCE N15°00'23"W 395.82 FEET; THENCE N35°40'23"W 237.00 FEET; THENCE N86°45'23"W 49.03 FEET; THENCE N02°56'14"E 631.54 FEET; THENCE N86°45'23"W 348.77 FEET TO THE EAST RIGHT-OF-WAY LINE OF SW LEE HARRIS ROAD; THENCE ALONG SAID EAST RIGHT-OF-WAY LINE THE FOLLOWING COURSES: N01°33'20"E 99.49 FEET; THENCE N02°03'46"E 856.57 FEET; THENCE N06°32'06"E 84.32 FEET; THENCE N12°27'35"E 181.32 FEET; THENCE N06°41'43"E 142.47 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SW AIRPORT BOULEVARD; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE S85°58'59"E 400.10 FEET; THENCE CONTINUING ALONG SAID SOUTH RIGHT-OF-WAY LINE S87°12'39"E 822.39 FEET TO THE POINT OF BEGINNING, CONTAINING 2,689,680.71 SQUARE FEET OR 61.75 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

LOT 2:

A PART OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE NE CORNER OF THE NE $\frac{1}{4}$ OF SAID SECTION 21; THENCE S02°18'16"W 2635.70 FEET; THENCE N87°12'18"W 608.99 FEET; THENCE N15°00'23"W 395.82 FEET; THENCE N35°40'23"W 237.00 FEET; THENCE N86°45'23"W 49.03 FEET TO THE POINT OF BEGINNING; THENCE N86°45'23"W 349.85 FEET TO THE EAST RIGHT-OF-WAY LINE OF SW LEE HARRIS ROAD; THENCE ALONG SAID EAST RIGHT-OF-WAY LINE THE FOLLOWING COURSES: N04°12'20"E 93.18 FEET; THENCE N06°20'29"E 104.14 FEET; THENCE N02°52'30"E 143.89 FEET; THENCE N01°33'20"E 292.62 FEET; THENCE LEAVING SAID EAST RIGHT-OF-WAY LINE S86°45'23"E 348.77 FEET; THENCE S02°56'14"W 631.54 FEET TO THE POINT OF BEGINNING, CONTAINING 2,180,248 SQUARE FEET OR 50.00 ACRES, MORE OR LESS, AND

LOT SPLIT: GRIMSLEY ADDITION



VICINITY MAP
(N.T.S.)

FLOOD CERTIFICATION:

I CERTIFY THAT I HAVE EXAMINED THE F.I.A. OFFICIAL FLOOD INSURANCE HAZARD RATE MAP PANEL NO. 05007C0235K AND 05007C0245K (EFFECTIVE DATE JUNE 5, 2012) AND FOUND PART OF THE DESCRIBED PROPERTY HEREON LIES IN ZONE "AE", AN AREA WITHIN THE 100-YEAR FLOOD PLAIN.

CERTIFICATE OF SURVEY ACCURACY:

I, ROBERT J. CASTER HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION _____

SIGNED: _____
REGISTERED LAND SURVEYOR
NO. 1370
STATE OF ARKANSAS

CERTIFICATE OF OWNERSHIP AND DEDICATION:

WE, THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____

PRINT NAME: _____

SIGNATURE: _____

STATE OF ARKANSAS, COUNTY OF BENTON, SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CERTIFICATE OF APPROVAL:

PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

SIGNED _____
PLANNING COMMISSION CHAIRPERSON

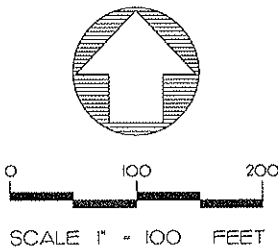
DATE OF EXECUTION: _____

SIGNED _____
MAYOR, CITY OF BENTONVILLE

SIGNED _____
CITY CLERK, CITY OF BENTONVILLE

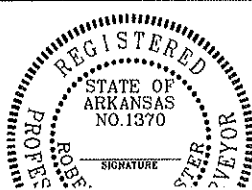
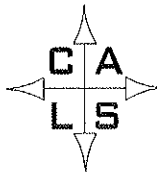
ATLAS PAGE: NO. 563

STATE SURVEY CODE: 500-19N-31W-0-2100-04-1370



CITY OF BENTONVILLE PROJECT #LSB-0007

CASTER & ASSOCIATES
LAND SURVEYING, INC.
2715 SE 1st Street, Suite 5
Bentonville, AR 72712
Telephone 479-268-4464



SCALE: 1" = 100'

DATE: 1-26-18

LOT SPLIT
GRIMSLEY ADDITION

6349 SW LEE HARRIS ROAD
BENTONVILLE, BENTON COUNTY

LEGEND

- FOUND REBAR
- ⊙ WATER METER
- ⊙ GAS METER
- ⊙ AIR COND. UNIT
- CHAINLINK FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CENTER LINE

FLOOD CERTIFICATION:

I CERTIFY THAT I HAVE EXAMINED THE F.I.A. OFFICIAL FLOOD INSURANCE HAZARD RATE MAP PANEL NO. 05007C0090J (EFFECTIVE DATE SEPTEMBER 28, 2007) AND FOUND THE DESCRIBED PROPERTY HEREON LIES IN ZONE "X", AN AREA HAVING NO SPECIAL FLOOD HAZARDS.

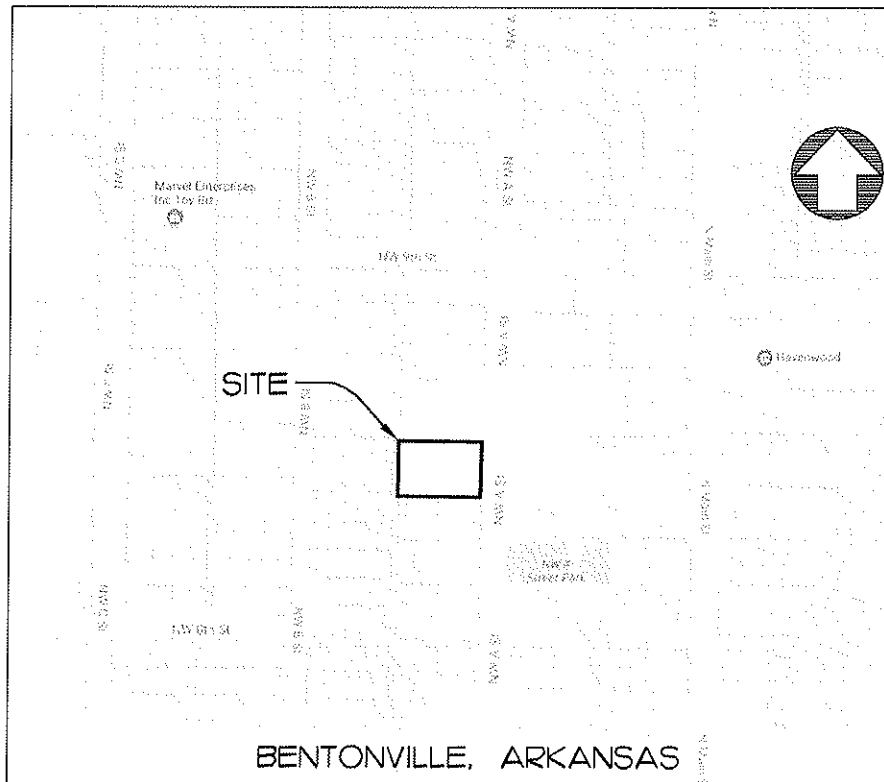
PARENT TRACT:

LOTS 13 AND 16 OF CRABTREE ADDITION, CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AS SHOWN ON PLAT BOOK "A", PAGE 109 OF THE BENTON COUNTY RECORDS.

NEW LOT 28:

LOTS 13 AND 16 OF CRABTREE ADDITION, CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AS SHOWN ON PLAT BOOK "A", PAGE 109 OF THE BENTON COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS:

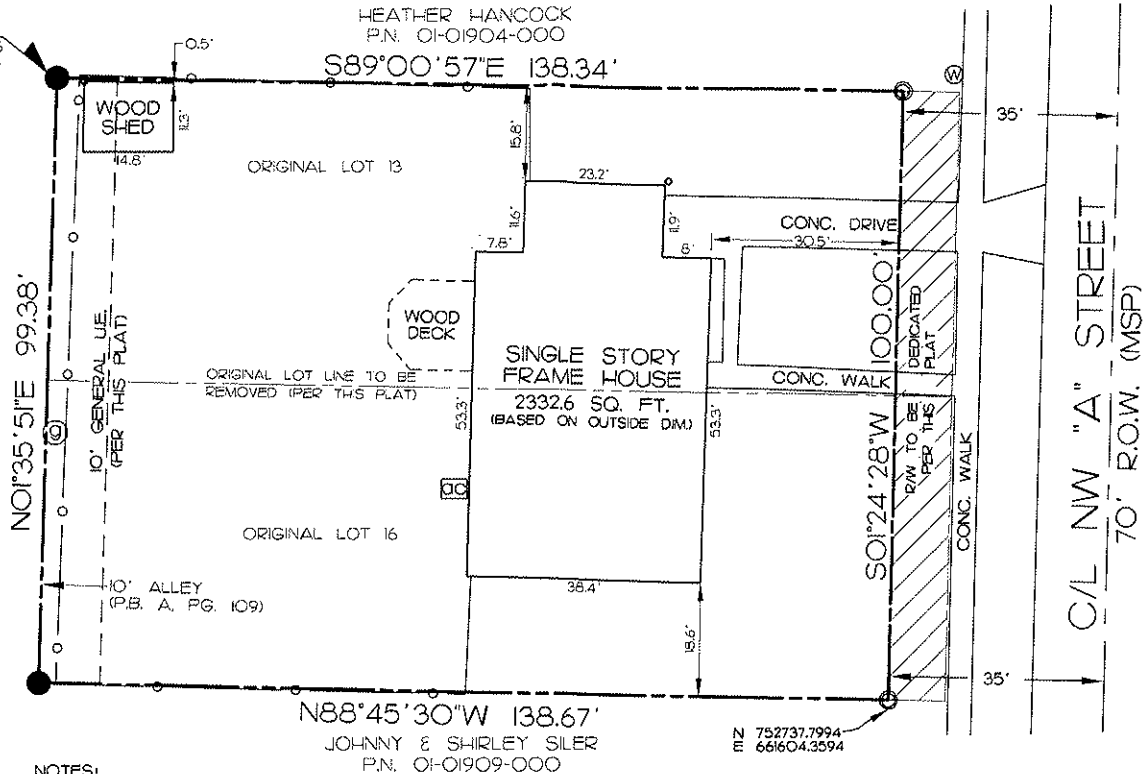
BEGINNING AT THE NW CORNER OF SAID LOT 13, THENCE S89°00'57"E 138.34 FEET TO THE WEST RIGHT-OF-WAY LINE OF NW "A" STREET, THENCE ALONG SAID WEST RIGHT-OF-WAY LINE S01°24'28"W 100.00 FEET, THENCE LEAVING SAID WEST RIGHT-OF-WAY LINE N88°45'30"W 138.67 FEET, THENCE N01°35'51"E 99.38 FEET TO THE POINT OF BEGINNING, CONTAINING 13,807.09 SQUARE FEET OR 0.32 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.



NEW LOT 28
13,807.09 SQ. FT.
OR
0.32 ACRES±
P.N. 01-01907-000
ZONE R-1

STEPHEN DICKEY
P.N. 01-01906-000

P.O.B.
N 752840.1456
E 661468.4952



NOTES:

- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
- BASIS OF BEARINGS: ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE.
- DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
- THE PROPERTY SHOWN HEREON IS ZONED R-1 (SINGLE FAMILY RESIDENTIAL) AND IS WITHIN THE CITY LIMITS OF BENTONVILLE, ARKANSAS. THE FRONT, SIDE AND REAR YARD REGULATIONS ARE AS FOLLOWS:
GARAGE: 30 FEET
FRONT YARD: 20 FEET
SIDE YARD: 7 FEET (INTERIOR), 20 FEET (EXTERIOR)
REAR YARD: 25 FEET
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
- SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.
- OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.
- BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
- THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.
- IF THE HOME IS DEMOED PRIOR TO THE PLAT BEING RECORDED, IT WILL NEED TO BE UPDATED ACCORDINGLY.

CERTIFICATE OF SURVEY ACCURACY:

I, ROBERT J. CASTER HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION _____

SIGNED: _____

REGISTERED LAND SURVEYOR
NO. 1370
STATE OF ARKANSAS

CERTIFICATE OF AUTHORIZATION
COA CERTIFICATE NUMBER: 3049

CERTIFICATE OF OWNERSHIP AND DEDICATION:

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____

PRINT NAME: _____

SIGNATURE: _____

STATE OF ARKANSAS, COUNTY OF BENTON, SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CERTIFICATE OF APPROVAL:

PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

SIGNED _____

PLANNING COMMISSION CHAIRPERSON

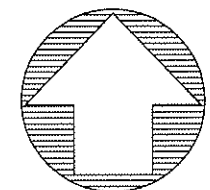
DATE OF EXECUTION: _____

SIGNED _____

MAYOR, CITY OF BENTONVILLE

SIGNED _____

CITY CLERK, CITY OF BENTONVILLE



0 30 60
SCALE 1" = 30 FEET

CITY OF BENTONVILLE PROJECT #PLA18-0003

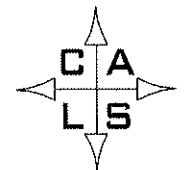
CASTER & ASSOCIATES

LAND SURVEYING, INC.

2715 SE 1st Street, Suite 5

Bentonville, AR 72712

Telephone 479-268-4464



SCALE: 1" = 30'

DATE: 1-26-18

PROPERTY LINE ADJUSTMENT:
LOTS 13 & 16
CRABTREE ADDITION
CREATING LOT 28

807 NW "A" STREET
BENTONVILLE, BENTON COUNTY,
ARKANSAS

JOB #	DRAWN BY:	CHK'D BY:	PAGE
17-008PLA	ASD	RJC	1 OF 1

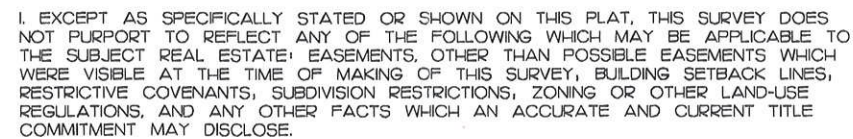
	FOUND REBAR
	SET 1/2" REBAR (PLS #370)
	WATER METER
	UTILITY POLE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SETBACK LINE

I CERTIFY THAT I HAVE EXAMINED THE F.I.A. OFFICIAL FLOOD INSURANCE HAZARD RATE MAP PANEL NO. 05007CO090J (EFFECTIVE DATE SEPTEMBER 28, 2007) AND FOUND THE DESCRIBED PROPERTY HEREON LIES IN ZONE 'X', AN AREA HAVING NO SPECIAL FLOOD HAZARDS.

THE SOUTH 11.00 FEET OF LOT 8 AND THE NORTH 46.00 FEET OF LOT 9, CRABTREE ADDITION, CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AS RECORDED IN PLAT BOOK "A", PAGE 109 OF THE BENTON COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS:

THE SOUTH 11.00 FEET OF LOT 8 AND THE NORTH 46.00 FEET OF LOT 9, CRABTREE ADDITION, CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AS RECORDED IN PLAT BOOK "A", PAGE 109 OF THE BENTON COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS:

BENTONVILLE, ARKANSAS



3. DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

4. THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.

5. THE PROPERTY SHOWN HEREON IS ZONED R-1 (SINGLE FAMILY RESIDENTIAL) AND IS WITHIN THE CITY LIMITS OF BENTONVILLE, ARKANSAS. THE FRONT, SIDE AND REAR YARD REGULATIONS ARE AS FOLLOWS:

GARAGE: 30 FEET
FRONT YARD: 20 FEET
SIDE YARD: 7 FEET (INTERIOR), 20 FEET (EXTERIOR)
REAR YARD: 25 FEET

6. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.

7. SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.

8. OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.

9. BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITH-IN THE RIGHT-OF-WAY.

9. THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.

II. IF THE HOME IS DEMOED PRIOR TO THE PLAT BEING RECORDED, IT WILL NEED TO BE UPDATED ACCORDINGLY.

I, ROBERT J. CASTER HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

SIGNED: _____
REGISTERED LAND SURVEYOR
NO. 1370
STATE OF ARKANSAS

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

PRINT NAME: _____

SIGNATURE: _____

STATE OF ARKANSAS, COUNTY OF BENTON, SUBSCRIBED AND SWORN
BEFORE ME THIS _____ DAY OF _____, 20__.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

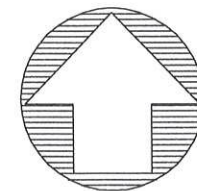
DATE OF EXECUTION: _____

SIGNED _____
PLANNING COMMISSION CHAIRPERSON

DATE OF EXECUTION: _____

SIGNED _____
MAYOR, CITY OF BENTONVILLE

SIGNED _____
 TY CLERK, CITY OF BENTONVILLE



0 30 60

SCALE 1" = 30 FEET

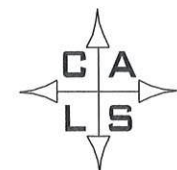
CITY OF BENTONVILLE PROJECT #PLA17-0009

LAND SURVEYING, INC.

2715 SE 1st Street, Suite 5

Bentonville, AR 72712

Telephone 479-268-4464

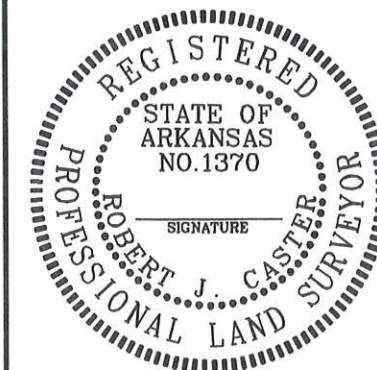


SCALE: 1" = 30'

DATE: 1-9-18

PROPERTY LINE ADJUSTMENT:
PART LOTS 8 & 9
CRABTREE ADDITION
CREATING LOT 27

811 NW "A" STREET
BENTONVILLE, BENTON COUNTY,
ARKANSAS



JOB # 17-122PLA	DRAWN BY: ASD	CHK'D BY: RJC	PAGE 1 OF 1
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MORRISON SHIPLEY

ENGINEERS • SURVEYORS

Mr. Jon Stanley
Planning Department
City of Bentonville
305 S.W. "A" Street
Bentonville, AR 72712

February 5, 2018

Re: LSD Approval Extension Request
Gateway Park Warehouse 4

Jon,

On behalf of Crossmar Investments, MSE respectfully requests an extension of the Large-Scale Development approval issued on August 15, 2017. The developer has been working with Black Hills Energy to get an existing gas line relocated. The building 4 footprint is situation on top of the utility easement, and it is the developers desire to relocate the gas line to allow for more contiguous land to build on. The easement vacation is, as of today, in the process of being vacated, and should be vacated by time the extension is approved.

If you have questions or need additional information, you may reach me at (479) 273-2209.

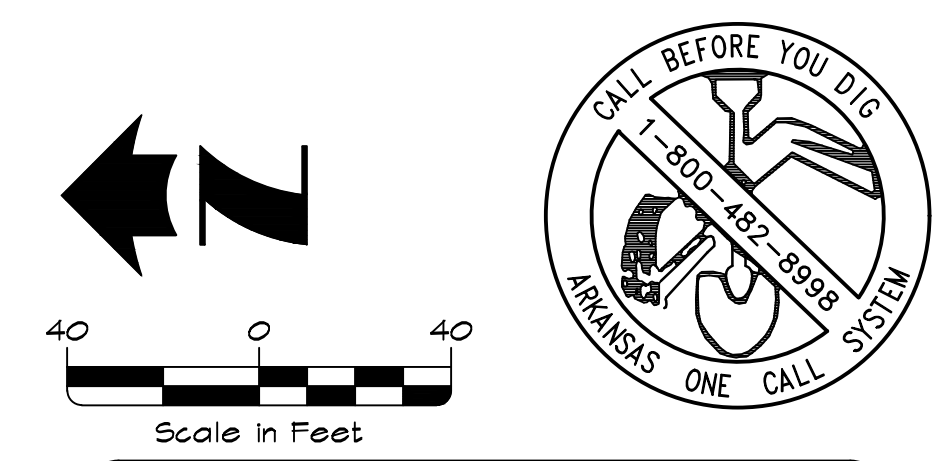
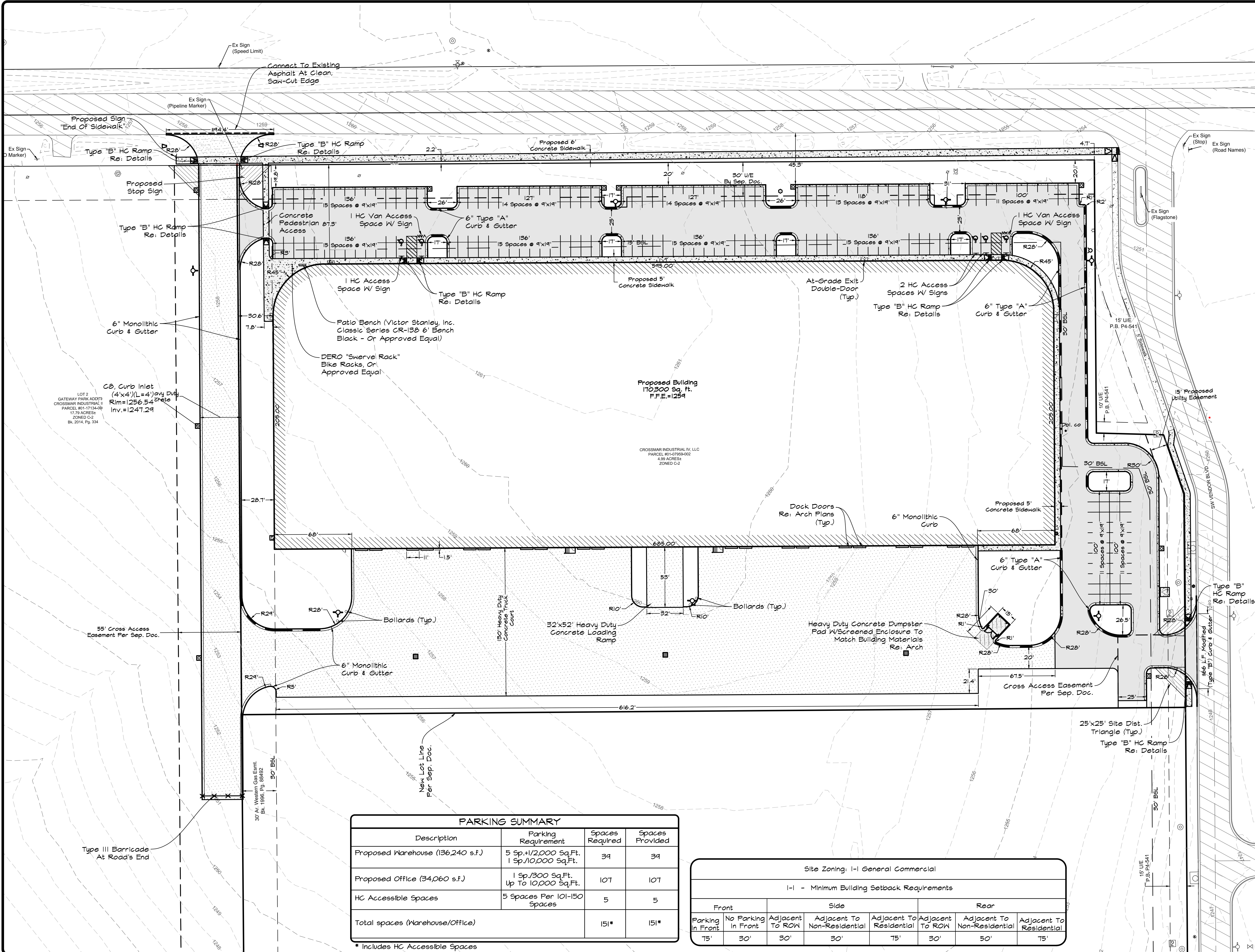
Sincerely,

Morrison-Shipley Engineers, Inc.

Patrick Foy, E.I.
Project Manager

2407 S.E. Cottonwood Street
Bentonville, AR 72712
479.273.2209 ■ Fax 479.273.2553
Morrisonshipley.com

Drawing Name: P:\CH-07\DWG\CH-07 Plan Sheets.dwg Last Modified: Aug 11, 2017 - 9:24am Plotted on: Aug 11, 2017 - 9:25am By: dslouche



SITE DIMENSION LEGEND	
	Proposed Building
	Proposed Asphalt Pavement with 6" Type "A" Curb & Gutter
	6" Type "A" Conc. Curb & Gutter
	6" Monolithic Curb
	Proposed Heavy Duty Concrete Paving
	Proposed Heavy Duty Concrete Dumpster Pad
	Proposed Concrete Sidewalk
	Proposed Handicap Ramp, Type "B"
	Proposed Sign, See Plan For Type Accessible Parking Symbol
	Site Triangle
	Boundary Line
	Road Centerline
	Existing Overhead Electric Line
	Existing Gas Meter
	Existing Water Valve
	Existing Fire Hydrant
	Found Rebar, As Noted
	Set 1/2" Rebar, PS 1642
	Existing Asphalt Pavement with Conc. Curb & Gutter
	Existing Concrete, As Noted
	Existing Sewer Manhole
	Existing Electric Transformer
	Existing Electric Meter
	Existing Drainage Manhole
	Existing Power Pole
	Existing Light Pole
	Existing Water Meter
	Existing Fiber Optic Pedestal
	Proposed Fire Striping

- Site General Notes:
1. The Contractor Shall Be Solely And Completely Responsible For Conditions Of The Job Site, Including Safety Of All Persons And Property During All Phases Of Construction Of This Site. This Requirement Shall Apply Continuously And Shall Not Be Limited To Construction Working Hours.
 2. It Is The Contractor's Responsibility To Take All Precautions Necessary To Avoid Property Damage To Adjacent Properties During The Construction Phases Of This Project.
 3. All Dimensions, Unless Otherwise Noted, Are To The Back Of Curb, Face Of Building, Edge Of Pavement, Or Centerline Of Stripe. All Radii are 5' Unless Otherwise Noted.
 4. Contractor Shall Coordinate And Comply With All Utility Companies Involved In Project And Pay All Required Fees And Costs.
 5. Unless Otherwise Noted, All Curb Shall Be 6" Type "A" Concrete Curb And Gutter. Refer To Detail Sheets.
 6. See Architectural Plans For Exact Building Dimensions and Layout.
 7. Proposed Sidewalks Shall Be A Minimum Of 5' Wide Unless Otherwise Noted.
 8. Refer To Architectural Plans For Details Of The Proposed Entrance Sign.
 9. All Construction Shall Conform To The City Of Bentonville Development Regulations.
 10. All Signs, Pavement Markings, And Striping Shall Conform To The Manual Of Uniform Traffic Control Devices (MUTCD) Standards And Regulations.
 11. Contractor Must Obtain A Permit Prior To Performing A Street Cut Within City Of Bentonville Right-Of-Way. All Construction In Said Right-Of-Way Shall Be In Accordance With City Of Bentonville Details And Specifications.
 12. All Outdoor Lighting Shall Have "Cut-Off" Fixtures In Accordance With The City Of Bentonville Requirements.
 13. There Are Currently No Parking Lot Light Poles Proposed For This Site.
 14. All Mechanical Equipment (Roof And Ground Mounted) Will Be Screened On All Sides By Similar Materials As The Building.
 15. All Signs Will Require a Separate Permit.

PARKING SUMMARY			
Description	Parking Requirement	Spaces Required	Spaces Provided
Proposed Warehouse (136,240 s.f.)	5 Sp./12,000 Sq.Ft. 1 Sp./10,000 Sq.Ft.	34	34
Proposed Office (34,060 s.f.)	1 Sp./300 Sq.Ft. Up To 10,000 Sq.Ft.	107	107
HC Accessible Spaces	5 Spaces Per 101-150 Spaces	5	5
Total spaces (Warehouse/Office)		151*	151*

* Includes HC Accessible Spaces

Site Zoning: I-1 General Commercial						
I-1 - Minimum Building Setback Requirements						
Front	Side			Rear		
Parking In Front	No Parking In Front	Adjacent To ROW	Adjacent To Non-Residential	Adjacent To Residential	Adjacent To ROW	Adjacent To Non-Residential
75'	30'	30'	30'	75'	30'	50'

Revision	By	Date
Revised Per City Comments Dated 07-19-17	DCL	07.31.17
Revised Per City Comments Dated 08-07-17	DCL	08.08.17

MORRISON SHIPLEY
ENGINEERS • SURVEYORS

2407 SE Cottonwood Street • Bentonville, AR 72712 • 479.273.2208 • morrisonshipley.com

FOR REVIEW

Drawn By: DCL	Vertical Scale: -
Approved By: PRF	Horizontal Scale: 1" = 40'
Date: 08.14.17	Plotting Scale: 1
Project No.: CMI-07	Drawing Name: Plan Sheets

GATEWAY PARK WAREHOUSE 4
SW REGIONAL AIRPORT BLVD

Bentonville, Benton County, Arkansas

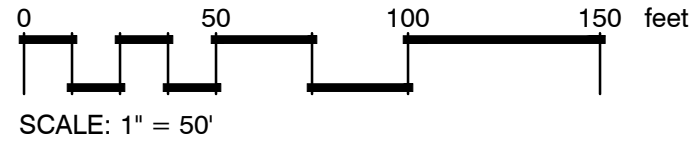
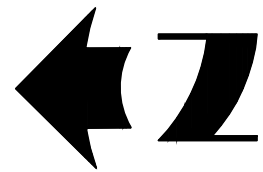
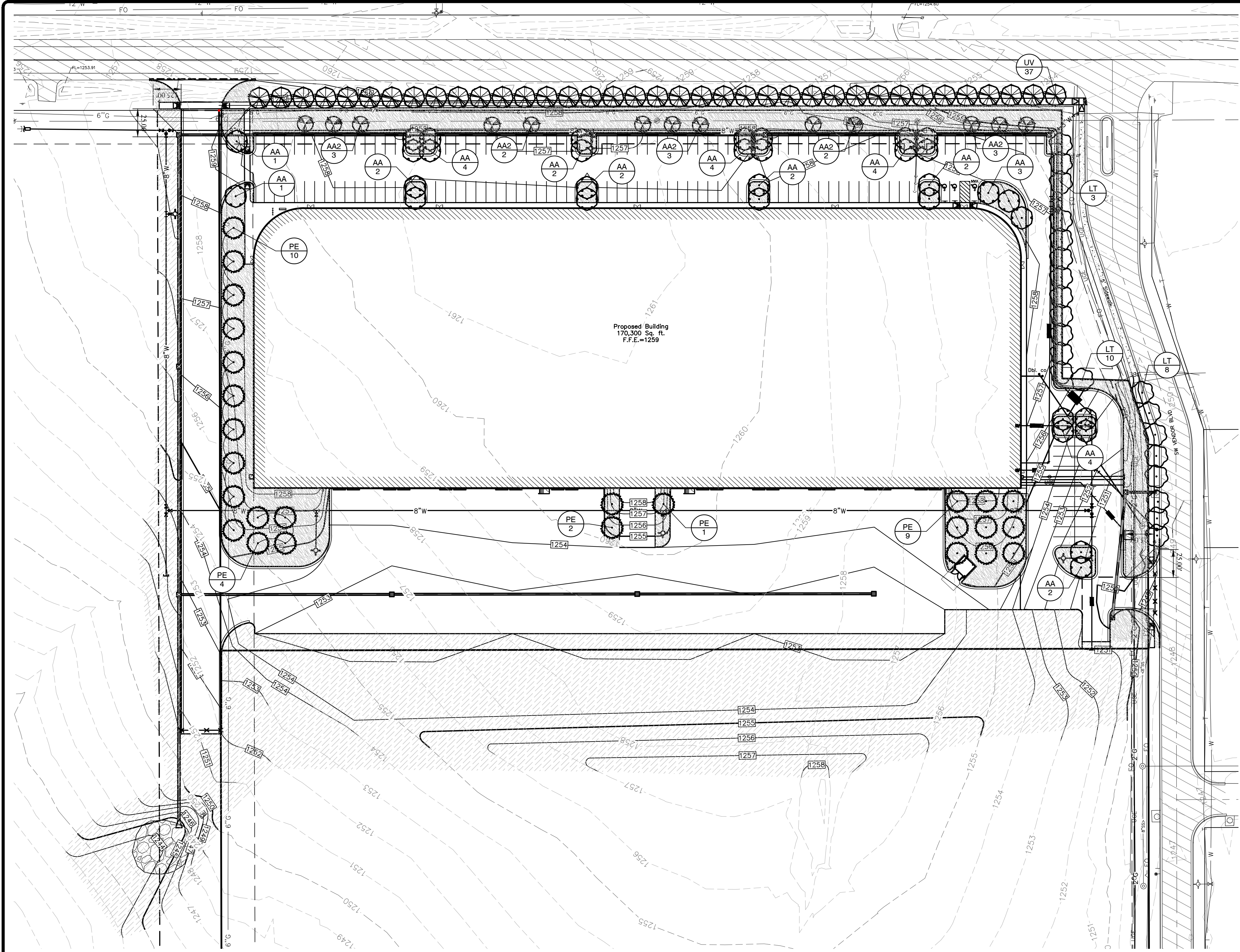
SITE DIMENSION PLAN
CITY PROJECT #17-06000037

Issued for Review - 08.14.17

Sheet No.:

3

10



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	QTY
	AA	Acer freemanii 'Armstrong' / Freeman Maple	B & B	2.5"Cal	10'-12'	33
	AA2	Acer ginnala / Amur Maple	B & B	2.5"Cal		13
	LT	Liriodendron tulipifera / Tulip Tree	B & B	2.5"Cal	10'-12'	21
	PE	Pinus echinata / Short Leaf Pine	B & B	2.5"Cal	6'-8'	26
	UV	Ulmus americana 'Valley Forge' / American Elm	B & B	2.5"Cal		37
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT			QTY
	FK	Festuca arundinacea 'Kentucky 31' / Kentucky Tall Fescue	Seed or Hydromulch			125,792 sf
	FK2	Festuca arundinacea 'Kentucky 31' / Kentucky Tall Fescue	sod			51,081 sf

Key Map
Not To Scale

Interior Green Space Calculations:

Total Parking Lot Area: 58,070 S.F.

Total Interior Green Space Required: 5,807 S.F. (10%)

Total Interior Green Space Provided: 6,093 S.F. (10.1%)

Site Area Calculations:

- Impervious Area
- Green Space
- Parking Lot Area
- Interior Green Space

LANDSCAPE REQUIREMENTS			
STREET FRONTAGE	ONE CANOPY TREE PER 20 LINEAR FEET OF FRONTAGE	REQUIRED	PROVIDED
771 LF STREET FRONTAGE SW AIRPORT BLVD.	752'/20=37 TREES	37	37
780 LF STREET FRONTAGE SW VENDOR BLVD.	423'/20=21TREES	21	21
PERIMETER LANDSCAPE NORTH SIDE	ONE CANOPY TREE PER 50 LINEAR FEET OF PERIMETER	10	10
WEST SIDE	480 LF / 50 = 10 SHADE TREES 828 LF / 50 = 17 SHADE TREES	17	17
PARKING LOT REQUIREMENTS	ONE SHADE TREE PER 125 SQ. FT. OF INTERIOR PARKING LOT LANDSCAPES AREA (5,807/125=46.4= 46 TREES)	46	46

Drawing Name: C:\landscapes\2017\Gateway 4\ACAD-ALCAD-CAD-07 LANDSCAPE 2017-08-11.dwg Last Modified: Aug 11, 2017 - 9:28am Plotted on: Aug 11, 2017 - 11:23am by Shea Jazzeaux

Revision	By	Date

MORRISON

SHIPLEY

ENGINEERS ■ SURVEYORS

2407 SE Cottonwood Street ■ Bentonville, AR 72712 ■ 479.273.2208 ■ morrisonshiple.com

LANDTEK STUDIOS
2503 SWEETBRIAR DR.
FAYETTEVILLE, AR 72703
PH# 479.283.9721

Drawn By:	DCL
Approved By:	PRF
Date:	07.10.17
Project No.:	CMI-07

Vertical Scale:	-
Horizontal Scale:	1" = 40'
Plotting Scale:	1
Drawing Name:	Plan Sheets

GATEWAY PARK WAREHOUSE 4
SW REGIONAL AIRPORT BLVD

Bentonville, Benton County, Arkansas

LANDSCAPE PLAN

CITY PROJECT #17-06000037

Issued for Review - 07.10.17

Sheet No.:

L1
L2

of

REZONING STAFF REPORT



McDonald

9688 Haxton Road

PC Date: 2/20/2018

Reviewer: Tyler Overstreet, Planner

Project Number	RZ18-0004
Applicant / Current Owner	Brian & Jessica McDonald 9688 Haxton Road Bentonville, AR 72712
Site Area	+/- 3.1 acres
Current Zoning	A-1, Agricultural
Requested Zoning	R-1, Single Family Residential
Future Land Use Map Designation	N/A

<http://geo.bentonvillear.com/mgweb/PZpending/>

Property Description

This approximately 3.1 acre property is located on Haxton Road. It was a part of a recent annexation into the City of Bentonville. Adjacent zonings are A-1 to the north, east, and west & the City of Rogers to the south.

Projected Traffic Impact

The proposed zoning designation does not have the potential to adversely impact traffic in the area.

Utility Infrastructure

Per the City of Bentonville GIS website, water and sewer are not currently available to the site.

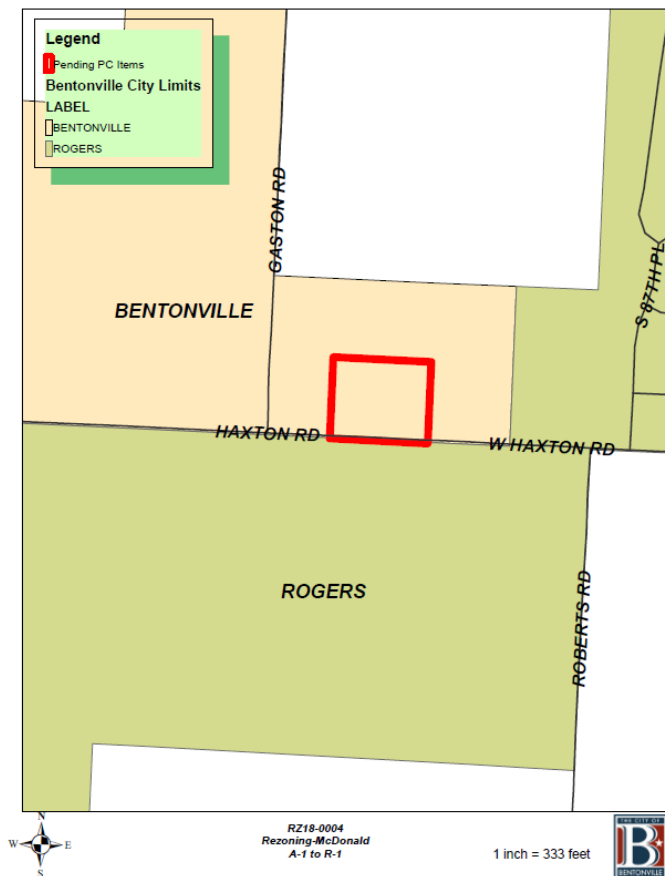
Relationship to the General Plan

This property is not reflected on the Future Land Use Map. The R-1, Single Family Residential zoning, however, is an appropriate zoning district considering current and future surrounding uses.

Conclusion

The R-1, Single Family Residential is an appropriate zoning district and is compatible with existing and adjacent uses.

Location Map





January 11, 2018

Jon Stanley
Planning Department
City of Bentonville

RE: McDonald/Haxton Rezone Narrative

Jon,

Brian and Jessica McDonald are requesting to rezone their property at 9688 Haxton Road in Bentonville from A-1 to R-1. The owner is wanting to rezone the property, then split it into three lots. Once the lot is split, the owner plans to develop single family residences on each of the newly created lots. The rezone will allow for the construction of the houses and will not negatively affect traffic or the appearance of the area. In contrast, the development will be a welcome addition to the neighborhood. Water, sewer, and all other utilities are already in place to support the development.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'M. Dirk Thibodaux', with a long, flowing horizontal line extending to the right.

M. Dirk Thibodaux, ASLA, PLA
Gray Rock, LLC

REZONING STAFF REPORT



NWA Trailblazers

Punkin Hollow Road

PC Date: 2/20/2018

Reviewer: Tyler Overstreet, Planner

Project Number	RZ18-0005
Applicant / Current Owner	NWA Trailblazers 900 SE 5 th Street, Suite 22 Bentonville, AR 72712
Site Area	+/- .57 acres
Current Zoning	A-1, Agricultural
Requested Zoning	C-1, Neighborhood Commercial
Future Land Use Map Designation	Agricultural (A)

<http://geo.bentonvillear.com/mgweb/PZpending/>

Property Description

This approximately .57 acre property is located within the Coler Mountain Bike Preserve area. Adjacent zonings are A-1 to the north, south, east, and west.

Projected Traffic Impact

The proposed zoning designation does not have the potential to adversely impact traffic in the area.

Utility Infrastructure

Per the City of Bentonville GIS website, water and sewer are not currently available to the site.

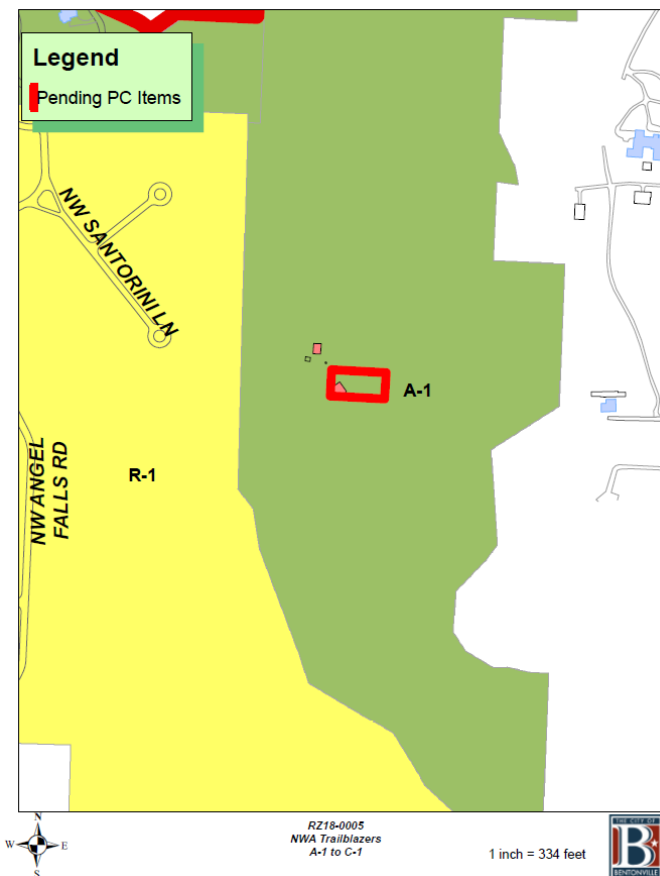
Relationship to the General Plan

The Future Land Use Plan depicts this property as Agricultural (A). The C-1, Neighborhood Commercial zoning is not an appropriate zoning district for this designation.

Conclusion

The C-1, Neighborhood Commercial is not an appropriate zoning district for the Agricultural (A) Land Use designation, but is compatible with existing and adjacent uses.

Location Map



Project Narrative Rezoning

To: City of Bentonville
From: NWA Trailblazers
Date: January 16, 2018
Re: Coler Creek Trail & Park

On behalf of Bentonville/Bella Vista Trailblazers Association, Ecological Design Group, Inc. (EDG) is submitting this project narrative as part of the rezoning submittal.

Rezoning Narrative:

- State the current zoning designation and proposed zoning designation. Explanation of the proposed zoning change including current owner information and any proposed sales.
 - The parcel is currently zoned AI and we are applying for a CI rezoning. This parcel is owned by NWA Trailblazers and is located within the Coler mountain biking preserve. The applicant seeking the new zoning designation, along with a conditional use permit, in order to open a small café geared towards Coler visitors.
- Reason (need) for requesting the zoning change.
 - The applicant requests the rezoning in order to operate a café at Coler, which is not permitted in the current AI zoning.
- Statement of how the property will relate to surrounding properties.
 - The parcel is surrounded by the Coler mountain biking preserve, which is zoned AI. The applicant intends to keep the nature- and recreation-oriented character of this parcel consistent with the remainder of the Coler property.
- Use.
 - This rezoning would allow us to operate a small café at the Coler preserve. This café would serve pre-made foods prepared offsite and would not require a full kitchen. Seating and tables will be made available here to both the café's visitors and visitors to Coler at large.
- Traffic.
 - Because this site is only accessible to Coler visitors via Coler's Greenway Trail and the café is geared primarily towards Coler's intended user base, the applicant anticipates the rezoning will have no impacts on traffic. Visitors to the café would be most likely to park at the parking lots at the north and south ends of the Greenway Trail, which were approved in previous Large Scale Development reviews.

- Signage.
 - This rezoning would require no additional signage located either on public property or within the City's right of way.
- Appearance.
 - The café will be located within the proposed Coler Homestead Berm Building, which has been submitted to the City for Large Scale Development review. This is a concrete building that has been design to blend into the existing hillside.
- Availability of water and sewer (state size of lines). If direct water and / or sewer is not available, state how lines will be accessed and connected.
 - The water line will connect to the existing water main adjacent to the water tower located near NW 12th Drive and Punkin Hollow Road. The applicant will connect to the existing sewer main on the Coler property via a 4" PVC sanitary service line.

If you need any additional information or have any questions, please do not hesitate to contact me at (479) 935-4826.

Sincerely,

Ecological Design Group, Inc.



Brahm Driver, PE

CONDITIONAL USE STAFF REPORT



Crystal Flats Greenhouse

NE John DeShields Boulevard

PC Date: 2/20/2018

Reviewer: Tyler Overstreet, Planner

Project Number	CU18-0002
Applicant / Current Owner	Cindy Springs LLC PO Box 1860 Bentonville, AR 72712
Site Area	+/- 27.83 acres
Current Zoning	C-3, Central Commercial
Future Land Use Map Designation	Mixed Use (MU)
Requested Use	Greenhouse
Protective Covenants	None

Property Description

This property is located on NE John DeShields Boulevard. The proposed use will be located in the central, mixed-use commercial building of the Crystal Flats Large Scale Development.

Proposed Use Description

The applicant is requesting a conditional use for the purpose of a greenhouse. The greenhouse is intended to grow plants for wholesale distribution to local restaurants. Occasionally, the property owner may wish to sell products in a farmer's market-like setting on the adjacent plaza area. Parking and access needs were met through the previously approved Large Scale Development for Crystal Flats.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

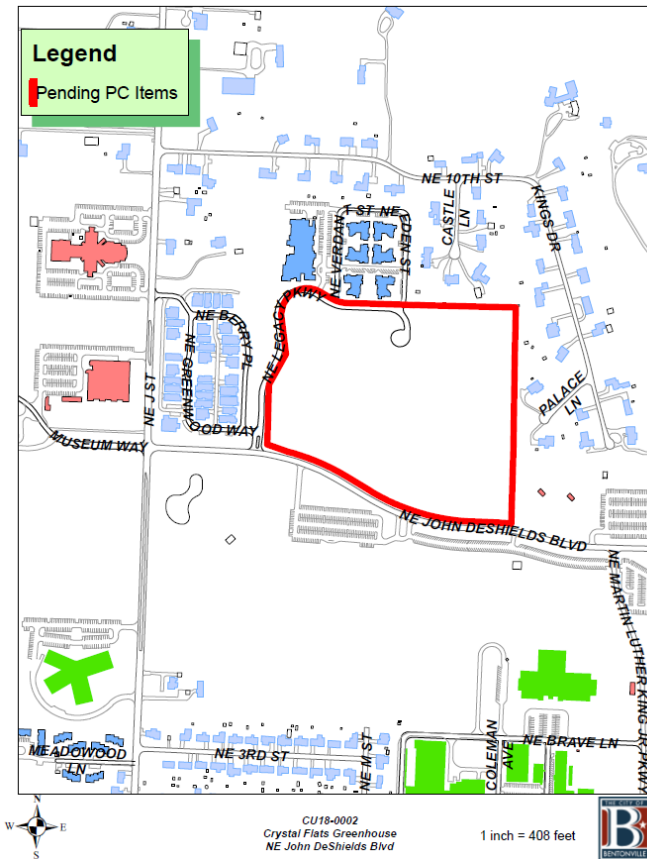
Staff has not been contacted regarding this request.

Conditions of Approval

1.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map





CEI Engineering Associates, Inc.

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2
Bentonville, AR 72712
(479) 273-9472 Fax (479) 273-0844
www.ceieng.com

January 15, 2018

City of Bentonville
Planning Dept.
305 SW A Street
Bentonville, AR 72712

RE: Crystal Flats Conditional Use Permit request

Dear Planning Commission:

Please accept this narrative letter to accompany a formal application by Cindy Springs, LLC to allow a greenhouse use in the C-3 zoning district for the previously approved Crystal Flats project. This conditional use is required based on the intended use of a portion of the mixed-use structure (Building A) in the development.

The city's zoning code describes a Greenhouse as "a building used for the growing of plants, all or part of which are sold at retail or wholesale". While the project does not include a specific building exclusively for the greenhouse, this use is incorporated into the overall concept of mixed-use within that structure and is the basis for this conditional use permit request. The proposed greenhouse can be seen in the attached renderings of the project and consists of a single volume space with tiers of open steel grate flooring dedicated to the growth of plants.

The greenhouse is intended to grow plants for the purpose of wholesale distribution to local restaurants to support the "farm to table" concept utilized by many local businesses. The plants will not be offered for sale to the public directly from the greenhouse space but we do request the conditional use permit to allow periodic sale of products to tenants and the public from one of the other commercial spaces within the development and along the pedestrian plaza south of the building. While generally not open to the public, the hours of operation of the greenhouse will vary seasonally with the understanding that proper operation of the greenhouse could require round the clock care of plants.

Deliveries to and from the greenhouse have been accommodated by allocation of loading zones under the podium parking area of that structure. We do not anticipate permanent parking needs for this use in addition to the parking already allocated for the commercial space within the building on the approved Large Scale Development plan. The greenhouse will be illuminated to supplement the shorter daylight hours in winter months to promote the healthy growth of plants. No impact to the adjacent residential areas are expected due to the orientation of the greenhouse facing the park property and the building itself shielding the greenhouse from any surrounding residential use.

Thank you for your time and consideration of this matter.

Respectfully submitted,
Nate Bachelor, PE
Project Manager

A handwritten signature in black ink that reads "Nate Bachelor". The signature is written in a cursive, flowing style.

Providing Consolidated Land Development Services

CALIFORNIA ■ TEXAS ■ ARKANSAS ■ MINNESOTA ■ PENNSYLVANIA

CONDITIONAL USE STAFF REPORT



SE Phyllis Street Maintenance Yard

SE Phyllis Street

PC Date: 2/20/2018

Reviewer: Tyler Overstreet, Planner

Project Number	CU18-0003
Applicant / Current Owner	Wal-Mart Stores, Inc. 2001 SE 10 th Street Bentonville, AR 72716
Site Area	+/- 5.22 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Requested Use	Contractor Maintenance Yard
Protective Covenants	None

Property Description

This property is located on SE Phyllis Street, north of SE 14th Street. The project is the location of the SE Phyllis Street Maintenance Yard Large Scale Development project (LSD18-0006)

Proposed Use Description

The applicant is requesting a conditional use for the purpose of a contractor maintenance yard. The site will include a cabinet shop, an ice melt storage building, and an outdoor equipment storage area. Normal hours of operation will be from 5:30 AM to 4:00 PM, although emergency situations may extend these hours. At peak operating hours, the development will have five employees. The applicant anticipates one delivery per day.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

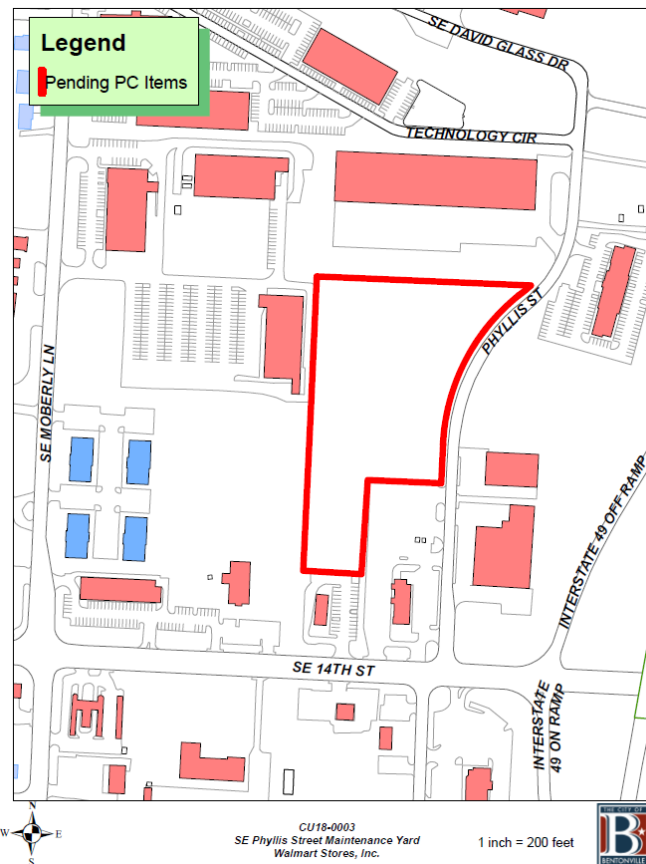
Staff has not been contacted regarding this request.

Conditions of Approval

1.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map





CEI Engineering Associates, Inc.

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2
Bentonville, AR 72712
(479) 273-9472 Fax (479) 273-0844
www.ceieng.com

January 16, 2018

City of Bentonville Planning Department
Community Development Building
305 SW "A" Street
Bentonville, AR 72712

**RE: Phyllis Street – Maintenance Buildings
Conditional Use Application Narrative
SE Phyllis Street**

To the City of Bentonville Planning Commission:

The proposed use of this property is a "Contractor Maintenance Yard", which requires a Conditional Use Permit in areas that are zoned C-2, General Commercial. The proposed improvements include two new buildings and an outdoor equipment storage area. The two new buildings will include a cabinet shop and an ice melt storage building, which will store ice melt materials such as salt and sand.

A Site Plan is included with this narrative along with photos of the property. The normal hours of operation will be 5:30 AM to 4:00 PM, Monday through Friday; however, due to the nature of maintenance operations, there may be emergency situations or inclement weather that will require use of these facilities outside of the normal operating hours.

The planned parking for the cabinet shop and ice melt buildings is 45 spaces. The anticipated number of employees in the two proposed buildings is a combined total of 5 with 1 associate at the Ice Melt building and 4 others at the Cabinet Shop. The expected number of deliveries is 1 per day. The proposed outdoor lighting change will be the addition of building mounted lighting which will not spill over the property line.

Thank you for your consideration in this matter.

Respectfully Submitted,

John Trahan
Project Manager

Solutions for Land and Life

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CONDITIONAL USE STAFF REPORT



Coler Mountain Bike Preserve

Punkin Hollow Road

PC Date: 2/20/2018

Reviewer: Tyler Overstreet, Planner

Project Number	CU18-0004
Applicant / Current Owner	NWA Trailblazers 900 SE 5 th Street Suite 22 Bentonville, AR 72712
Site Area	+/- .57 acres
Current Zoning	C-1, Neighborhood Commercial
Future Land Use Map Designation	Agricultural (A)
Requested Use	Restaurant
Protective Covenants	None

Property Description

This property is located within the Coler Mountain Bike Preserve. This site is tied to a rezoning request to C-1 (RZ18-0005) and the Coler Homestead LSD (LSD18-0005).

Proposed Use Description

The applicant is requesting a conditional use for the purpose of a restaurant. The restaurant will serve users of the trail system and visitors to the homestead. The restaurant will contain food prepared offsite and will not require a kitchen. The facility will operate daily, weather permitting, from 11AM to dusk. Parking and other development-related concerns will be covered under the Coler Homestead Large Scale Development.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

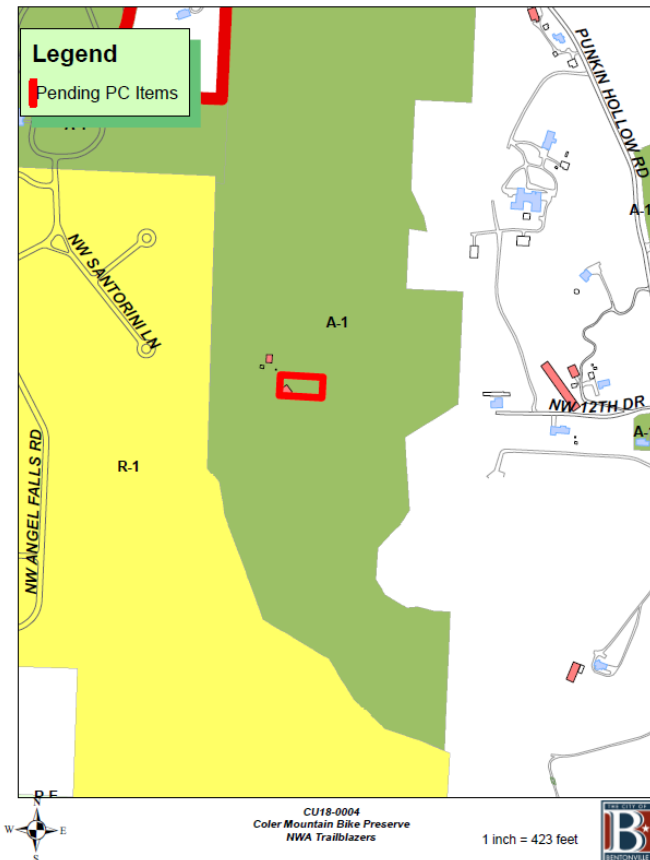
Staff has not been contacted regarding this request.

Conditions of Approval

1.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



ECOLOGICAL DESIGN GROUP, INC.

314 S. 3rd Street
Rogers, AR 72756



Project Narrative Conditional Use

To: City of Bentonville
From: NWA Trailblazers
Date: January 16, 2018
Re: Coler Creek Trail & Park

On behalf of Bentonville/Bella Vista Trailblazers Association, Ecological Design Group, Inc. (EDG) is submitting this project narrative as part of the Conditional Use submittal.

Conditional Use Narrative:

- Proposed use and reason for the proposed use;
 - The applicant is seeking a conditional use permit, along with a rezoning from AI to CI, in order to open a restaurant geared towards Coler visitors. This small café would serve pre-made foods prepared offsite and would not require a full kitchen.
- Site plan drawn to scale designating the property lines, existing structure(s), proposed structure(s), and indoor and outdoor areas to be utilized
 - Pending property lines from Alison and revised plan from Michael designating multipurpose room as café.
- Hours of operation, including days of the week
 - The café will operate daily, weather permitting, from 11 AM to dusk.
- Indoor and outdoor areas to be utilized
 - The café will be located in approximately 388 square feet of the proposed Coler Homestead Berm Building, which has been submitted to the City for Large Scale Development review. No outdoor areas are specifically designated to be utilized as part of the conditional use.
- Planned indoor and outdoor structural changes
 - The café will be part of a new concrete building that has been design to blend into the existing hillside. No additional outdoor changes are proposed in conjunction with the conditional use.
- Parking needs required for the proposed use including existing and proposed - provide a sketch of the traffic flow and parking pattern (if applicable)

- There is no onsite parking at the café. Visitors to the café would be most likely to park at the parking lots at the north and south ends of the Greenway Trail, which were approved in previous Large Scale Development reviews. The applicant is not proposing any changes to these existing parking lots.
- Planned outdoor lighting changes
 - No additional outdoor lighting will be installed to accompany this café.
- Anticipated patrons, clients, deliveries, and / or customers (average per day)
 - The applicant anticipates an average of 50 customers per day.
- Proposed number of employees
 - There will be one to two employees at the café.

If you need any additional information or have any questions, please do not hesitate to contact me at (479) 935-4826.

Sincerely,

Ecological Design Group, Inc.

A handwritten signature in cursive script, appearing to read "Brahm Driver", followed by a horizontal line.

Brahm Driver, PE

LARGE SCALE DEVELOPMENT STAFF REPORT



Coler Homestead

Punkin Hollow Road

PC Date: 2/20/2018

Reviewer: Tyler Overstreet, Planner

Project Number	LSD18-0005
Applicant / Current Owner	Bentonville/Bella Vista Trailblazers P.O. Box 2821 Bentonville, AR 72712
Site Area	+/- 29.44 acres
Current Zoning	C-1, Neighborhood Commercial (pending rezoning from A-1)
Future Land Use Map Designation	Agricultural (A)
Development Type / Use	Outdoor Trail/Activity Space and Restaurant

Property Description

This property is located within the Coler Mountain Bike Trail/Preserve. The site is currently zoned A-1, Agricultural, pending a rezoning on the 02-20-2018 agenda.

Project Details

The applicant is proposing a large scale development for the construction of an outdoor activity area that will include bike trails, seating areas (within the barns), and a small restaurant building.

No parking is provided at the Homestead. All traffic to the site will be pedestrian in nature. Parking is provided at the trailheads. Adequate landscaping is provided.

Projected Traffic Impact

The proposed large scale development does not have the potential to adversely affect traffic in the area.

Utility Infrastructure

Per the City of Bentonville GIS website, water and sewer are currently available to the site.

Drainage Report

A drainage report was submitted and tentatively approved by the city engineer.

Waivers

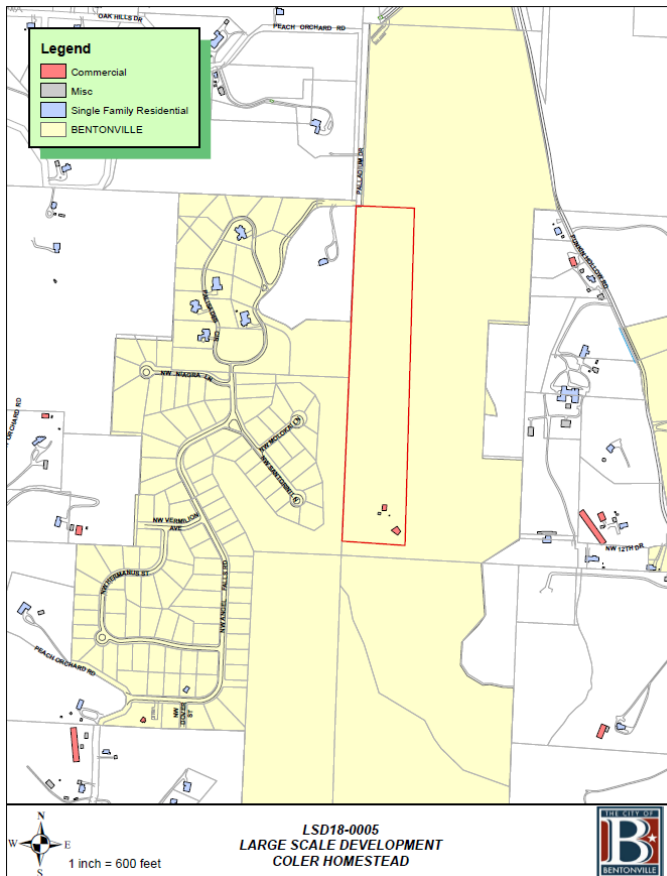
No waivers requested.

Conclusion

In conclusion, this large scale development does meet the minimum requirements of the subdivision regulations.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



9/29/2017 3:57:36 PM C:\00 - local\03 - revit\2017\16.04 - coler - homestead_spm.rvt

A



B



C



D



issue for permit/review:			2017.09.29
issue for construction:			2017.09.29
revisions:			
mark	date	description	

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contact@modusstudio.com
4 7 9 4 5 5 5 5 7 7



COLER - HOMESTEAD

contents:	
BARN 02 - PERSPECTIVES	
design:	CD
date:	2017.09.29
project:	16.04

9/29/2017 3:50:08 PM C:\00 - local\03 - revit\2017\16.04 - coler - homestead_mcp.rvt



issue for permit/review:			2017.09.29
issue for construction:			2017.09.29
revisions:			
mark	date	description	

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COLER - HOMESTEAD

contents.	
BERM - PERSPECTIVES	
design.	CD
date.	2017.09.29
project.	16.04

LARGE SCALE DEVELOPMENT STAFF REPORT



SE Phyllis Street Maintenance Yard

SE Phyllis Street

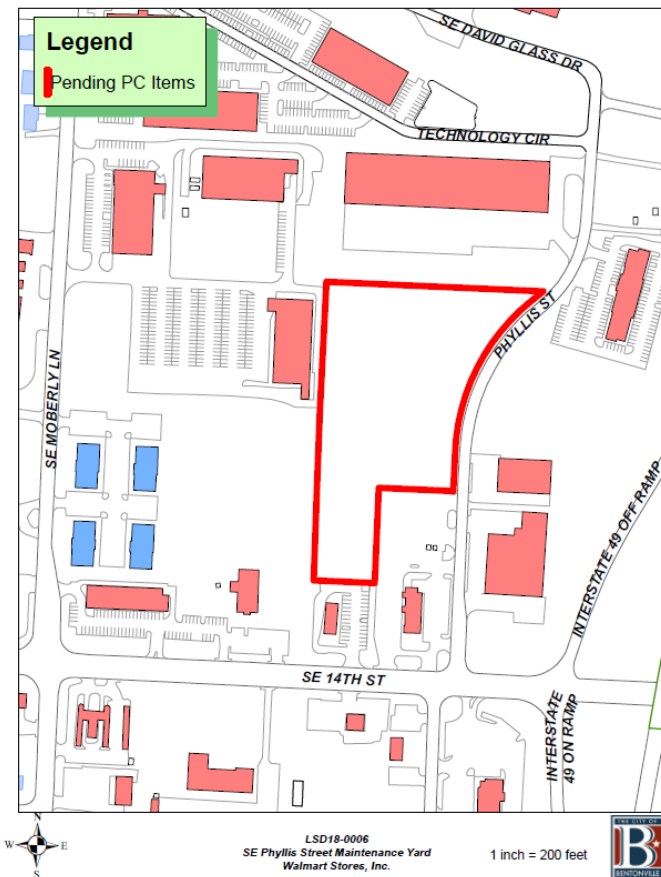
PC Date: 2/20/2018

Reviewer: Tyler Overstreet, Planner

Project Number	LSD18-0006
Applicant / Current Owner	Wal-Mart Stores, Inc. 2001 SE 10 th Street Bentonville, AR 72716
Site Area	+/- 5.22 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Contractor Maintenance Yard

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is located on SE Phyllis Street, north of SE 14th Street. The 5.22 acre property is currently zoned C-2, General Commercial

Project Details

The applicant is proposing a large scale development for the construction of a cabinet shop, ice melt storage facility, and outdoor equipment storage area. The applicant is constructing a sidewalk the length of their frontage along SE Phyllis Street.

The plans show 45 parking spaces for the development. Adequate landscaping is proposed. The primary materials depicted for the exterior elevations are brick, pre-cast concrete panels, and metal.

Projected Traffic Impact

The proposed large scale development does not have the potential to adversely affect traffic in the area.

Utility Infrastructure

Per the City of Bentonville GIS website, water and sewer are currently available to the site.

Drainage Report

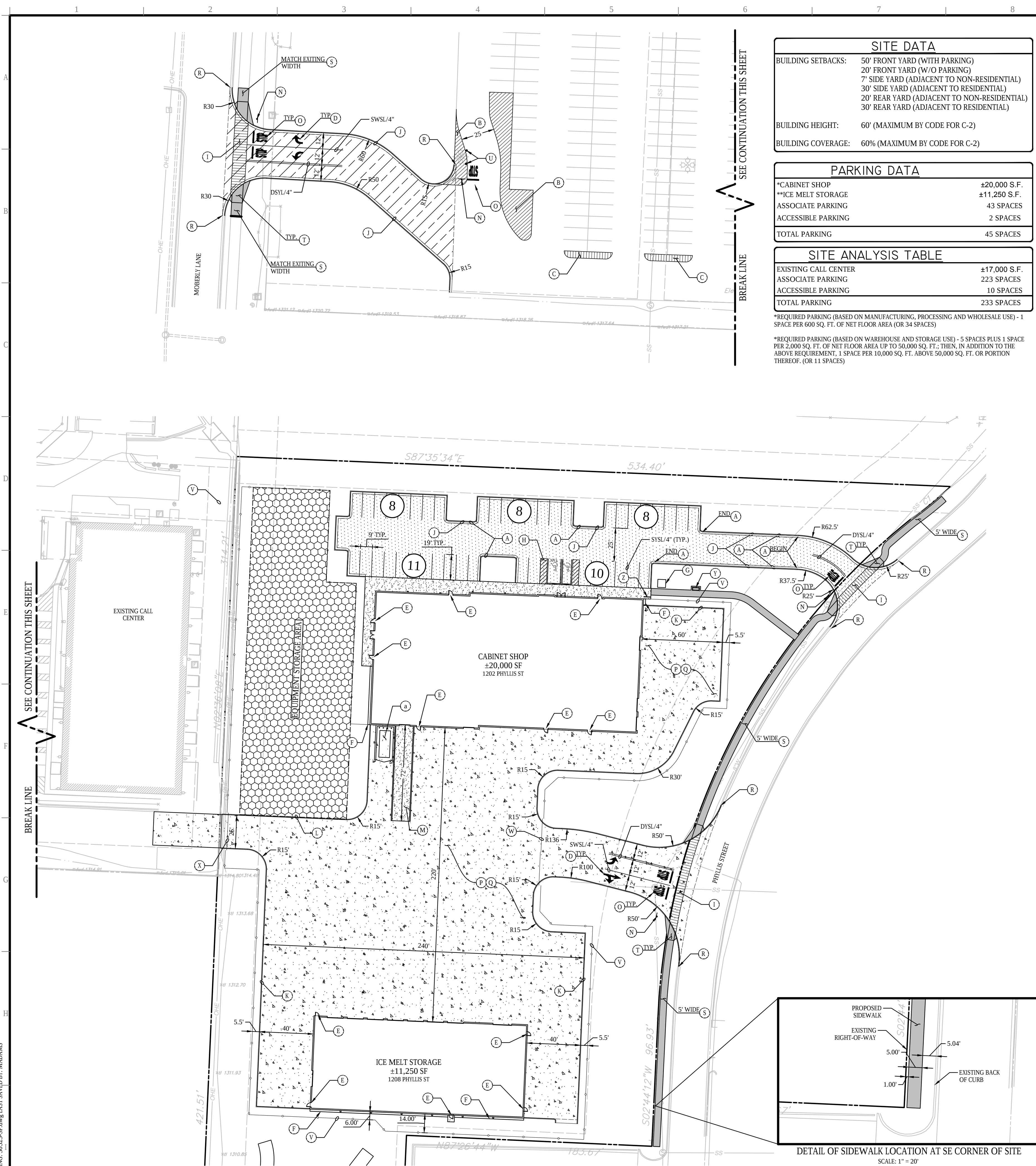
A drainage report was submitted and tentatively approved by the city engineer.

Waivers

No waivers requested.

Conclusion

In conclusion, this large scale development does meet the minimum requirements of the subdivision regulations.



SITE DATA

BUILDING SETBACKS:	50' FRONT YARD (WITH PARKING) 20' FRONT YARD (W/O PARKING) 7' SIDE YARD (ADJACENT TO NON-RESIDENTIAL) 30' SIDE YARD (ADJACENT TO RESIDENTIAL) 20' REAR YARD (ADJACENT TO NON-RESIDENTIAL) 30' REAR YARD (ADJACENT TO RESIDENTIAL)
BUILDING HEIGHT:	60' (MAXIMUM BY CODE FOR C-2)
BUILDING COVERAGE:	60% (MAXIMUM BY CODE FOR C-2)

PARKING DATA

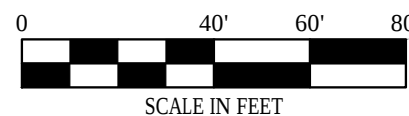
*CABINET SHOP	±20,000 S.F.
**ICE MELT STORAGE	±11,250 S.F.
ASSOCIATE PARKING	43 SPACES
ACCESSIBLE PARKING	2 SPACES
TOTAL PARKING	45 SPACES

SITE ANALYSIS TABLE

EXISTING CALL CENTER	±17,000 S.F.
ASSOCIATE PARKING	223 SPACES
ACCESSIBLE PARKING	10 SPACES
TOTAL PARKING	233 SPACES

*REQUIRED PARKING (BASED ON MANUFACTURING, PROCESSING AND WHOLESALE USE) - 1 SPACE PER 600 SQ. FT. OF NET FLOOR AREA (OR 34 SPACES)

**REQUIRED PARKING (BASED ON WAREHOUSE AND STORAGE USE) - 5 SPACES PLUS 1 SPACE PER 2,000 SQ. FT. OF NET FLOOR AREA UP TO 50,000 SQ. FT.; THEN, IN ADDITION TO THE ABOVE REQUIREMENT, 1 SPACE PER 10,000 SQ. FT. ABOVE 50,000 SQ. FT. OR PORTION THEREOF. (OR 11 SPACES)



PROPOSED LEGEND

CONCRETE CURB AND GUTTER.

PROPOSED PARKING SPACES SYSL/4"

PAVING LEGEND (SEE DETAIL SHEET)

	LIMITS OF HEAVY DUTY CONCRETE PAVEMENT
	LIMITS OF STANDARD DUTY ASPHALT PAVEMENT
	LIMITS OF HEAVY DUTY ASPHALT PAVEMENT
	LIMITS OF CONCRETE SIDEWALKS
	LIMITS OF ARCHITECTURAL SIDEWALKS AND CONCRETE APRONS (PER ARCHITECTURAL PLANS)
	LIMITS OF GRAVEL PAVEMENT (COMPACT SUBGRADE AND INSTALL 3" TO 5" CLEAN ANGULAR STONE MINIMUM 5" THICK)

SITE LEGEND

A	6" WIDE FIRE LANE STRIPING PAINTED TRAFFIC RED W/ "NO PARKING FIRE LANE" PAINTED WITH 4" HIGH WHITE LETTERING AT 25' O.C. SEE DETAIL SHEET.
B	STRIPED AREA PAINTED AT SYSL/4" AT 45' @ 2'-0" O.C.
C	STRIPED AREA PAINTED AT SYSL/4" PERPENDICULAR TO PARKING STALLS @ 2'-0" O.C.
D	SOLID ARROW PAVEMENT MARKING. SEE DETAIL SHEET.
E	EXIT PORCH. SEE ARCHITECTURAL PLANS FOR EXACT SIZE, LOCATION FOR STOOPS, STAIRS AND/OR RAMP THAT MAY BE REQUIRED. RAMP PAVEMENT FLUSH WITH THE TOP OF STOOP.
F	VEGETATION FREE ZONE. SEE DETAIL SHEET.
G	CONCRETE TRANSFORMER PAD. INSTALL PER BUID DETAILS AND SPECIFICATIONS.
H	ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
I	PEDESTRIAN CROSSWALK STRIPING PER ARDOT PM-1 STANDARD DRAWING. STRIPES SHALL BE THERMOPLASTIC. SEE DETAIL SHEET.
J	TYPE A CONCRETE CURB AND GUTTER. SEE DETAIL SHEET.
K	TYPE B CONCRETE INTEGRAL CURB AND GUTTER. SEE DETAIL SHEET.
L	TYPE G CURB (MOUNTABLE). SEE DETAIL SHEET.
M	TRUCK DOCK. SEE ARCHITECTURAL PLANS.
N	"STOP" SIGN. SEE DETAIL SHEET.
O	STOP BAR. SEE DETAIL SHEET.
P	CONCRETE JOINTING AND FILLERS TO BE COMPLETED PER DETAIL (TYPICAL OF ALL EXTERIOR CONCRETE EXCLUSIVE OF ARCHITECTURAL CONCRETE).
Q	ISOLATION JOINT TYPICAL AT FIXED STRUCTURES (BUILDINGS, RETAINING WALLS/DOCK WALLS, DROP INLETS, MANHOLES, LIGHT POLE BASES AND BOLLARDS). SEE DETAIL SHEET.
R	TAPER CURB TO MATCH EXISTING CURB. SEE DETAIL SHEET.
S	CONCRETE SIDEWALK (SEE SIZE THIS SHEET). SEE DETAIL SHEET.
T	ADA RAMP. SEE DETAIL SHEET.
U	PIPE BOLLARD. SEE DETAIL SHEET.
V	CHAIN LINK FENCE. SEE DETAIL SHEET.
W	CHAIN LINK DOUBLE GATE. SEE DETAIL SHEET.
X	29" LONG CHAIN LINK SLIDING GATE. CONTRACTOR SHALL MATCH EXISTING FENCE MATERIAL AND HEIGHT. INSTALL PER MANUFACTURERS REQUIREMENTS.
Y	SITE AMENITY. VICTOR STANLEY 6" LONG CLASSIC SERIES BENCH MODEL C-10 BLACK (INSTALL PER MANUFACTURERS SPECIFICATIONS).
Z	SITE AMENITY. HERO SWERVE BIKE RACK, BLACK (OR APPROVED EQUAL)
a	40 YARD OPEN TOP DUMPSTER. SEE ARCHITECTURAL PLANS FOR SCREENING TYPE AND MATERIAL.

GENERAL SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF BENTONVILLE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL CURBED RADII ARE TO BE 2 FEET OR 10 FEET UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5 FEET.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".
- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

STRIPE LEGEND

SYSL/4"	SINGLE YELLOW SOLID LINE, 4" WIDE
SWSL/4"	SINGLE WHITE SOLID LINE, 4" WIDE
DYSL/4"	DOUBLE YELLOW SOLID LINE, 4" WIDE

LEGEND

	Boundary Line
	Gas Line
	Fiber Optic Line
	Overhead Electric Line
	Sanitary Sewer Line
	Storm Drainage Pipe
	Underground Electric Line
	Canopy/Overhang
	Tree Line
	Chainlink Fence
	Wood Fence
	Clean out
	Sewer manhole
	Drainage manhole
	Grate inlet (square)
	Roof drain
	Fire department connector
	Fire hydrant
	Water meter
	Water valve
	Gas meter
	Electric meter
	Guy wire
	Pad mount AC unit
	Light pole straight-2 lamps
	Light pole straight-4 lamps
	Electrical riser
	Utility pole
	Telephone riser
	Telephone sign
	Telephone vault
	Fiber optic warning sign
	Fiber optic vault
	Unknown vault
	Bollard/Guard Post
	Handicap Symbol (ADA)
	Flag Pole
	Sign
	Wheel stop
	Deciduous tree
	Evergreen tree
	Existing Ground
	Grade Break
	Bottom bank
	Top bank
	Flow line (Ditch)
	Top Back Curb
	Gutter
	Edge of asphalt
	Center road
	Edge of concrete
	Existing concrete
	Edge of gravel
	Railroad tracks
	Concrete sidewalk
	Stripe solid
	Sewer manhole
	Overhead Electric
	Deciduous tree
	Evergreen tree
	Building corner
	Block wall
	Finish floor
	Building canopy
	Curb inlet flow
	Flow line pipe
	Drainage manhole
	Grate inlet-square
	American's with Disabilities Acts
	Ductile Iron Pipe
	Polyvinyl Chloride Pipe
	Reinforced Concrete Pipe
	Finish Floor Elevation

NOTES:

- ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) SHALL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS THE BUILDING.
- SIGNAGE WILL NOT BE INCLUDED AS PART OF THIS PROJECT AT THIS TIME. ANY NEW SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
- ANY NEW LIGHTING WILL REQUIRE THAT IT BE CUT-OFF OR B-U-G (WITH A U RATING OF 0) AND APPROVED BY THE PLANNING DEPARTMENT.
- ALL FENCING WILL REQUIRE A SEPARATE PERMIT.

ALERT TO CONTRACTOR:

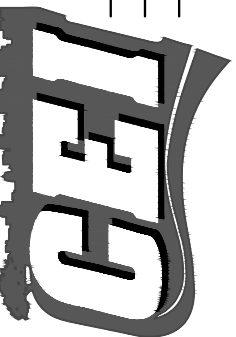
ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

NOT FOR
CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION

Engineering Associates, Inc.



ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

(479) 273-9472
FAX (479) 273-0844

3108 S.W. REGENCY PARKWAY, SUITE 2
Bentonville, AR 72712

MAINTENANCE BUILDINGS #9000-516

SITE PLAN

1202 AND 1208 PHYLLIS ST

BENTONVILLE, ARKANSAS



INITIAL DESIGN	2/2/18
DATE	
DPOR	JT
DPOR	PM
KLP	DES
KLP	DRW



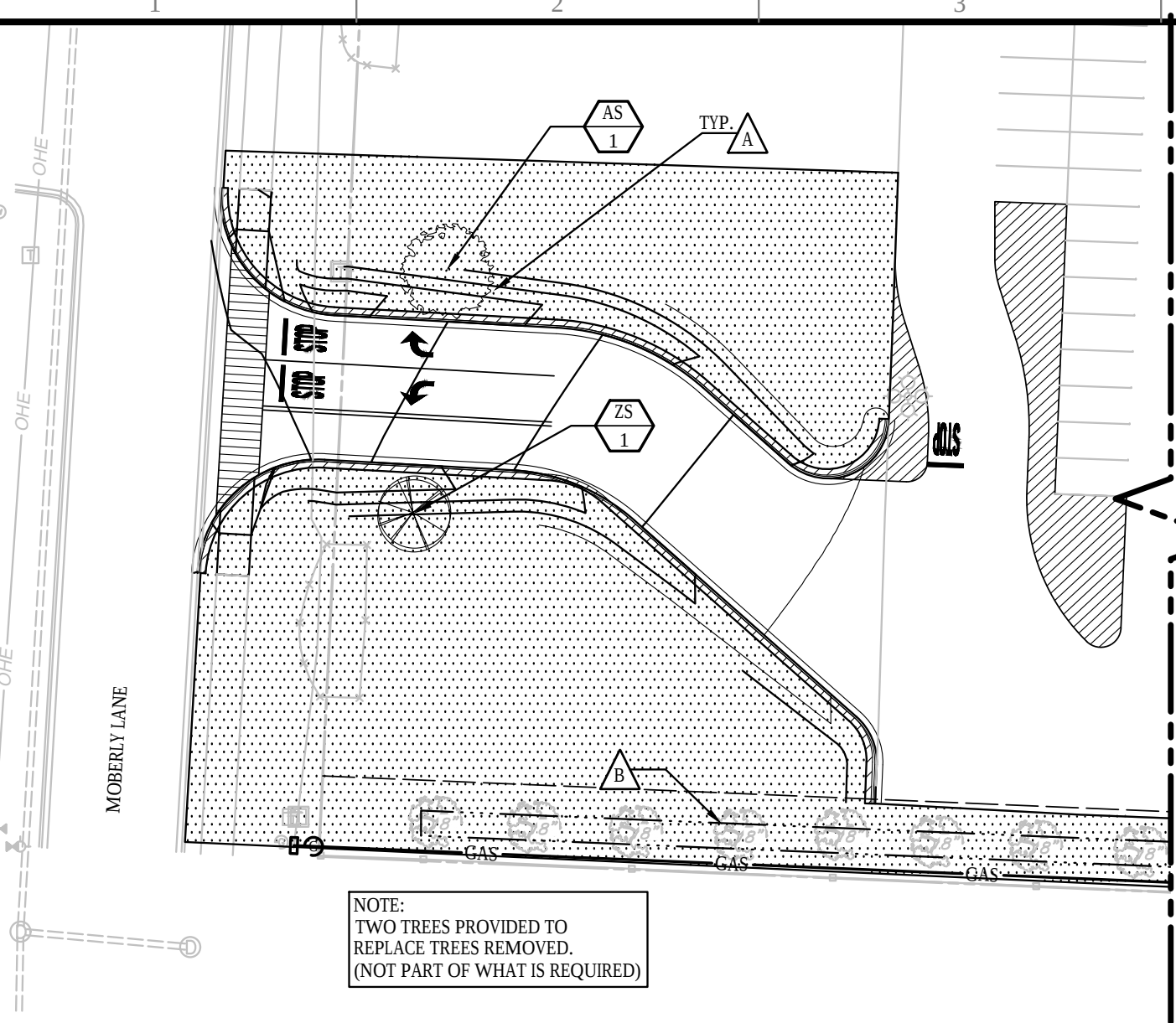
JOB NO.: 30525
DWG NAME: 30525-SP

DATE
2/2/18
6:22 PM
REV-1

SHEET NO.
C-2.0

CITY OF BENTONVILLE NO.: LSD18-0006

DOB: 30525.DRAWING: 30525-UP.dwg LAST SAVED BY: MADAMS



LANDSCAPE LEGEND

- A SMALL TREE PLANTING. SEE DETAIL SHEET.
B TREE PROTECTION. SEE DETAIL SHEET.

PROPOSED LEGEND

- STORM DRAIN
SEED MIX (SEE SEED MIX CHART)
BERMUDA SOD 'TIFWAY'
25' SITE TRIANGLE. NO PLANT MATERIAL OR STRUCTURES MAY BE BETWEEN 30° AND 60° IN HEIGHT WITHIN THE SHADED AREA.
QUANTITY
TWO LETTER KEY TYPICAL

NOTE TO CONTRACTOR: IRRIGATION WILL BE REQUIRED.

CITY NOTES:

ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL CITY UTILITIES.

ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED. (SEC 1400.5.C-10)

TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF THE ANSI A300 STANDARDS FOR TREE CARE SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC 1400.5.C-11)

HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF THE ANSI A300 STANDARDS FOR TREE CARE SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC 1400.5.C-12)

LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED. (SEC 1400.6.A-8 1400.8.G-7)

NOTE TO CONTRACTOR:

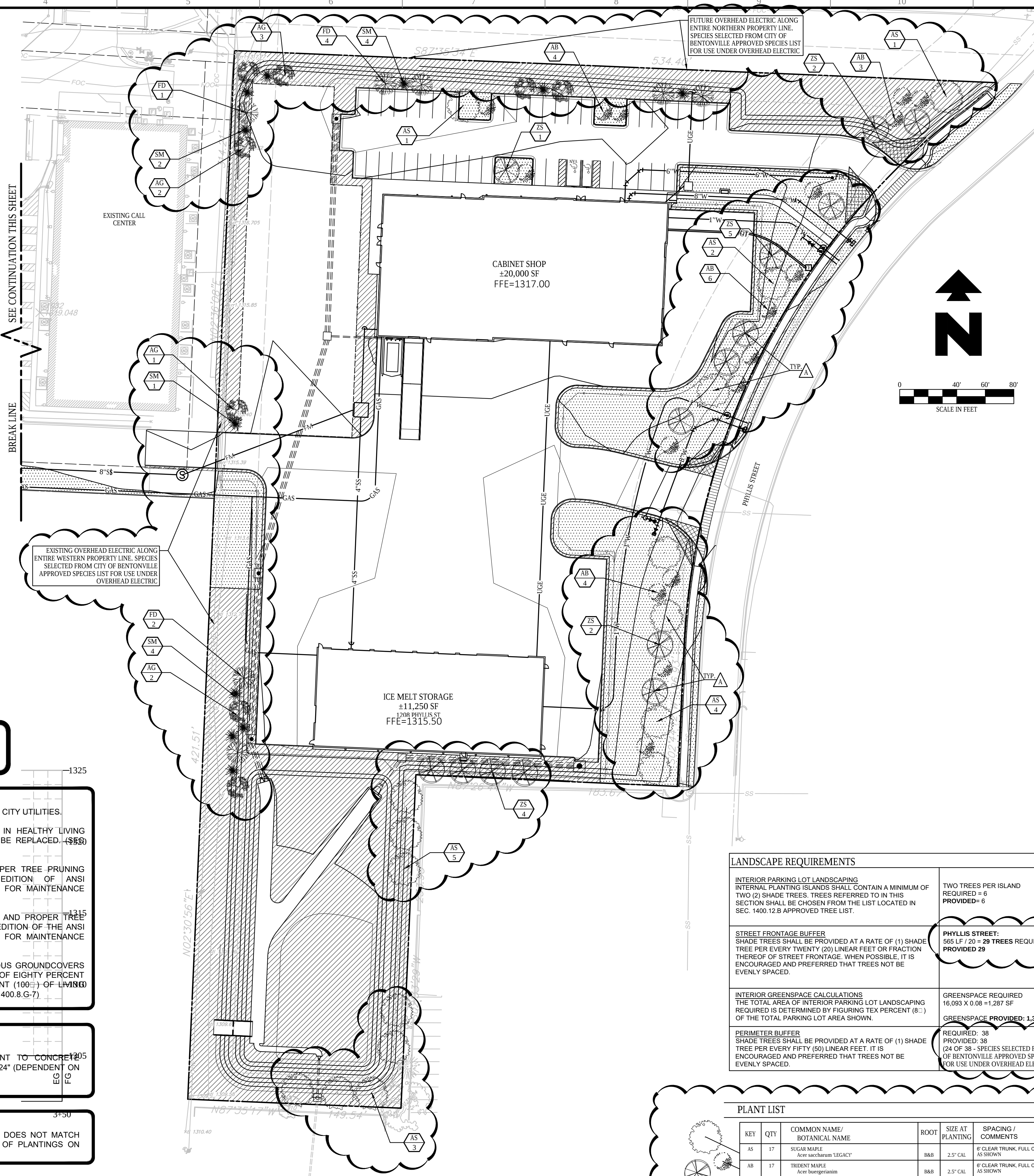
WHERE TURF GRASS WILL BE ESTABLISHED ADJACENT TO CONCRETE CURBS/BUFFERS OR EDGE OF PAVEMENT, EITHER 16" OR 24" (DEPENDENT ON AVAILABILITY) WIDE SOD STRIP IS REQUIRED.

NOTE TO CONTRACTOR:

IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DOES NOT MATCH QUANTITIES IN PLANT LIST, GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS WILL GOVERN.

ALERT TO CONTRACTOR:

ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. WM GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.



LANDSCAPE REQUIREMENTS

INTERIOR PARKING LOT LANDSCAPING INTERNAL PLANTING ISLANDS SHALL CONTAIN A MINIMUM OF TWO (2) SHADE TREES. TREES REFERRED TO IN THIS SECTION SHALL BE CHOSEN FROM THE LIST LOCATED IN SEC. 1400.12.B APPROVED TREE LIST.	TWO TREES PER ISLAND REQUIRED = 6 PROVIDED = 6
STREET FRONTAGE BUFFER SHADE TREES SHALL BE PROVIDED AT A RATE OF (1) SHADE TREE PER EVERY TWENTY (20) LINEAR FEET OR FRACTION THEREOF OF STREET FRONTAGE. WHEN POSSIBLE, IT IS ENCOURAGED AND PREFERRED THAT TREES NOT BE EVENLY SPACED.	PHYLLIS STREET: 565 LF / 20 = 29 TREES REQUIRED / PROVIDED 29
INTERIOR GREENSPACE CALCULATIONS THE TOTAL AREA OF INTERIOR PARKING LOT LANDSCAPING REQUIRED IS DETERMINED BY FIGURING TEX PERCENT (8%) OF THE TOTAL PARKING LOT AREA SHOWN.	GREENSPACE REQUIRED 16,093 X 0.08 = 1,287 SF GREENSPACE PROVIDED: 1,314 SF
PERIMETER BUFFER SHADE TREES SHALL BE PROVIDED AT A RATE OF (1) SHADE TREE PER EVERY FIFTY (50) LINEAR FEET. IT IS ENCOURAGED AND PREFERRED THAT TREES NOT BE EVENLY SPACED.	REQUIRED: 38 PROVIDED: 38 (24 OF 38 - SPECIES SELECTED FROM CITY OF BENTONVILLE APPROVED SPECIES LIST FOR USE UNDER OVERHEAD ELECTRIC)

PLANT LIST

KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE AT PLANTING	SPACING / COMMENTS
AS	17	SUGAR MAPLE Acer saccharum 'LEGACY'	B&B	2.5" CAL	6" CLEAR TRUNK, FULL CANOPY, SPACE AS SHOWN
AB	17	TRIDENT MAPLE Acer buergerianum	B&B	2.5" CAL	6" CLEAR TRUNK, FULL CANOPY, SPACE AS SHOWN
ZS	15	ZELKOVA Zelkova serrata 'GREEN VASE'	B&B	2.5" CAL	6" CLEAR TRUNK, FULL CANOPY, SPACE AS SHOWN
AG	8	AUTUMN BRILLIANCE SERVICEBERRY Amelanchier canadensis	B&B	2.5" CAL	6" CLEAR TRUNK, FULL CANOPY, SPACE AS SHOWN
FD	7	EASTERN FLOWERING DOGWOOD Cornus florida 'CHICKADEE SUNSET'	B&B	2.5" CAL	STRAIGHT TRUNK, FULL CANOPY, SPACE AS SHOWN
SM	11	SOUTHERN MAGNOLIA Magnolia grandiflora 'LITTLE GEM'	B&B	6" @ PLANTING	STRAIGHT TRUNK, FULL CANOPY, SPACE AS SHOWN

NOTE TO CONTRACTOR: IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLAN DOES NOT MATCH QUANTITIES IN PLANT LIST, GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS WILL GOVERN.

*SPECIES SELECTED FROM CITY OF BENTONVILLE APPROVED SPECIES LIST FOR USE UNDER OVERHEAD ELECTRIC

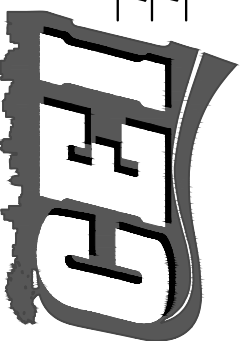
LEGEND

- Boundary Line
Gas Line
Fiber Optic Line
Overhead Electric Line
Sanitary Sewer Line
Storm Drainage Pipe
Underground Electric Line
Canopy/Overhang
Tree Line
Chainlink Fence
Wood Fence
Clean out
Sewer manhole
Drainage manhole
Grate inlet(square)
Roof drain
Fire department connector
Fire hydrant
Water meter
Water valve
Gas meter
Electric meter
Guy wire
Pad mount AC unit
Light pole straight-2 lamps
Light pole straight-4 lamps
Electrical riser
Utility pole
Telephone riser
Telephone sign
Telephone vault
Fiber optic warning sign
Fiber optic vault
Unknown vault
Ballard/Guard Post
Handicap Symbol (ADA)
Flag Pole
Sign
Wheel stop
Deciduous tree
Evergreen tree
Existing Ground
Grade Break
Bottom bank
Top bank
Flow line (Ditch)
Top Back Curb
Gutter
Edge of asphalt
Center road
Edge of concrete
Existing concrete
Edge of gravel
Railroad tracks
Concrete sidewalk
Stripe solid
Sewer manhole
Overhead Electric
Deciduous tree
Evergreen tree
Building corner
Block wall
Finish floor
Building canopy
Curb inlet flow
Flow line pipe
Drainage manhole
Grate inlet-square
American's with Disabilities Acts
Ductile Iron Pipe
Polyvinyl Chloride Pipe
Reinforced Concrete Pipe
Finish Floor Elevation

REVISIONS

NO.	DATE	DESCRIPTION

Engineering Associates, Inc.



MAINTENANCE BUILDINGS #9000-516

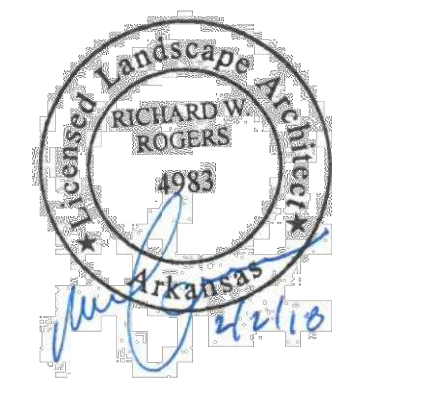
LANDSCAPE PLAN

1202 AND 1208 PHYLLIS ST

BENTONVILLE, ARKANSAS

Walmart
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INITIAL DESIGN			DATE
DPOR	JT	RLP	2/2/18
DPOR	PM	DES	RLP



JOB NO.: 30525 DWG NAME: 30525-UP	SHEET NO. C-5.0
DATE 2/2/18 5:48 PM REV-1	

BRK-1:
INTERSTATE BRICK
MIDNIGHT BLACK

MTL-1:
7.2 RIBBED METAL PANEL
ANODIZED ALUMINUM

PT-01:
SHERWIN WILLIAMS
SW6252 ICE CUBE

PC-1 (LINER PANEL):
VINYLKOK 14311
PAINTED PT-01

MATERIAL LEGEND

APPROXIMATE WALL AREA:	2,736 SQFT	100%
BRICK/PRECAST:	2,048 SQFT	75%
METAL PANEL:	688 SQFT	25%
ARTICULATED WALL WIDTH:	130 LN FT	75%

5 CABINET SHOP AXON

APPROXIMATE WALL AREA:	1,914 SQFT	100%
BRICK/PRECAST:	1,914 SQFT	100%
ARTICULATED WALL WIDTH:	N/A	

APPROXIMATE WALL AREA:	4,008 SQFT	100%
BRICK/PRECAST:	4,008 SQFT	100%
ARTICULATED WALL WIDTH:	82 LN FT	41%

2 CABINET SHOP AXON

APPROXIMATE WALL AREA:	1,760 SQFT	100%
BRICK/PRECAST:	1,446 SQFT	82%
METAL PANEL:	315 SQFT	18%
ARTICULATED WALL WIDTH:	N/A	

NIELSEN
ARCHITECTURE, LLC

nielsen-architecture.com

1710 SW Commerce Drive
Suite 25
Bentonville, AR 72712
eric@nielsen-architecture.com
479.254.0112

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PHILLIS STREET
WM CABINET SHOP / ICE MELT

PROJECT NUMBER:
2017-00111
DRAWN BY: JJK
APPROVED BY: EJK
ISSUE DATE:
2018-01-09

REVISIONS		
#	DATE	DESCRIPTION

SHEET CONTENTS:

CABINET SHOP -
BUILDING
ELEVATIONS

A201

1/11/2018, 4:10:52 PM
A:\Users\jdo\Documents\Walmart Cabinet Shop_100\Nilsen-architect.com.rvt



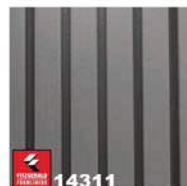
BRK-1:
INTERSTATE BRICK
MIDNIGHT BLACK



MTL-1:
7.2 RIBBED METAL PANEL
ANODIZED ALUMINUM



PT-01:
SHERWIN WILLIAMS
SW6252 ICE CUBE

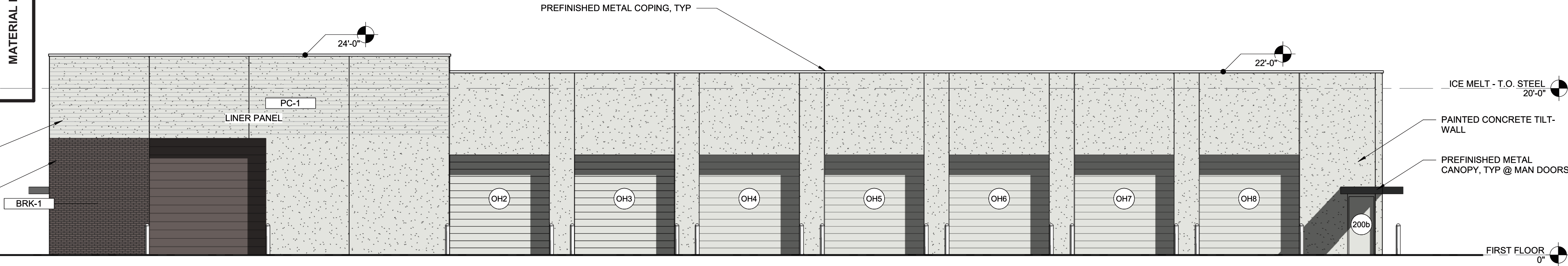


PC-1 (LINER PANEL):
VINYLKOK 14311
PAINTED PT-01

MATERIAL LEGEND

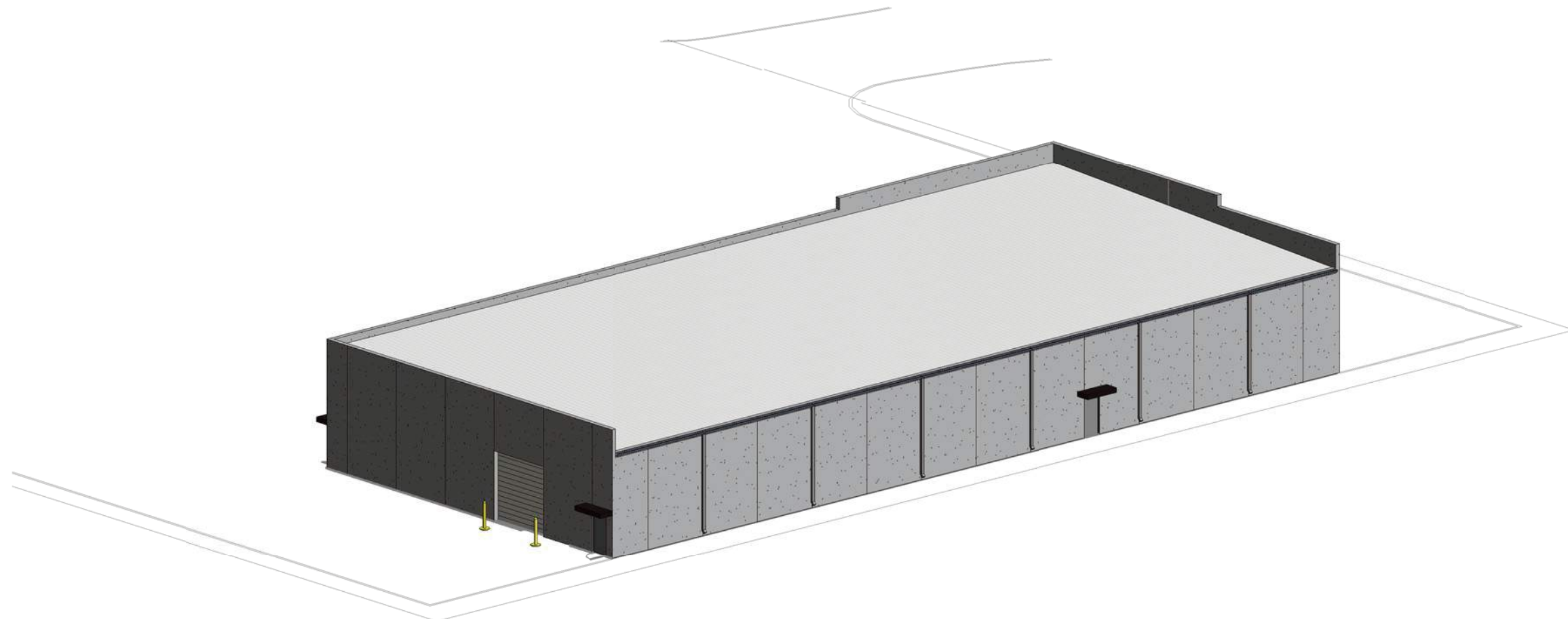
TILT-WALL WITH LINEAR LINER
PANEL PATTERN (HORIZONTAL) @
6" O.C. (PAINTED)

BRICK INSET INTO TILT-UP PANEL



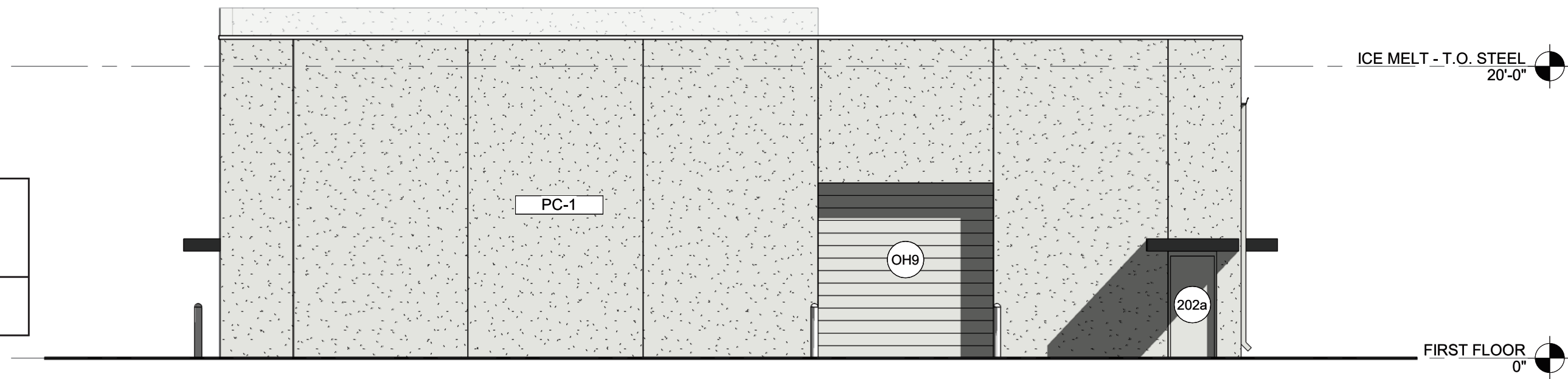
5 ICE MELT - NORTH ELEVATION
1/8" = 1'-0"

APPROXIMATE WALL AREA:	2,220 SQFT	100%
BRICK/PRECAST:	2,220 SQFT	100%
ARTICULATED WALL WIDTH:	48 LN FT	30%

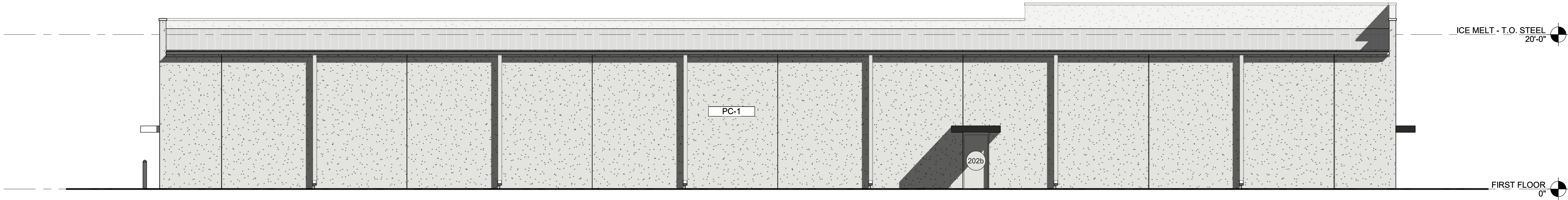


6 ICE MELT AXON

APPROXIMATE WALL AREA:	1,362 SQFT	100%
BRICK/PRECAST:	1,362 SQFT	100%
ARTICULATED WALL WIDTH:	N/A	

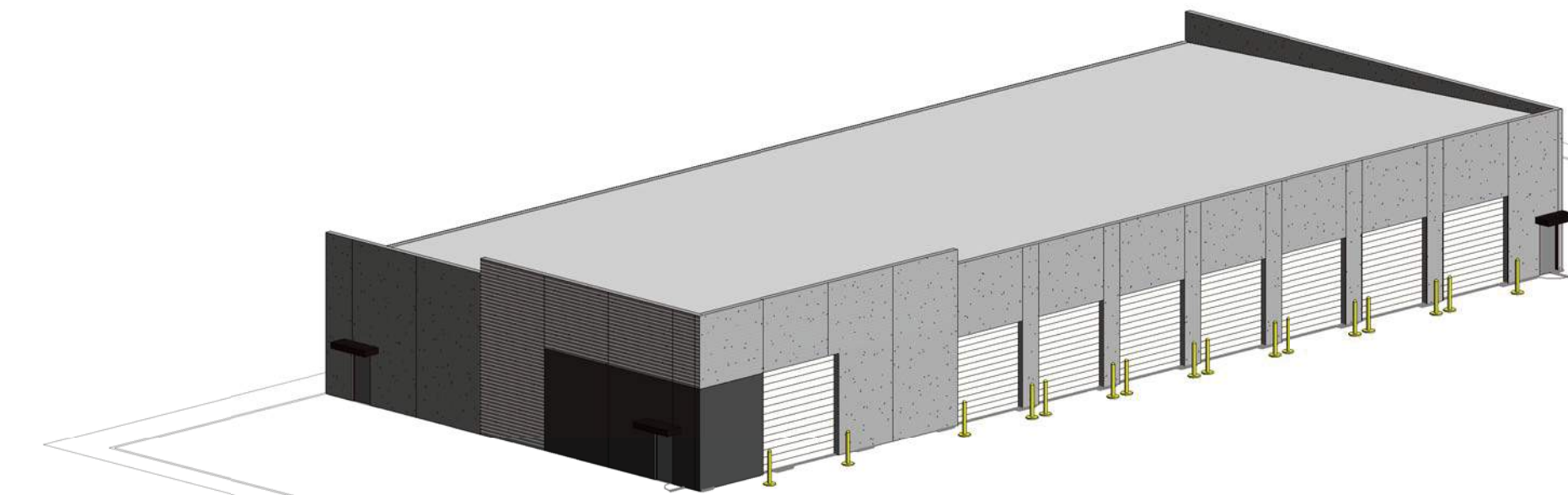


4 ICE MELT - WEST ELEVATION
1/8" = 1'-0"



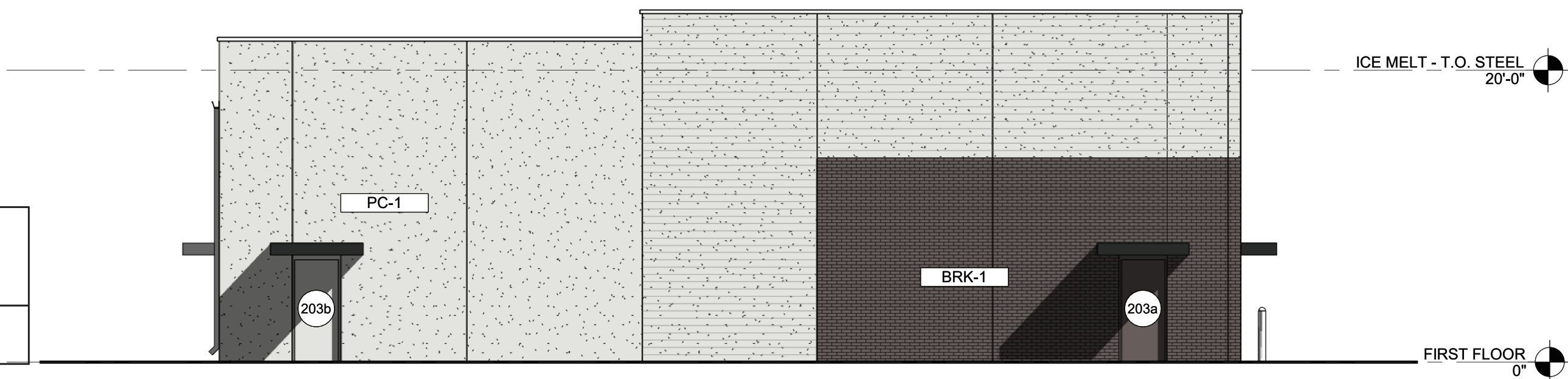
3 ICE MELT - SOUTH ELEVATION
1/8" = 1'-0"

APPROXIMATE WALL AREA:	2,758 SQFT	100%
BRICK/PRECAST:	2,758 SQFT	100%
ARTICULATED WALL WIDTH:	N/A	



2 ICE MELT AXON

APPROXIMATE WALL AREA:	1,425 SQFT	100%
BRICK/PRECAST:	1,425 SQFT	100%
ARTICULATED WALL WIDTH:	N/A	



1 ICE MELT - EAST ELEVATION
1/8" = 1'-0"

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1/11/2018 4:10:52 PM

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PHILLIS STREET
WM CABINET SHOP / ICE MELT

PROJECT NUMBER:

2017-00111

DRAWN BY: JGK

APPROVED BY: EJM

ISSUE DATE:

2018-01-09

REVISIONS

#	DATE	DESCRIPTION

SHEET CONTENTS:

ICE MELT - BUILDING
ELEVATIONS