



**Planning Commission
Agenda
June 19, 2018**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda Items**

- 1. Lot 1 MDS Subdivision and Lot 4
Pilgrim Nazarene Church Addition** **Property Line Adjustment**
507 NW 5th Street and 410 Dickson Street (*PLA18-0017*)
- 2. Glen Road Townhomes** **Large Scale Development**
Glen Road (*LSD18-0031*)

IV. New Business

- 1. Happy Hearts Early Learning Center** **Conditional Use***
2305 SW 15th Street (*CU18-0013*)
- 2. BITE Festival** **Conditional Use***
801 SE 8th Street (*CU18-0014*)
- 3. Walnut Grove Subdivision** **Preliminary Plat**
SW Barron Road and Piercy Road (*PP18-0006*)
- 4. Fire Station #7** **Large Scale Development**
SW Prime Avenue (*LSD18-0030*)
- 5. 5th and Dickson** **Large Scale Development**
507 NW 5th Street and 410 Dickson Street (*LSD18-0032*)

- V. Other Business**
- VI. Planner's Report**

- 1. Community Plan Update**

VII. Adjournment

Planning Commission
Minutes
June 5, 2018

Meeting called to order at 5:00 p.m. by Rod Sanders, Chairman

Present: Elaine Kerr, Scott Eccleston, Rod Sanders, Joe Haynie, Jim Grider, Richard Binns, and Tregg Brown
Staff: Jon Stanley and Tyler Overstreet

Motion by Mr. Haynie, seconded by Mr. Grider to approve the minutes of May 15, 2018 as written
Approved 7-0

Consent Agenda

- | | |
|---|-----------------------------------|
| 1. Lots 84 and 85 of Woods Creek South Phase II | Property Line Adjustment |
| 200 NE Lakeview Terrace, PLA18-0015 | |
| 2. Crystal Flats | Large Scale Development Extension |
| Northeast John DeShields Boulevard, LSD17-0108 | |

Approved 7-0

New Business

Item #1

Stoker: Rezoning, 230 SE 7th Street, R-1, Single Family Residential to DE, Downtown Edge, RZ18-0019
Tyler Overstreet reads the staff report.
Opened public hearing
No public comments
Closed public hearing
There is no discussion amongst the Commissioners.
Approved 7-0

Item #2

Newell Holdings, LLC: Rezoning, 217 NW A Street, R-1, Single Family Residential to DE, Downtown Edge, RZ18-0020
Tyler Overstreet reads the staff report.
Opened public hearing
No public comments
Closed public hearing
There is no discussion amongst the Commissioners.
Approved 7-0

Item #3

Elm Tree Townhomes: Large Scale Development, 3220 SW 2nd Street, LSD18-0025
Tyler Overstreet reads the staff report.
Motion by Mr. Grider, seconded by Mr. Binns to approve the Waiver Request: Off-Site Improvements
Approved 7-0
Large Scale Development
Approved 7-0

Item #4

Diamond Wash: Large Scale Development, Southeast Eagle Way, LSD18-0029

Tyler Overstreet reads the staff report.

Motion by Mr. Eccleston, seconded by Mr. Grider to approve the Waiver Request: Perimeter Landscaping & Screening

Approved 7-0

Large Scale Development

Approved 7-0

Item #5

Dharmadhikari: Sidewalk Waiver, 1203 SE 33rd Street

Tyler Overstreet reads the staff report.

There is no discussion amongst the Commissioners.

Approved 7-0

Motion by Mr. Grider, seconded by Mr. Binns to adjourn

Meeting adjourned

****A copy of this recording can be obtained from the Bentonville Planning Department.**

Ali Worley



Consent Agenda Items

For Planning Commission meeting of June 19, 2018

Reviewer: Tyler Overstreet, Planner

- ❖ At the Technical Review meeting held on June 12, 2018 the Planning Commission requested these items be placed on the Consent agenda. The descriptions below shall serve as the staff report for each of the consent agenda items.

Property Line Adjustment: Lot 1 MDS Subdivision and Lot 4 Pilgrim Nazarene Church Addition, Yessur Investments, LLC, 507 NW 5th Street / 410 Dickson Street, DN-2, Downtown Medium-Density Residential and R-1, Single Family Residential (PLA18-0017)

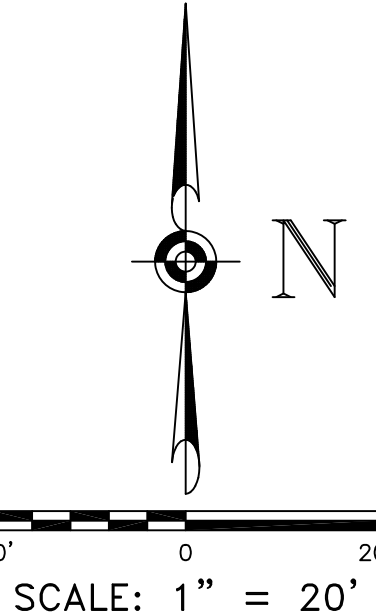
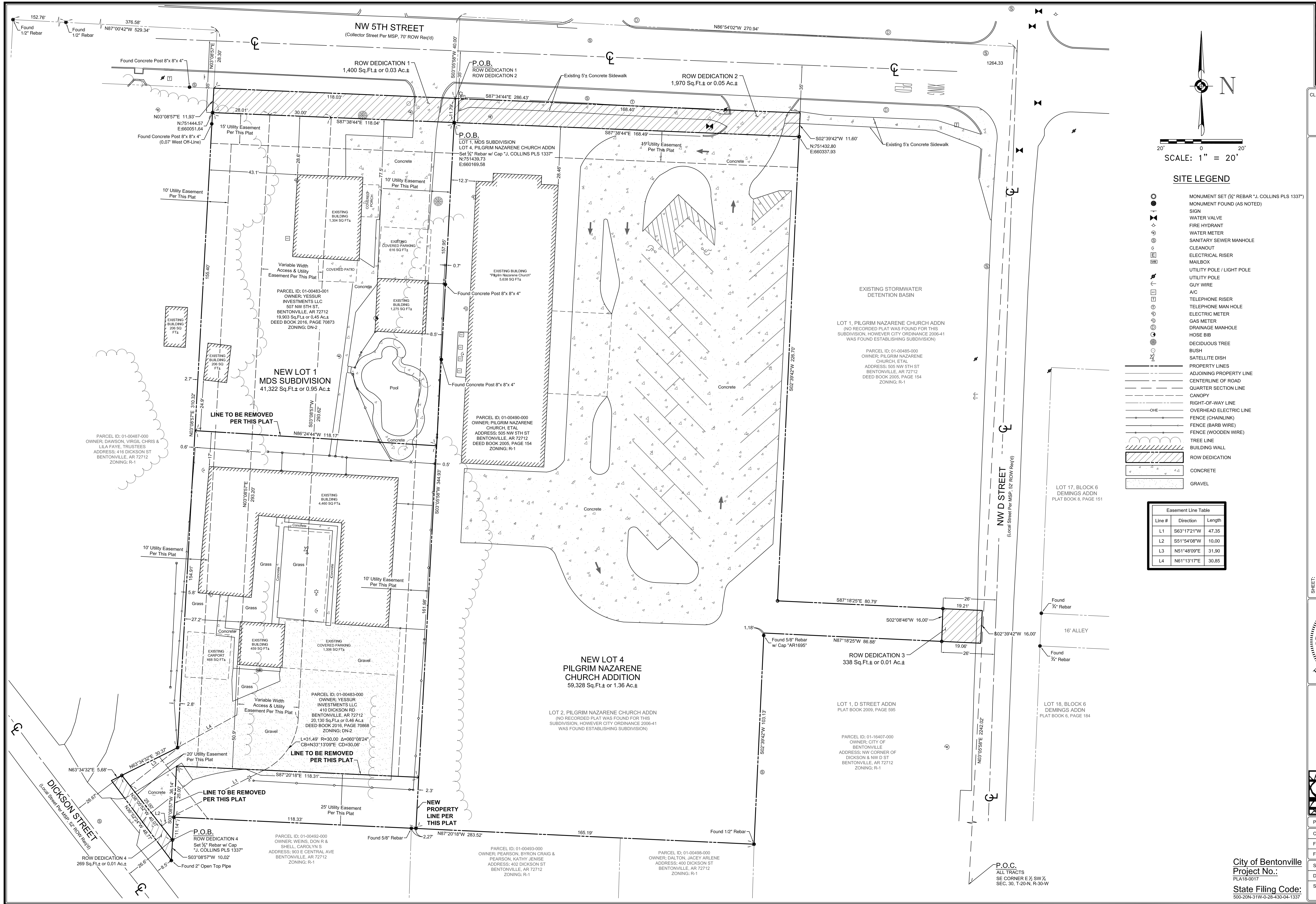
Property Line Adjustment adjusting the common lot line between Lot 2 of Pilgrim Nazarene Church Addition and an unplatted area, creating new Lot 1 of MDS Subdivision and Lot 4 of Pilgrim Nazarene Church Addition. The plat dedicates multiple utility easements of varying widths. The plat dedicates right-of-way along NW 5th Street, NW D Street, and Dickson Street.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)

Large Scale Development: Glen Road Townhomes, Sembian Investment Group, LLC, Glen Road/ SW Palmer Creek, R-2, Planned Residential Development, (LSD18-0031)

Project consists of 16 townhouse units, located in four separate structures. The materials depicted for the exterior elevations are fiber cement board and brick. The development provides 36 parking spaces, including 32 in garages and 4 off-street spaces. The development shows adequate landscaping. The applicant shall construct sidewalk the length of the project area.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)



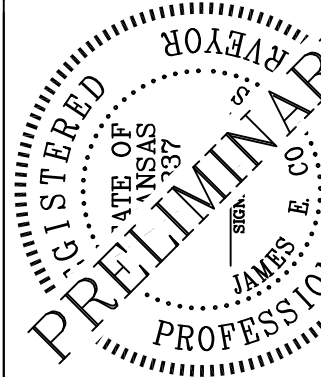
SITE LEGEND

- MONUMENT SET (6" REBAR "J. COLLINS PLS 1337")
- MONUMENT FOUND (AS NOTED)
- SIGN
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- SANITARY SEWER MANHOLE
- CLEANOUT
- ELECTRICAL RISER
- MAILBOX
- UTILITY POLE / LIGHT POLE
- UTILITY POLE
- GUY WIRE
- A/C
- TELEPHONE RISER
- TELEPHONE MAN HOLE
- ELECTRIC METER
- GAS METER
- DRAINAGE MANHOLE
- HOSE BIB
- DECIDUOUS TREE
- BUSH
- SATELLITE DISH
- PROPERTY LINES
- ADJOINING PROPERTY LINE
- CENTERLINE OF ROAD
- QUARTER SECTION LINE
- CANOPY
- RIGHT-OF-WAY LINE
- OVERHEAD ELECTRIC LINE
- FENCE (CHAINLINK)
- FENCE (BARB WIRE)
- FENCE (WOODEN WIRE)
- TREE LINE
- BUILDING WALL
- ROW DEDICATION
- CONCRETE
- GRAVEL

Easement Line Table		
Line #	Direction	Length
L1	S63°17'21"W	47.35
L2	S51°54'08"W	10.00
L3	N51°48'09"E	31.90
L4	N61°13'17"E	30.85

CLIENT:
Kala Dhana
MDS Homes, Inc.
1803 SW Regional Airport Blvd
(479) 616-2161
kala@mdshomes.com

PROJECT:
PROPERTY LINE ADJUSTMENT
CREATING LOT 1, MDS SUBDIVISION
AND LOT 4, PILGRIM NAZARENE CHURCH ADDITION
BENTONVILLE, ARKANSAS



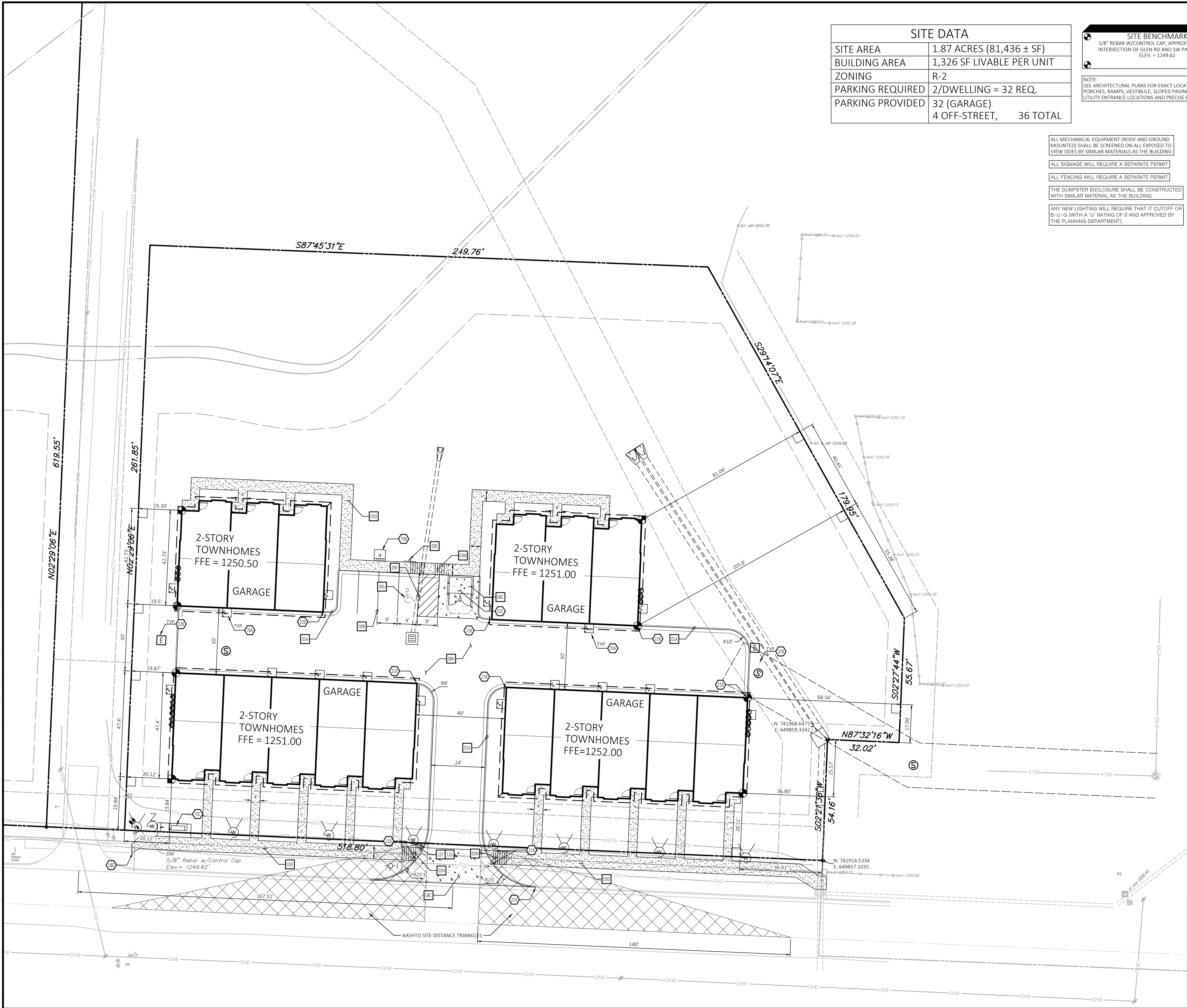
SAND CREEK
SAND CREEK LANDSCAPE ARCHITECTURE, P.C.
610 NW 12th Street
Bentonville, Arkansas 72712

PLS: JEC
CAD: JDW
FIELD: MJH

SCE PROJECT #: 17042
DATE: 05/10/2018
SHEET: 2 OF 2

City of Bentonville
Project No.:
PLA18-0017
State Filing Code:
500-20N-31W-0-28-430-04-1337

JOB # 30378 DRAWING: 30378-SP.dwg LAST SAVED BY: PTHBODAUX LOCATION: p:\30000\30378 0 Drawings\Design\working\30378-SP.dwg

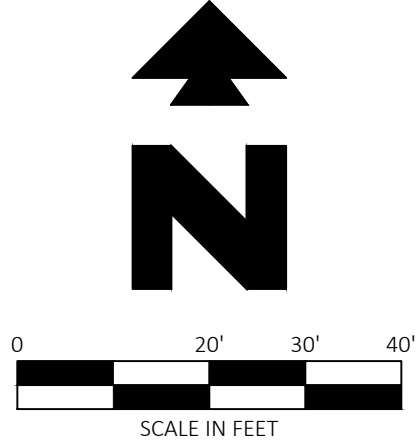


SITE DATA	
SITE AREA	1.87 ACRES (81,436 ± SF)
BUILDING AREA	1,326 SF LIVABLE PER UNIT
ZONING	R-2
PARKING REQUIRED	2/DWELLING = 32 REQ.
PARKING PROVIDED	32 (GARAGE) 4 OFF-STREET, 36 TOTAL

SITE BENCHMARK

5/8" REBAR W/CONTROL CAP, APPROX. 17' EAST OF INTERSECTION OF GLEN RD AND SW PALMER CREEK
ELEV. = 1249.62

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



Know what's below.
Call before you dig.

- ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) SHALL BE SCREENED ON ALL EXPOSED TO VIEW SIDES BY SIMILAR MATERIALS AS THE BUILDING
- ALL SIGNAGE WILL REQUIRE A SEPARATE PERMIT
- ALL FENCING WILL REQUIRE A SEPARATE PERMIT
- THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH SIMILAR MATERIAL AS THE BUILDING
- ANY NEW LIGHTING WILL REQUIRE THAT IT CUTOFF OR B-U-G (WITH A 'U' RATING OF 0 AND APPROVED BY THE PLANNING DEPARTMENT).

EXISTING LEGEND

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X"W	WATER
---	RIGHT OF WAY LINE	5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
---	STORM DRAIN		
---	X"G		
---	GAS		
---	OHE		
---	OVERHEAD ELECTRIC		
---	OHE&T		
---	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED LEGEND

---	PROPERTY LINE/RIGHT OF WAY LINE	●	CURB INLET
---	CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.		
●	BUILDING CONTROL POINT		
#	PROPOSED PARKING SPACES		
---	LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)		
---	LIMITS OF CONCRETE PAVING		

GENERAL SITE NOTES

- A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. ALL CURB RETURN RADII SHALL BE 3', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 08A OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 70A.
- D. ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
- E. ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.

SITE NOTES

- 02B TRANSFORMER PAD (PER ELEC. CO. AND/OR ARCH. PLANS).
- 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
- 70A 4'X4' CONCRETE PAD FOR HVAC
- 70B POSTAGE BOX
- 70C BIKE RACK (DERO SWERVE OR APPROVED EQUAL) AND BENCH (VICTOR STANLEY "CLASSIC: MODEL RC-10, OR APPROVED EQUAL, MIN. 6' IN LENGTH) SITE AMENITIES

SITE DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER
- 03D CONCRETE SIDEWALK
- 03M WHEELCHAIR RAMP IN SIDEWALK
- 03N WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
- 08A STANDARD DUTY ASPHALT PAVING
- 08C HEAVY DUTY CONCRETE PAVING
- 09B NINETY DEGREE PARKING SPACE STRIPING
- 09F 90 DEGREE ACCESSIBLE PARKING SPACE STRIPING
- 09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
- 09U ACCESSIBLE PARKING SYMBOL
- 12F SIGN BASE
- 12G STOP SIGN

CITY PROJECT# LSD18-0031

STATE OF ARKANSAS
MICHAEL L. BACHTEL
LICENSED PROFESSIONAL ENGINEER
No. 14021

06/04/2018

30378 6/1/18 NLB NLB KLH KLH
CEI PROJECT NO. INITIAL DATE DPOR PM DES DRW

CEI

Engineering Associates, Inc.

ENGINEERS • PLANNERS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 S.W. REGENCY PARKWAY, SUITE 2 (479)273-9472
Bentonville, AR 72712 FAX (479)273-0844

GLEN ROAD TOWNHOMES

GLEN RD
BENTONVILLE ARKANSAS

SITE PLAN

REV DATE 6/1/18 REV-1 SHEET NO. 2

JOB # 30378 DRAWING: 30378-LP.dwg LAST SAVED BY: PTHRODOLUX LOCATION: P:\30000\30378\0\Drawings\Design\working\30378-LP.dwg

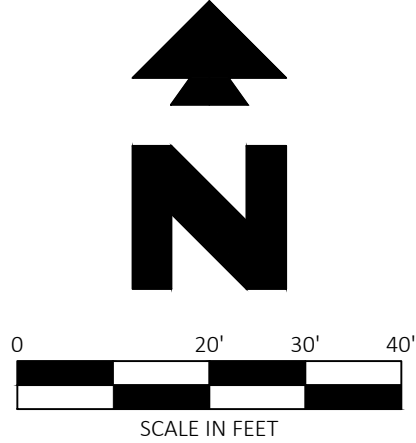


SITE BENCHMARK

5/8" REBAR W/CONTROL CAP, APPROX. 17' EAST OF INTERSECTION OF GLEN RD AND SW PALMER CREEK
ELEV. = 1249.62

NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



Know what's below.
Call before you dig.

WHERE THERE ARE POTENTIAL UTILITY CONFLICTS WITH LANDSCAPING, UTILITIES SHALL BE FIELD VERIFIED.

EXISTING LEGEND

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X"W	WATER
---	RIGHT OF WAY LINE		
---	STORM DRAIN		
---	X"G		
---	GAS		
---	OHE		
---	OHE&T		
		5-10-11 50.5	
			TREE INFO
			.5 = DIAMETER OF TRUNK IN FEET
			10 = HEIGHT OF TREE IN FEET
			11 = CANOPY DIAMETER IN FEET
			50.5 = ELEVATION AT BASE OF TREE

PROPOSED LEGEND

---	BOUNDARY LINE
---	STORM DRAIN

GENERAL NOTES

A. SEE LANDSCAPE NOTES (SHEET 10) FOR LANDSCAPE NOTES AND DETAILS.

LANDSCAPE DETAILS

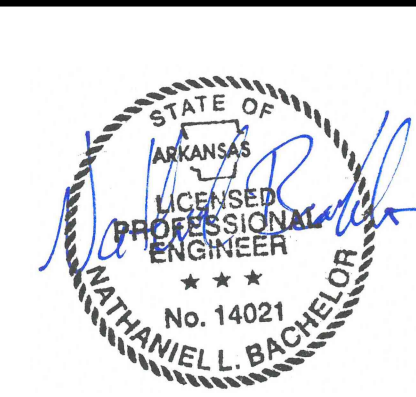
- 50A TREE PLANTING
50D TREE PLANTING ON SLOPE

LANDSCAPE REQUIREMENTS

CITY REQUIREMENTS	REQUIRED	PROVIDED
STREET TREES	1 SHADE TREE PER 20 L.F. 312 L.F. TOTAL STREET FRONTAGE 16 REQUIRED	16 PROPOSED STREET TREES
EAST PERIMETER TREES	- TYPE B SCREEN - SEMI-OPAQUE SCREEN	24 EVERGREEN SHRUBS - EXISTING 6' SUBDIVISION WOOD FENCES - EXISTING DECIDUOUS TREES ALONG CREEK
WEST AND NORTH PERIMETER TREES	- TYPE D SCREEN - NO DEFINED SCREEN	(X1) 2.5" CAL SHADE TREE PER 50' LF (UP TO 50% MAY BE ORNAMENTAL) - EXISTING DECIDUOUS TREES ALONG CREEK

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B & B	2"Cal	6' MIN.	3
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2.5"Cal	6' MIN.	15
	Nyssa sylvatica 'Wildfire' / Black Gum	B & B	2.5"Cal	6' MIN.	15
	Thuja occidentalis 'Green Giant' / Green Giant Arborvitae	B & B	2.5"Cal	8' MIN.	11

CITY PROJECT# LSD18-0031



30378

CEI PROJECT NO.

6/1/18

INITIAL DATE

NLB

DPOR

NLB

PM

KLH

DES

KLH

DRW

Engineering Associates, Inc.

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GLEN ROAD TOWNHOMES

GLEN RD

BENTONVILLE ARKANSAS

LANDSCAPE PLAN

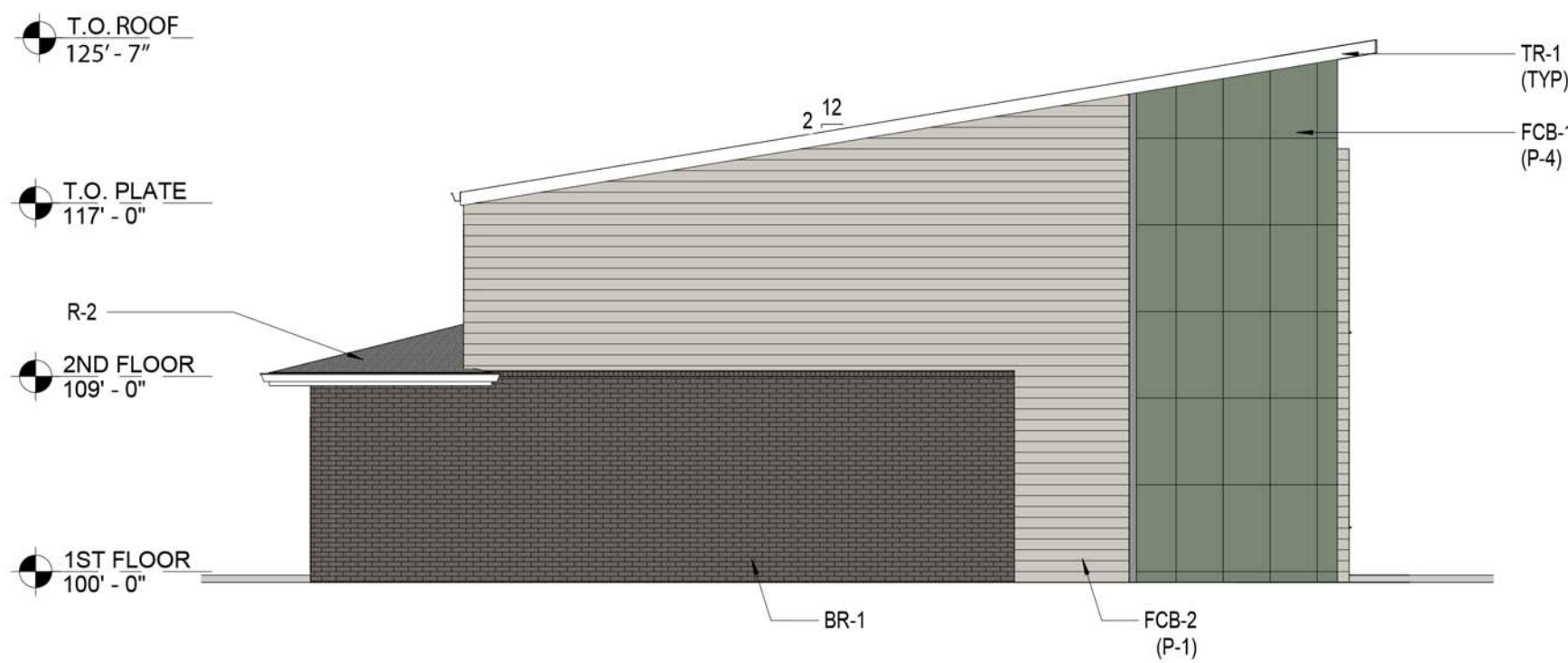
REV DATE
6/1/18
REV-1

SHEET NO.
8

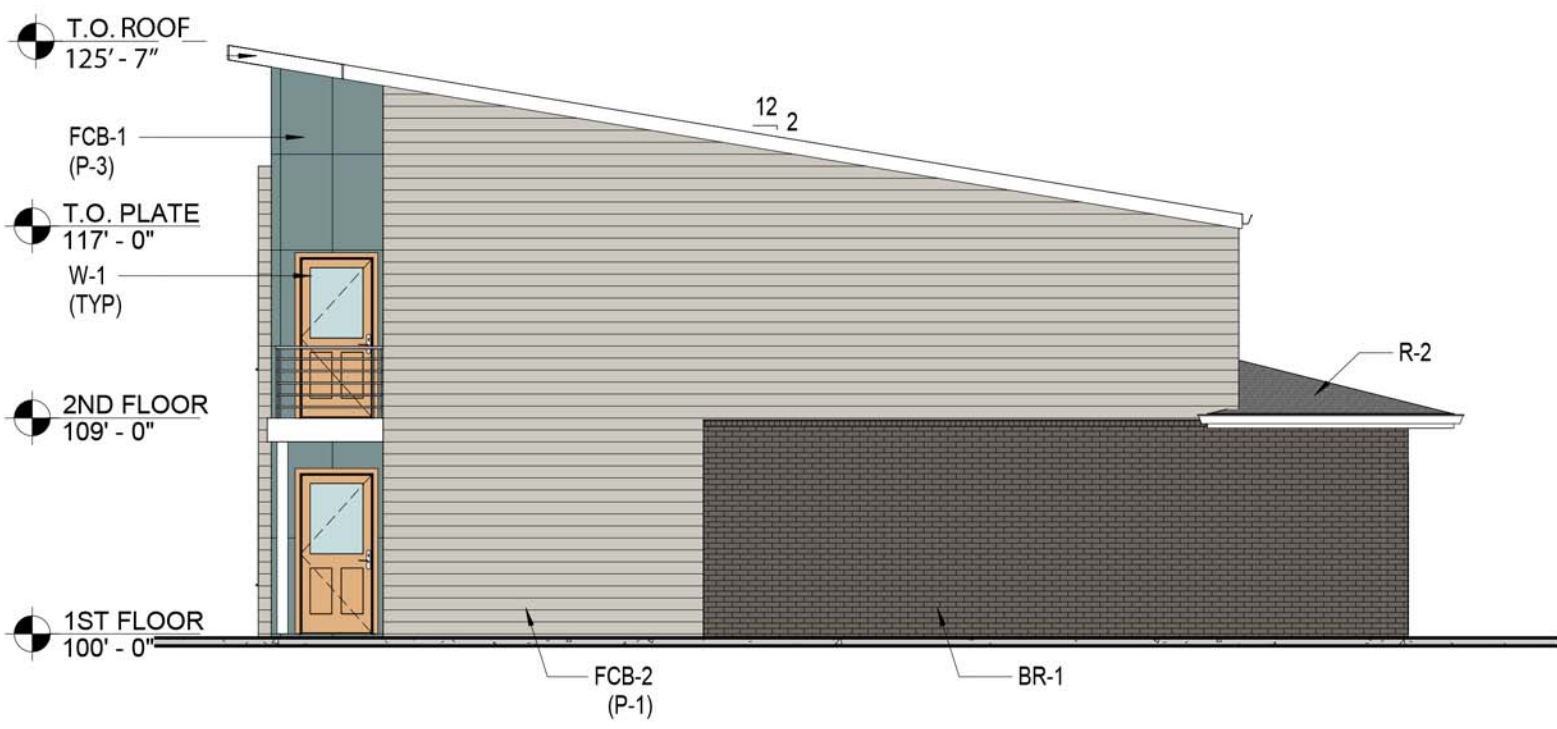


5 3D PERSPECTIVE COLOR

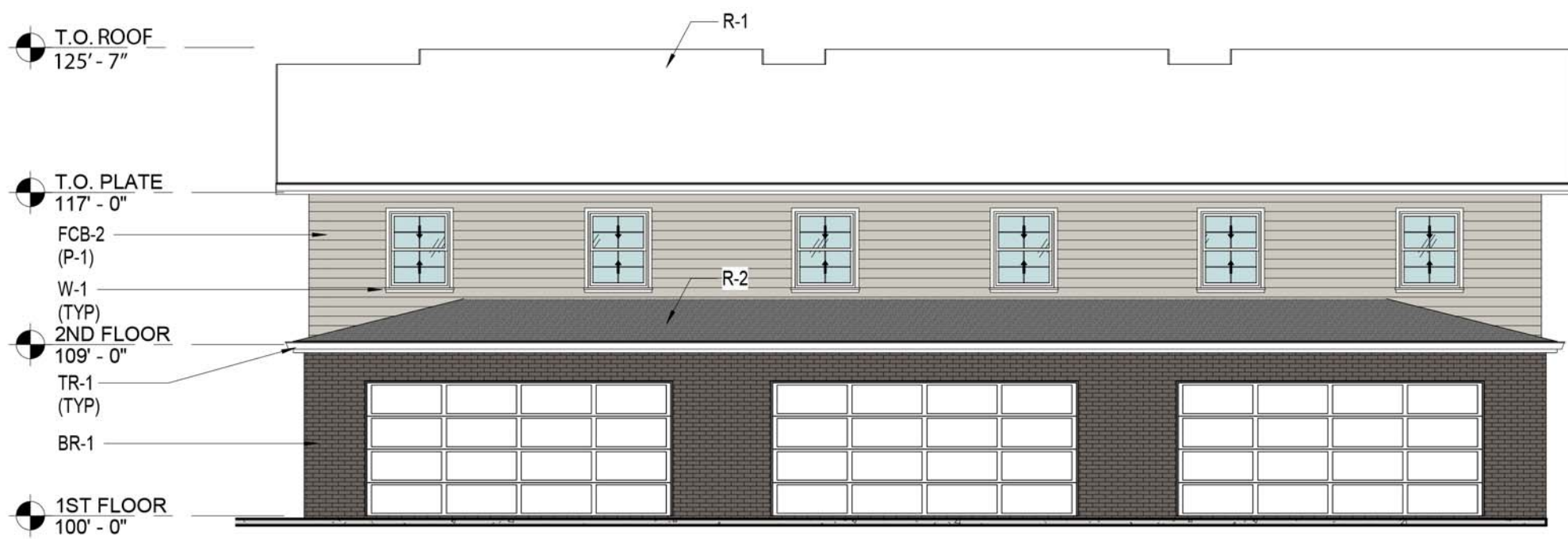
FINISH LEGEND			
FCB-1 FIBER CEMENT BOARD		W-1 WINDOW	
MATERIAL:	MINERIT HD (RAW) FACADA BAORDS	MATERIAL:	ALUMINUM
COLOR:	PAINTED	COLOR:	WHITE
MNF:	AMERICAN FIBER CEMENT CORPERATION (OR APPROVED EQUAL)	MNF:	TBD
FCB-2 FIBER CEMENT BOARD		P-1 PAINT	
MATERIAL:	HARDIEPLANK	COLOR:	REPOSE GRAY (SW 7015)
COLOR:	PAINTED	MNF:	SHERWIN WILLIAMS (OR APPROVED EQUAL)
MNF:	JAMES HARDIE (OR APPROVED EQUAL)		
BR-1 BRICK VENEER		P-2 PAINT	
MATERIAL:	BRICK VENEER	COLOR:	MOODY BLUE (SW 6221)
COLOR:	CHARCOAL GRAY	MNF:	SHERWIN WILLIAMS (OR APPROVED EQUAL)
MNF:	ACME BRICK (OR APPROVED EQUAL)		
TR-1 FASCIA, SOFFIT & GUTTER		P-3 PAINT	
MATERIAL:	ALUMINUM	COLOR:	CARNELIAN (7580)
COLOR:	WHITE	MNF:	SHERWIN WILLIAMS (OR APPROVED EQUAL)
MNF:	TBD		
R-1 ROOF MEMBRANE		P-4 PAINT	
MATERIAL:	TPO	COLOR:	PRIVILEGE GREEN (SW 6193)
COLOR:	WHITE	MNF:	SHERWIN WILLIAMS (OR APPROVED EQUAL)
MNF:	TBD		
R-2 ARCHITECTURAL SHINGLE			
MATERIAL:	ARCHITECTURAL SHINGLE		
COLOR:	CHARCOAL GRAY		
MNF:	TBD		



4 LEFT SIDE ELEVATION COLOR
1/8" = 1'-0"



2 RIGHT SIDE ELEVATION COLOR
1/8" = 1'-0"



3 REAR ELEVATION COLOR
1/8" = 1'-0"



1 FRONT ELEVATION COLOR
1/8" = 1'-0"

GLEN ROAD TOWNHOMES 3 PLEX

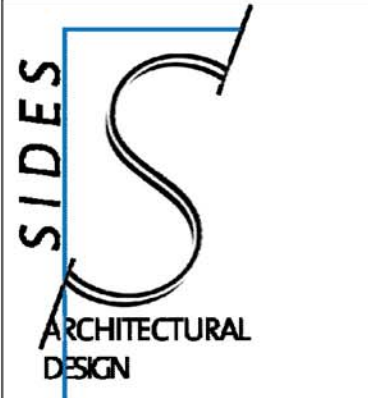
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SCALE:	1/8" = 1'-0"
DATE:	4/3/2018
DRAWN BY:	DS
CHECKED BY:	DS

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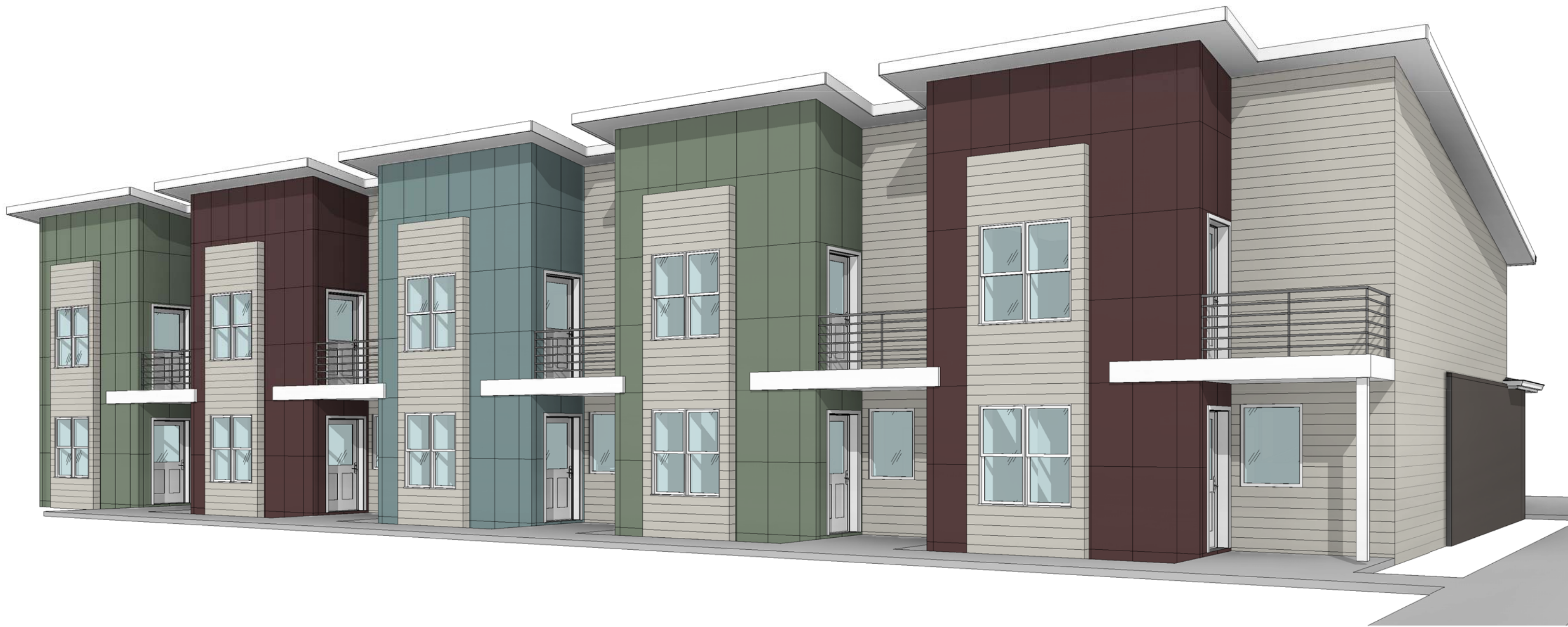
SHEET:

A106

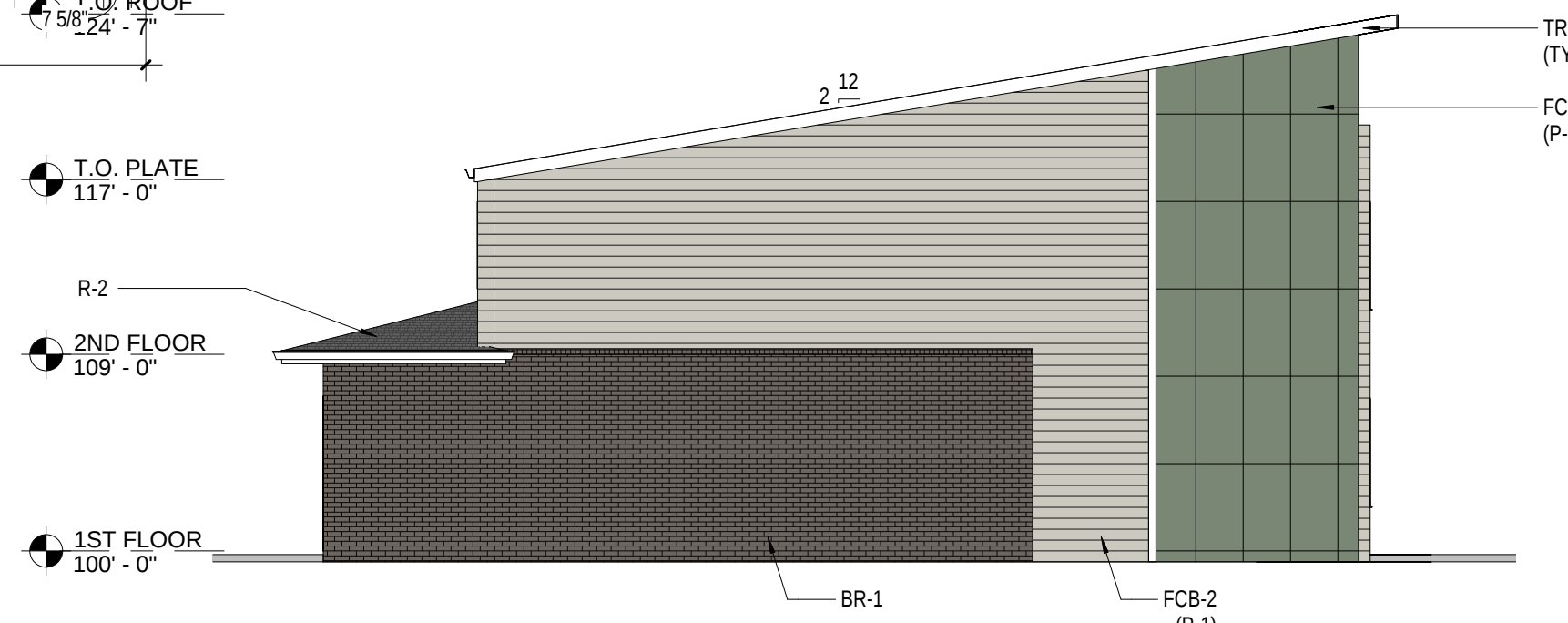
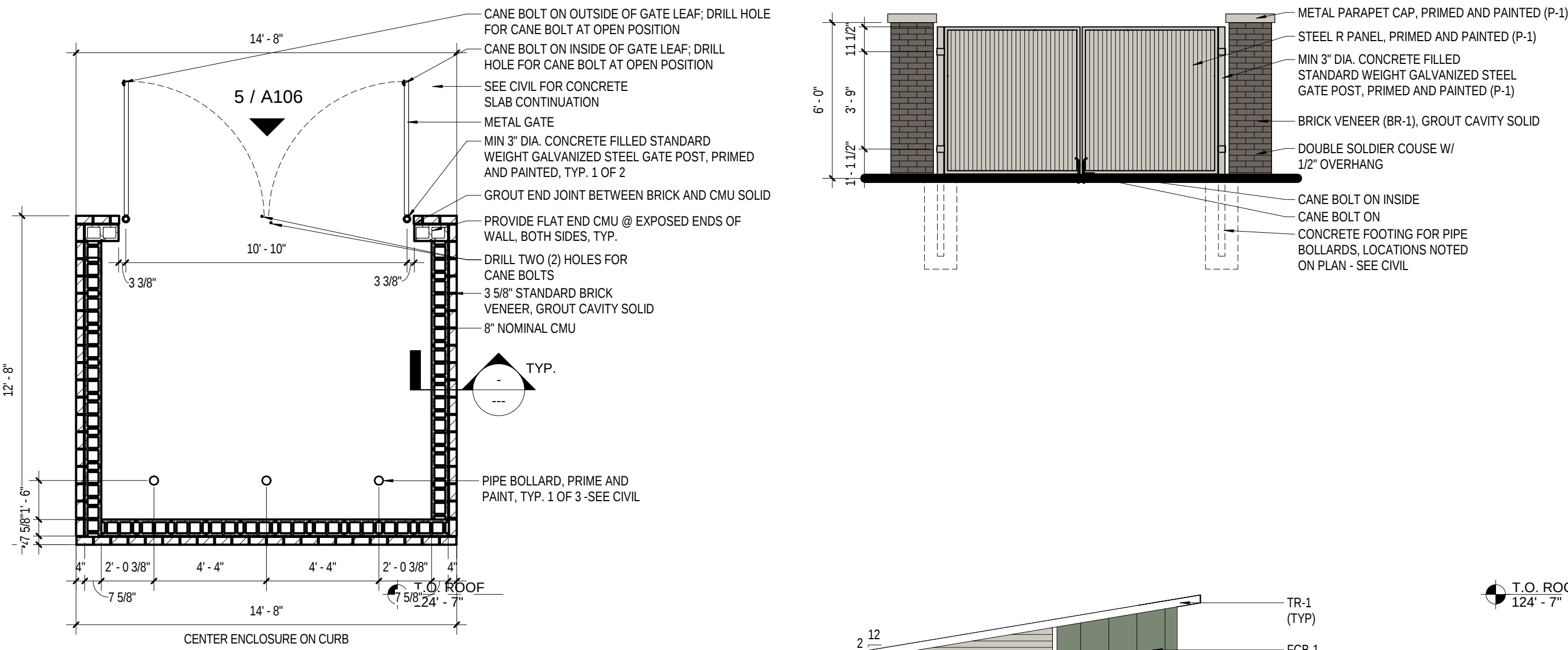
Date	
Description	
No.	



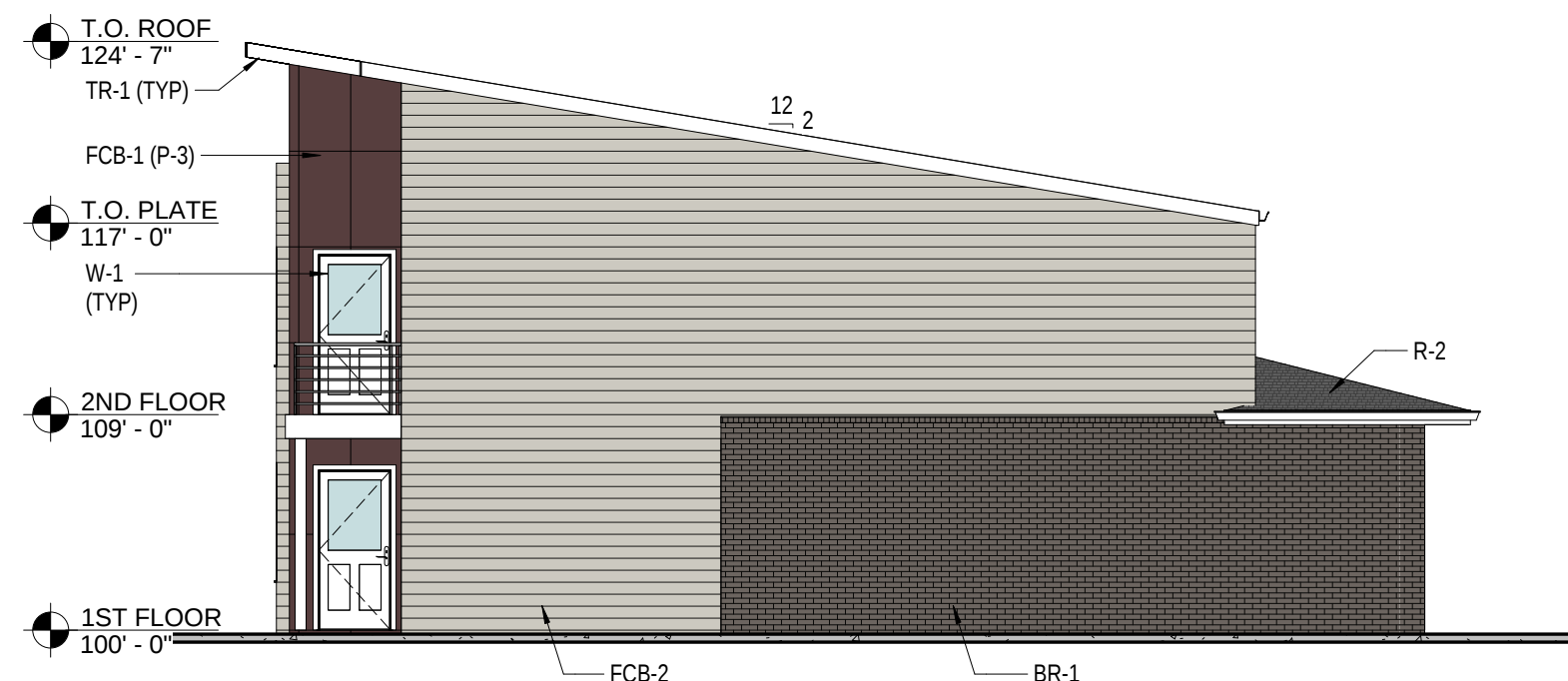
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devonsides@outlook.com
www.sidesarchdesign.com



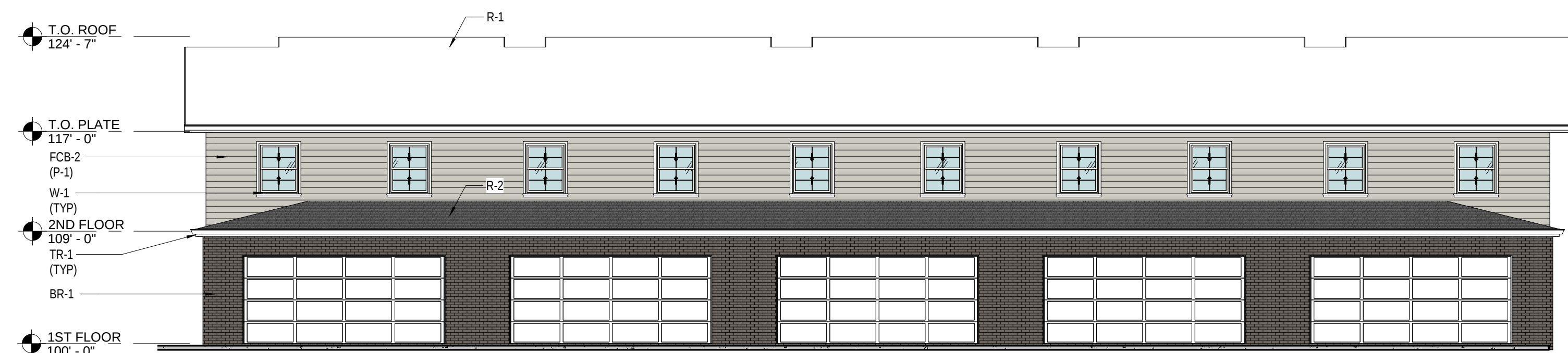
6 3D PERSPECTIVE COLOR
NOTE: SHOWN FOR REPRESENTATIONAL PURPOSES ONLY



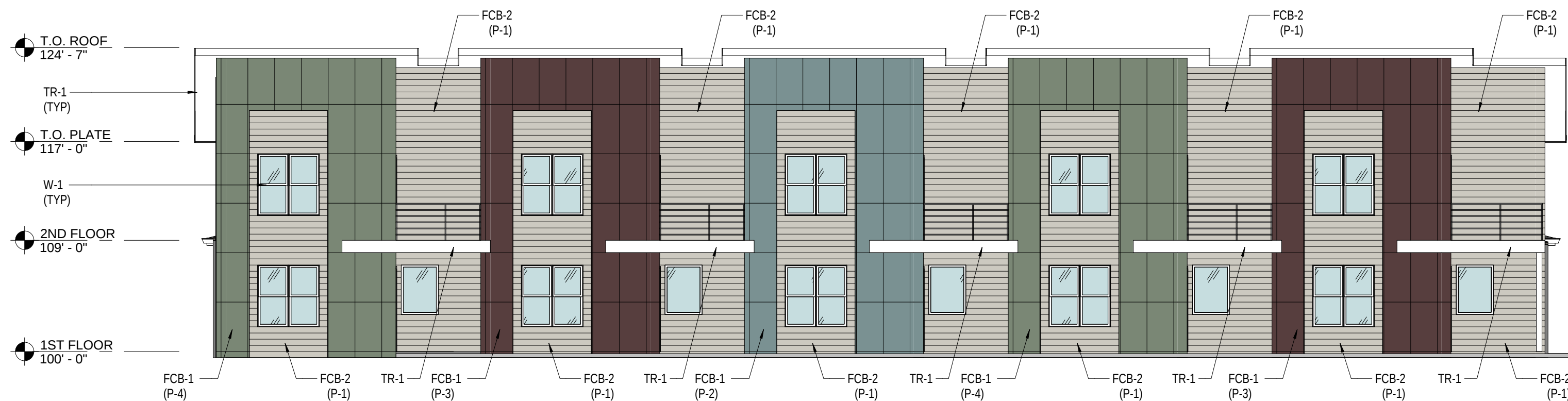
4 LEFT SIDE ELEVATION COLOR
1/8" = 1'-0"



2 RIGHT SIDE ELEVATION COLOR
1/8" = 1'-0"



3 REAR ELEVATION COLOR
1/8" = 1'-0"



1 FRONT ELEVATION COLOR
1/8" = 1'-0"

FINISH LEGEND	
FCB-1 FIBER CEMENT BOARD MATERIAL: MINERIT HD (RAW) FACADA BAORDS COLOR: PAINTED MNF: AMERICAN FIBER CEMENT CORPERATION (OR APPROVED EQUAL)	W-1 WINDOW MATERIAL: ALUMINUM COLOR: WHITE MNF: TBD
FCB-2 FIBER CEMENT BOARD MATERIAL: HARDIEPLANK COLOR: PAINTED MNF: JAMES HARDIE (OR APPROVED EQUAL)	P-1 PAINT COLOR: REPOSE GRAY (SW 7015) MNF: SHERWIN WILLIAMS (OR APPROVED EQUAL)
BR-1 BRICK VENEER MATERIAL: BRICK VENEER COLOR: CHARCOAL GRAY MNF: ACME BRICK (OR APPROVED EQUAL)	P-2 PAINT COLOR: MOODY BLUE (SW 6221) MNF: SHERWIN WILLIAMS (OR APPROVED EQUAL)
TR-1 FASCIA, SOFFIT & GUTTER MATERIAL: ALUMINUM COLOR: WHITE MNF: TBD	P-3 PAINT COLOR: CARNELIAN (7580) MNF: SHERWIN WILLIAMS (OR APPROVED EQUAL)
R-1 ROOF MEMBRANE MATERIAL: TPO COLOR: WHITE MNF: TBD	P-4 PAINT COLOR: PRIVILEGE GREEN (SW 6193) MNF: SHERWIN WILLIAMS (OR APPROVED EQUAL)
R-2 ARCHITECTURAL SHINGLE MATERIAL: ARCHITECTURAL SHINGLE COLOR: CHARCOAL GRAY MNF: TBD	

Date	
Description	
No.	

SIDES
ARCHITECTURAL
DESIGN

PO Box 956
Lowell, AR 72745
417.567.0831
devonsides@outook.com
www.sidesarchdesign.com

GLEN ROAD TOWNHOMES 5 PLEX

PROJECT #:	18-008
SCALE:	As indicated
DATE:	4/3/2018
DRAWN BY:	DS
CHECKED BY:	DS

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SHEET:
A106

CONDITIONAL USE STAFF REPORT



Happy Hearts Early Learning Center

2305 SW 15th Street

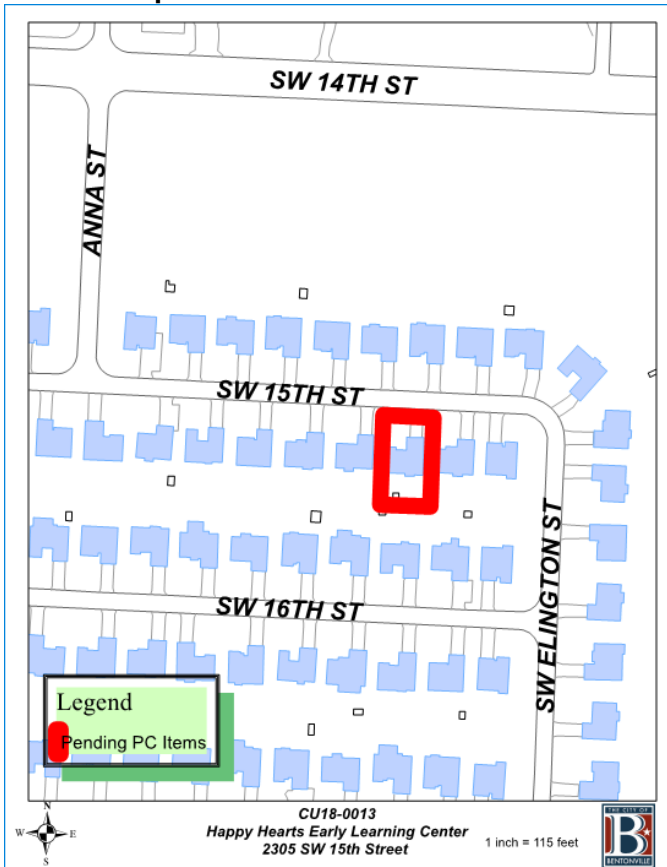
PC Date: 6/19/2018

Reviewer: Tyler Overstreet, Planner

Project Number	CU18-0013
Applicant / Current Owner	Shankar Satappagol 5105 SW Newcastle Rd Bentonville, AR 72712
Site Area	+/- 0.22 acres
Current Zoning	R-1, Single Family Residential
Future Land Use Map Designation	Low Density Residential (LDR)
Requested Use	Preschool Program
Protective Covenants	Yes

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is the location of a single-family residential home located on SW 15th street.

Proposed Use Description

The applicant is requesting a conditional use for an early childhood educational facility. This facility will require no structural changes to the building and will accommodate no more than 10 children/students at a time. Normal hours of operation will be 8am-5pm Monday-Friday.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

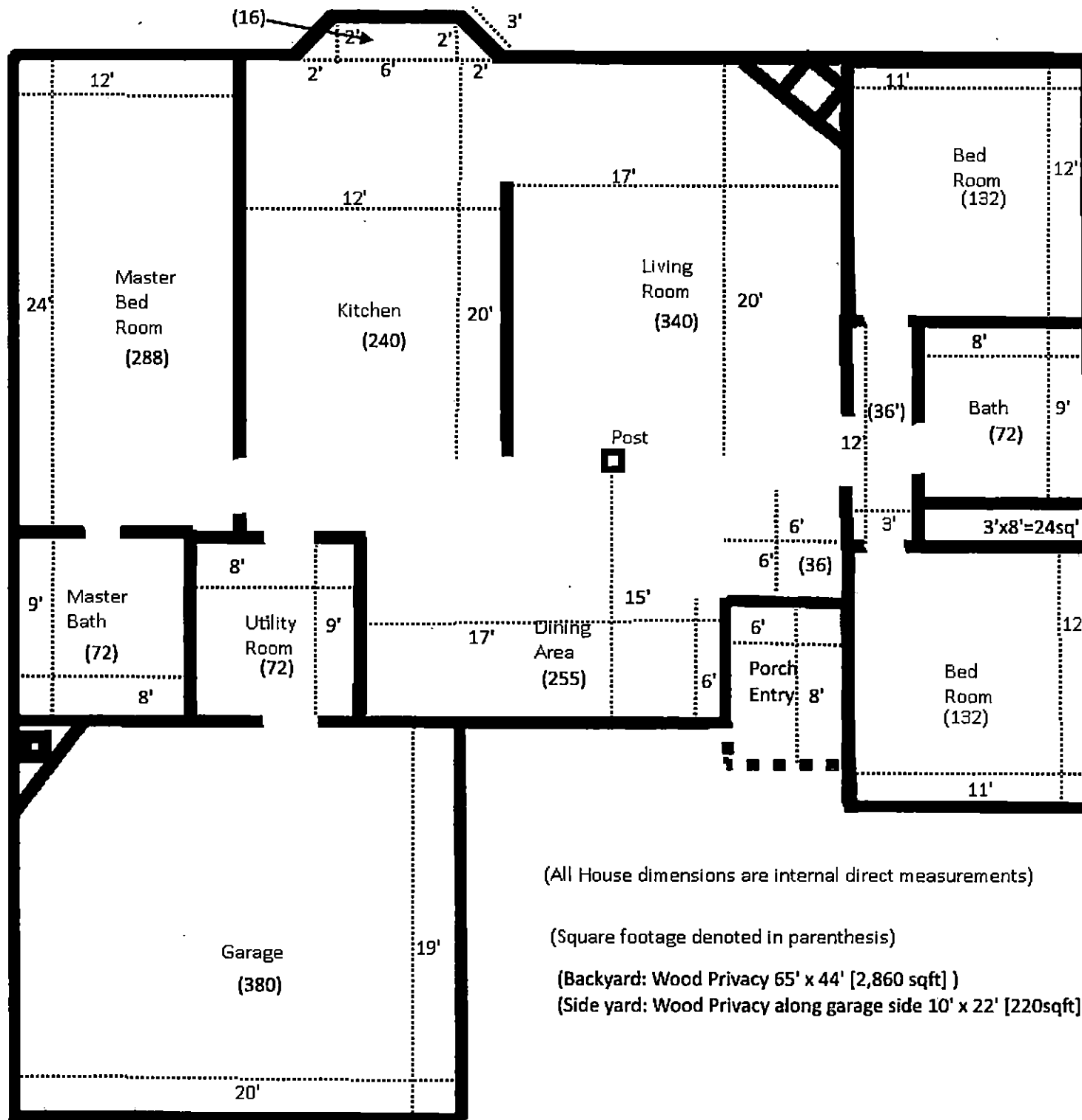
On 5/17/2018, a notice was published in the Arkansas Democrat Gazette, Northwest Arkansas Edition and a public hearing notice sign was posted on the property on 6/17/2018. This meets legal notice requirements and is adequate for the scope of this project.

Staff has not been contacted regarding this request.

Conditions of Approval

1. All technical review comments must be addressed before a building permit will be issued.

- The proposed use of this location/property is for the operation of a home-based preschool program.
- The program will serve no more than ten (10) students at a time.
- The hours of operation will be 8am-5pm (Monday-Friday).
- Signage: a single, small sign may be posted in the window or on the door to indicate the location of the program.
- Within the home, the dining area and a small, designated portion of the living room will be utilized regularly to meet the program's needs. The children will also use the small bathroom on the West side of the house for toileting needs and the kitchen will be used to cook and prepare meals. Outside of the home, the backyard will be utilized for a daily gross motor space.
- There will be no structural changes inside of the home. There may be a sandbox or a swing set installed in the backyard (outdoors).
- There will be no changes to parking needs. Parents of students will be dropping off before 9am and picking up before 5pm on weekdays. They will briefly utilize the driveway or park on the curb while entering the home to pick up or drop off their child.
- There are no foreseeable changes to lighting outdoors.



(All House dimensions are internal direct measurements)

(Square footage denoted in parenthesis)

(Backyard: Wood Privacy 65' x 44' [2,860 sqft])

(Side yard: Wood Privacy along garage side 10' x 22' [220sqft])

To,

Whomsoever it may concern.

This is to state that I own the residential property on address 2305, SW 15th street, Bentonville Ar., and intend to rent it to Ms Jadzia Brandli for her occupancy.

I also understand that she intends to operate a pre-school program out of this home and I have no objection to her operating the same provided she has all the legal and operational permits needed for the same as per the law. She will also need to have the necessary insurance coverage for any liability arising out of her program operation and I will have no legal obligation whatsoever.

Thank you,

A handwritten signature in blue ink, appearing to read 'Shankar. A. Satappagol', with a horizontal line drawn underneath.

Shankar. A. Satappagol

May 3, 2018.

CONDITIONAL USE STAFF REPORT



BITE Festival

801 SE 8th Street

PC Date: 6/19/2018

Reviewer: Tyler Overstreet, Planner

Project Number	CU18-0014
Applicant / Current Owner	Food Hub NWA, LLC 700 SE 5 th Street, Suite 1 Bentonville, AR 72712
Site Area	+/- 9 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Mixed Use (MU)
Requested Use	Temporary Use
Protective Covenants	N/A

Property Description

This property is the location of the 8th Street Market, located at 801 SE 8th Street.

Proposed Use Description

The applicant proposes to host a three-day food festival at the 8th Street Market. Temporary events require a Conditional Use Permit, regardless of zone.

The festivities will be held from June 20-22; hours of operation shall be from 6:00-9:00 PM each day. The event shall utilize the existing 8th Street Market facilities in addition to two open-air tents. Adequate parking and traffic flow is proposed.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

On 5/17/2018, a notice was published in the Arkansas Democrat Gazette, Northwest Arkansas Edition and a public hearing notice sign was posted on the property on 6/17/2018. This meets legal notice requirements and is adequate for the scope of this project.

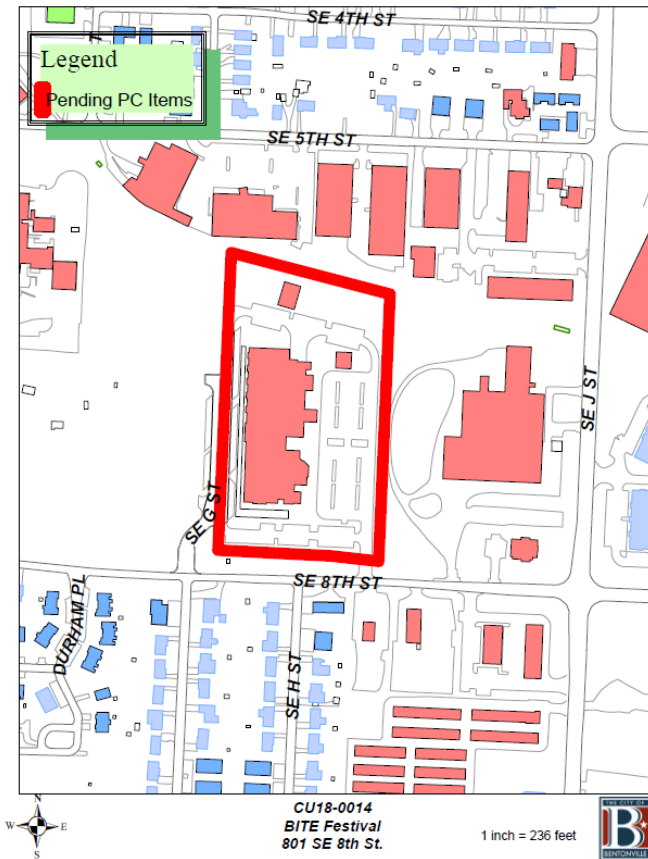
Staff has not been contacted regarding this request.

Conditions of Approval

1. All technical review comments must be addressed before a building permit will be issued.
2. This Conditional Use Permit shall be valid for one year from the time of issuance.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



BITE

Conditional Use Application

Narrative Information

A. Proposed Use

BITE NW Arkansas is a three-day food festival that began in 2015 to celebrate the culinary spirit of our community. Sold out each year since, BITE invites attendees to taste the flavors presented by a selection of local restaurants and chefs, sip a wide variety of local and national libations, sample products and brands at the forefront of consumer trends, and discover the very best of Northwest Arkansas.

As seen in the attached site plan document, the BITE event utilizes both indoor and outdoor spaces at Eight Street Market. The event collaborates with Brightwater and existing tenants to create a unique food festival for the community.

B. Site Plan

Please see the attached Site Plan package.

C. Hours

The events will be held June 20 - 22; public hours are 6:00 - 9:00 p.m. each day.

D. Indoor and Outdoor Areas to be Used

Please see the attached Site Plan package.

E. Planned Outdoor and Indoor Structural Changes

Please see the attached Site Plan package for tent locations; no changes to the existing structures are required.

F. Parking and Traffic Flow

Please see the attached Site Plan and agreements for parking use.

G. Planned outdoor lighting changes

No plans for permanent changes to outdoor lighting.

H. Patrons, Clients, Deliveries, and/or Customers per day

Wednesday, June 20 - 1500

Thursday, June 21 - 3000

Friday, June 22 - 3000

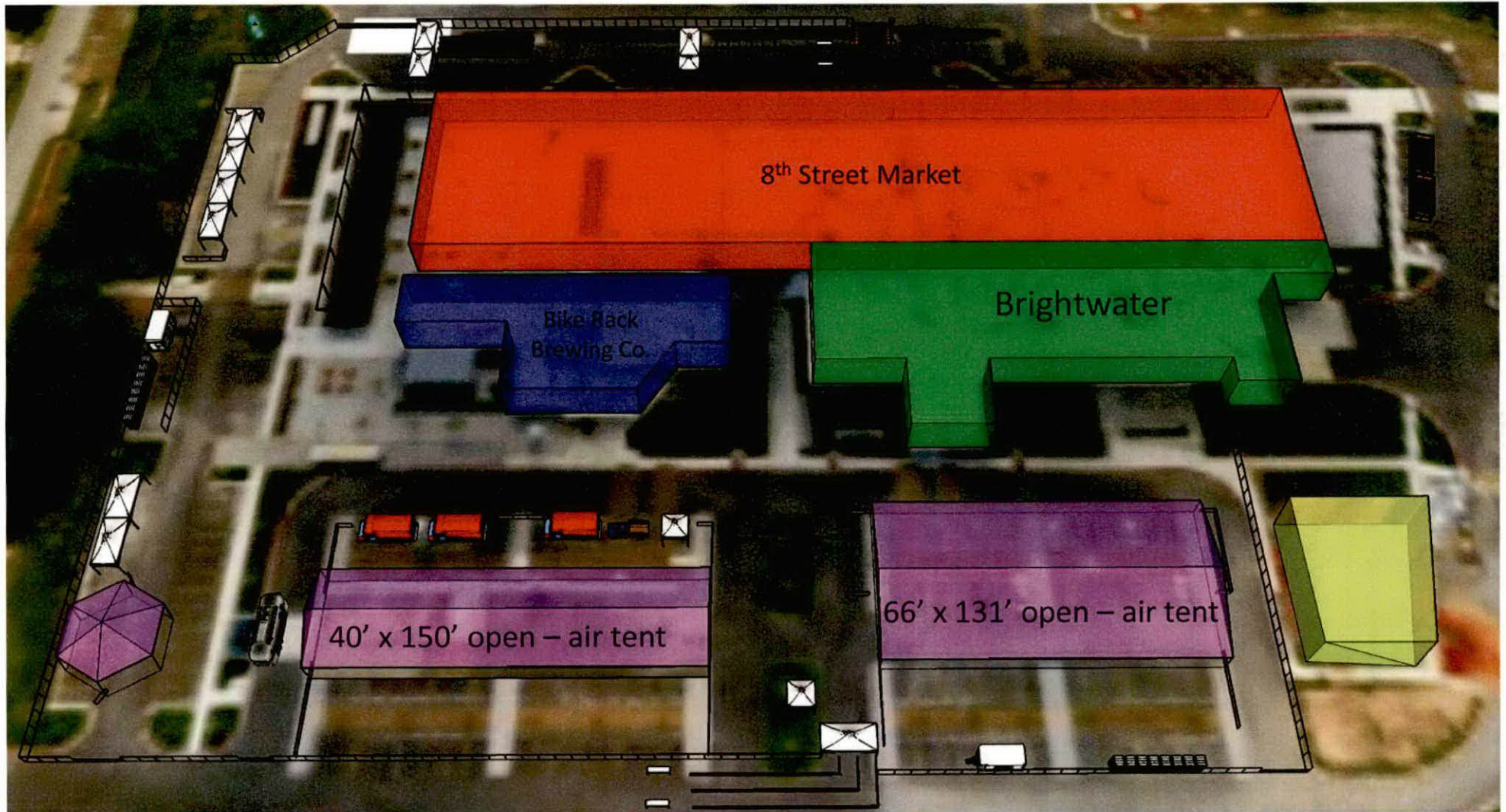
I. Proposed number of employees

Each day - 100

J. Photographs

See the following page ...

VENUE LAYOUT



EMS PRESENCE

EMS Vehicle



PARKING



PARKING CON'T



PRELIMINARY PLAT STAFF REPORT



Walnut Grove Subdivision

SW Barron and Piercy Road

PC Date: 6/19/2018

Reviewer: Tyler Overstreet, Planner

Project Number	PP18-0006
Applicant / Current Owner	Deb Farm Adventures, Inc. 11276 Talamore Boulevard Bentonville, AR 72712
Site Area	+/- 77.5 acres
Current Zoning	R-1, Single Family Residential
Future Land Use Map Designation	Low Density Residential (LDR)
No. of Lots	130 Lots in Phase I
Subdivision Name	Walnut Grove Subdivision

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

The property is located at the northeast corner of the intersection of SW Barron Road and Piercy Road. The property is currently zoned R-1, Single-Family Residential.

Project Details

The applicant has submitted a preliminary plat to create Walnut Grove Subdivision; the applicant will complete construction in five phases. The Preliminary Plat contains 130 lots within Phase I. Phase lines shall be final at time of Preliminary Plat approval.

The applicant shall make street improvements along SW Barron Road and Piercy Road. The developer is responsible for constructing all sidewalk adjacent to common areas and streets to be improved. All other sidewalk shall be constructed at time of building permit issuance.

All non-bondable items shall be complete and a final inspection approved prior to final platting.

Projected Traffic Impact

The proposed preliminary plat has the potential to adversely impact traffic in the area. However, the applicant's proposed street improvements to SW Barron Road and Piercy Road should alleviate any increased traffic caused by the development.

Waivers

One waiver requested:

- A waiver from Article 1200, Section 1200.1.A, Off-Site Improvements, of the Subdivision Code. The applicant proposes to improve only the portion of Piercy Road adjacent to Phase I with Phase I. Further improvement to Piercy Road shall be made with the next constructed phase.

Conclusion

This preliminary plat does not meet the minimum requirements of the subdivision regulations due to the waiver request.

Standard Conditions of Approval

- Provide a digital copy of the plat.

NOTES

- Street Names:** All street names are preliminary and are for planning purposes only. Street names are not finalized until Final Plat approval.
- Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.
- Conceptual Approval.** Staff approval of final detailed plans, specifications and calculations (where applicable) for grading, drainage, water, sewer and streets. The information submitted for the preliminary plat review process was reviewed for general concept only.

NW CORNER
SW1/4, NW1/4
21-19-31

BENTONVILLE
G.P.S.
MONUMENT 116
EL - 1263.60

PROPOSED 35' R.O.W.
10' R.O.W. DEDICATION

EXISTING 25' R.O.W.

SW BARRON ROAD
50' R.O.W.
(ASPHALT)

EXISTING 25' R.O.W.
PROPOSED 35' R.O.W.
10' R.O.W. DEDICATION

SITE TBM
N 726616.358
E 636181.967
EL 1294.456

P.O.B.
SW CORNER
NW1/4
SECTION 21
T-19-N, R-31-W

MICHAEL & LEONA PERKINS
JOINT REVOCABLE TRUST
P.N. 01-16729-001

JO HAMMONS
& DANA BURNS
P.N. 01-16729-000

SITE NOTES:
"NO WETLANDS WERE OBSERVED ON THIS PROPERTY."
"NO WELLS OR SEPTIC SYSTEMS WERE OBSERVED ON THIS PROPERTY."

EDWARD & IMELDA
FRAIL REVOCABLE TRUST
P.N. 18-09097-004

NE CORNER
SE1/4, NW1/4
21-19-31

N 727811.560
E 638868.950

36
DETENTION
BASIN

TOTAL TRACT
3,407,579.80 SQ. FT.
OR
78.23 ACRES ±
P.N. 19-09101-000

N 87°12'19" W 2640.35'
PIERCY ROAD
50' R.O.W.
(GRAVEL)

HIGHLAND LLC
& CYNTHIA H. COUGHLIN
P.N. 01-08215-100

SITE INFORMATION:
APPROXIMATE AREA: 78.23 ACRES
PARCEL NUMBER: 18-09101-000

CURRENT ZONING:
R-1

OWNER:
DEB FARM ADVENTURES, LLC
P.O. Box 189
GENTRY, AR 72719-0189
(870) 931-1172

PROJECT ADDRESS:
BARRON RD. & PIERCY RD
BENTONVILLE, AR 72712

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 73°24'06" E	17.83'
L2	S 42°15'58" E	21.21'
L3	S 47°44'02" E	21.21'

SE CORNER
NW1/4
21-19-31

SURVEY NOTES:

- THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
- BASIS OF BEARINGS: ARKANSAS STATE PLANE COORDINATES-NORTH ZONE PER GPS OBSERVATION USING MONUMENT #116 OF THE CITY OF BENTONVILLE GPS GRID AS A POINT OF ORIENTATION.
- THIS SURVEY MEETS CURRENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AND PLATS FOR THE STATE OF ARKANSAS.
- NO CURRENT ABSTRACT OR TITLE OPINION WAS FURNISHED TO THE SURVEYOR AT THE TIME OF THIS SURVEY. THEREFORE, ALL EASEMENTS, RIGHTS-OF-WAY, OR RESTRICTIONS, OF RECORD, MAY NOT BE SHOWN HEREON.

FLOOD CERTIFICATION:

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS AND INCORPORATED AREAS. MAP NUMBER: 05007C0245 K. EFFECTIVE DATE: JUNE 05, 2012.

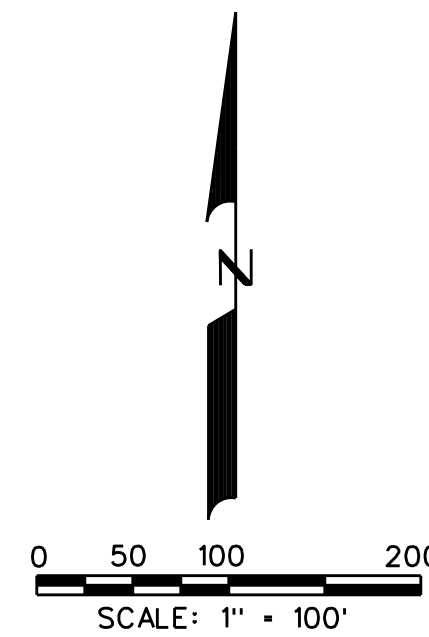
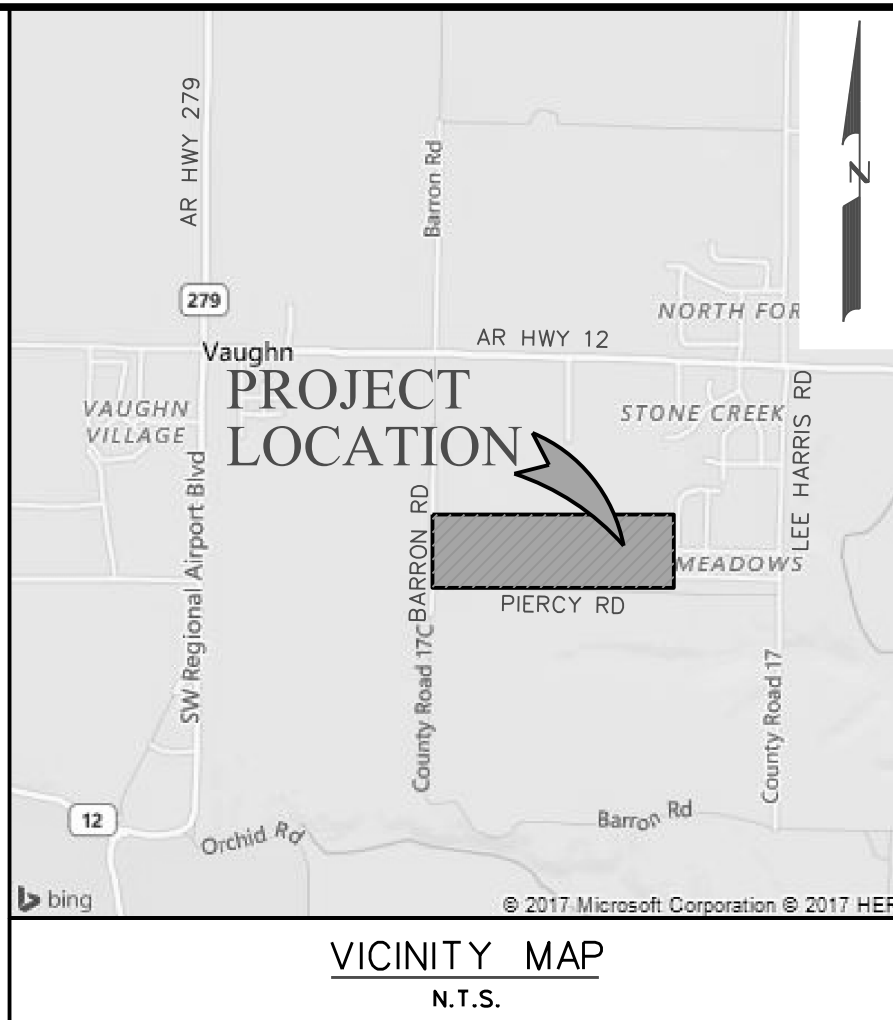
PRELIMINARY PLAT FOR WALNUT GROVE SUBDIVISION, Phase I - VI, Page 1 of 3

Plat Prepared By:
CIVIL ENGINEERING, INC.
P.O. Box 12
Gentry, AR 72712
(479) 524-9956

Survey By:
JAMES SURVEYING
P.O. Box 617
Gentry, AR 72712
Telephone 479-736-8416

Developer:
FAITH HOPE & GRACE PROPERTIES, LLC
P.O. Box 442
Cave Springs, AR 72718
(479) 787-3000

Plat Code:
500-19N-31W-0-21-400-04-0985
Date:
April 30, 2018
Job #:
1677



LEGEND

- EXISTING INDEX CONTOUR (5')
- EXISTING INTERMEDIATE CONTOUR (1')
- PROPOSED INDEX CONTOUR (5')
- PROPOSED INTERMEDIATE CONTOUR (1')
- PROPOSED BREAKLINE
- PROPOSED BUILDING SETBACK
- PROPOSED EASEMENT
- EXISTING FENCE LINE
- PROPOSED FENCE LINE
- BENTONVILLE G.P.S. MONUMENT 116
- FOUND ALUMINUM CAP
- FOUND MAG NAIL
- FOUND IRON PIPE
- FOUND RAILROAD SPIKE
- FOUND IRON PIN
- PROPOSED LIGHT DUTY ASPHALT PAVING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PARKING LOT LIGHTING
- EX FIRE HYDRANT ASSEMBLY
- EX WATER VALVE
- EX WATER METER
- EX SANITARY SEWER MANHOLE
- EX NATURAL GAS SIGN/METER
- EX POWER/UTILITY POLE
- EX UTILITY POLE ANCHOR
- EX ELECTRIC BOX
- EX TELEPHONE PEDESTAL
- EX FIBER OPTIC PEDESTAL
- EX LIGHT POLE
- EX SIGN
- EXISTING TREE
- PROPOSED TREE
- PROPOSED FIRE HYDRANT ASSEMBLY

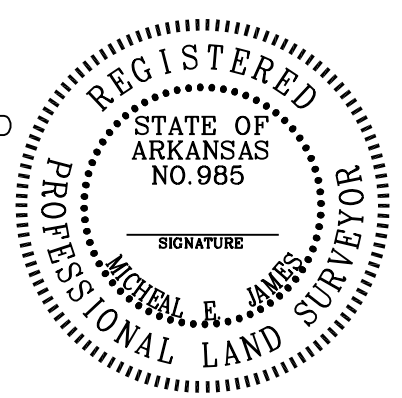
R-1 SETBACKS:
FRONT - 20'
GARAGE - 30'
SIDE - 7'
BACK - 25'
EXTERIOR - 20'

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE HEREON PLATTED AND DESCRIBED SURVEY WAS COMPLETED AND MONUMENTS WERE FOUND OR SET AS SHOWN ON NOVEMBER 7, 2017.

MICHEAL E. JAMES, PLS #985
BENTON COUNTY SURVEYOR

IF THE SIGNATURE ON THIS SEAL IS NOT RED COLORED, THE PLAT IS A COPY THAT SHOULD BE ASSUMED TO CONTAIN UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES. ALL INFORMATION SHOULD BE DISREGARDED UNLESS VERIFIED BY THE PROFESSIONAL LAND SURVEYOR WHOSE SIGNATURE APPEARS TO THE SIDE.



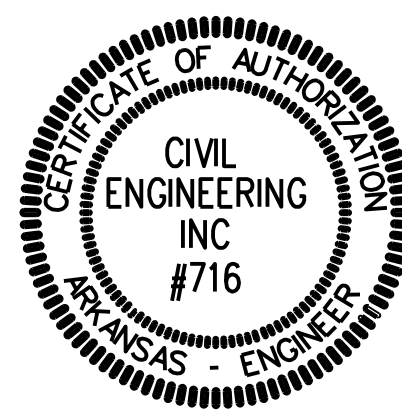
SURVEY DESCRIPTION:

A PART OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 19 NORTH, RANGE 31 WEST, BENTON COUNTY, ARKANSAS. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SW CORNER OF THE NW 1/4 OF SAID SECTION 21; THENCE ALONG THE WEST LINE OF SAID NW 1/4 N 02°05'21" E 992.10'; THENCE LEAVING SAID WEST LINE S 87°08'10" E 263.81'; THENCE N 02°07'17" E 330.55' TO THE NORTH LINE OF THE S 1/2 OF SAID NW 1/4; THENCE ALONG SAID NORTH LINE S 87°15'21" E 2378.04' TO THE NE CORNER OF THE SE 1/4 OF THE NW 1/4; THENCE ALONG THE EAST LINE OF SAID NW 1/4 S 02°09'46" W 1324.40' TO THE SE CORNER OF SAID NW 1/4; THENCE ALONG THE SOUTH LINE OF SAID NW 1/4 N 87°12'19" W 2640.35' TO THE POINT OF BEGINNING AND CONTAINING 78.23 ACRES. PROPERTY IS SUBJECT TO THE RIGHT OF WAYS OF THE COUNTY ROADS AND TO ANY EASEMENTS OF RECORD.

DEFINITIONS:
B-B - BACK TO BACK
B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
EX - EXISTING
F.H.A. - FIRE HYDRANT ASSEMBLY
F.L. - FLOW LINE
G.P.M. - GALLONS PER MINUTE
I.E. - INVERT ELEVATION
P.O.B. - POINT OF BEGINNING
P.O.C. - POINT OF COMMENCEMENT
U.E. - UTILITY EASEMENT
R - RADIUS
R.O.W. - RIGHT OF WAY
S.F. - SQUARE FEET
N.T.S. - NOT TO SCALE
T-RIM - TOP OF RIM

PHASE SUMMARY
PHASE 1 - 130 LOTS
PHASE 2 - 71 LOTS
PHASE 3 - 44 LOTS
PHASE 4 - 52 LOTS
PHASE 5 - 45 LOTS
TOTAL LOTS - 342



This document was originally issued and sealed by Ronald Homeroy, P.E. 7/31/08, April 30, 2018

NOTES:

BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL WITHIN THE RIGHT-OF-WAY. WORK IN RIGHT-OF-WAY MAY REQUIRE SPECIAL PERMIT.

OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO ENSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.

THERE MAY BE NO FENCES OR ANY STRUCTURE BUILT IN ANY DRAINAGE EASEMENTS.



Know what's below.
Call before you dig.

701 South Mount Olive Street
P.O. Box 12
Siloam Springs, AR 72761



voice (479) 524-9956
fax (479) 524-4747
mail@civilengineeringss.com

April 30, 2018

Planning Commission
City of Bentonville
305 S.W. A Street
Bentonville, AR 72712

RE: Waiver Request – Piercy Road Improvements

Dear Commission:

We respectfully request a waiver from the requirement to construct one-half of the roadway improvement for Piercy Road for 1,641 linear feet (62%) of the 2,639 total linear feet of frontage of this project as required by Article 1200, Section 1200.1A and Section 1220.2B of the City Subdivision Code. The scope of the proposed off-site improvements with the first phase of this project includes all of the project frontage along Barron Road and the frontage along Piercy Road that is adjacent to Phase 1. The Barron Road improvements consists of 991 linear feet, and the Piercy improvements consist of 998 linear feet. Therefore, the waiver request is for roughly one-half of the total off-site improvements.

We proposed to construct the remaining off-site improvements to Piercy Road with Phase 2 of the subdivision so that all of the off-site improvements are completed well before the entire subdivision project is completed.

Thank you for your consideration of this waiver request.

Sincerely,
Civil Engineering, Inc.

A handwritten signature in cursive script that reads 'Ron Homeyer'.

Ron Homeyer, P.E.
Principal Engineer

LARGE SCALE DEVELOPMENT STAFF REPORT



Fire Station #7

SW Prime Avenue

PC Date: 6/19/2018

Reviewer: Tyler Overstreet, Planner

Project Number	LSD18-0030
Applicant / Current Owner	City of Bentonville 117 W Central Avenue Bentonville, AR 72712
Site Area	+/- 2.32 acres
Current Zoning	PUD, Planned Unit Development
Future Land Use Map Designation	Industrial (I)
Development Type / Use	Fire Station

Property Description

This property is located on Prime Avenue, west of SW Regional Airport Boulevard, and north of the previously approved Prime Parc Large Scale Development project. The site is currently zoned PUD, Planned Unit Development.

Project Details

Project consists of the construction of a new fire station with consumer parking in the front and firefighter parking in the rear. The primary materials depicted for the exterior elevations are brick, split block CMU, and metal panel.

The applicant shall construct sidewalk the length of the project area. The applicant proposed landscaping in excess of that required by ordinance.

Projected Traffic Impact

The proposed large scale development has the potential to impact traffic in the area. However, the existing street network should accommodate any increase in traffic caused by the development.

Waivers

One waiver requested:

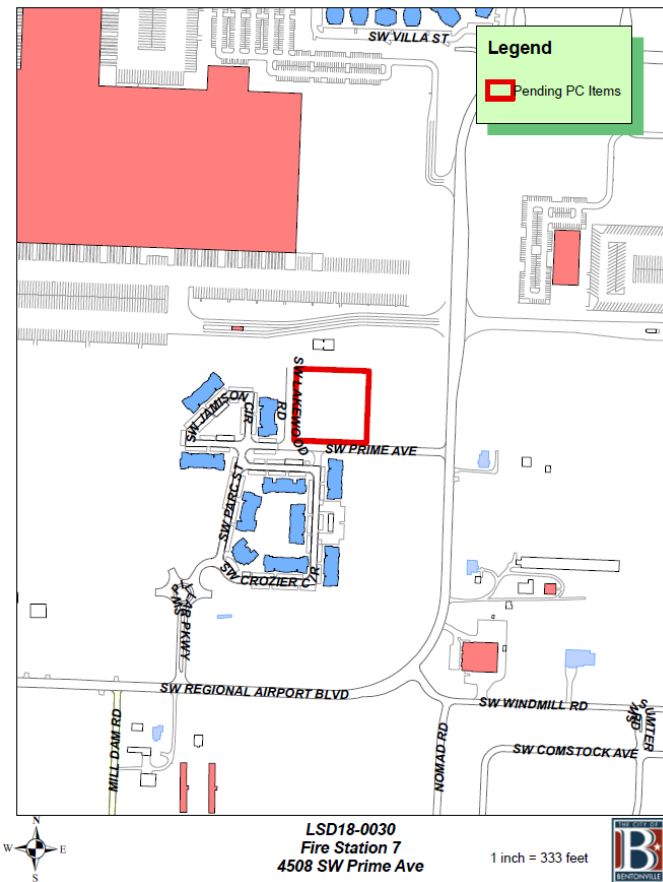
- A waiver from Article 1100, Section 1100.13.G.3, Pedestrian Circulation, of the Subdivision Code. This request is from the requirement that sidewalk be provided the length of the project area. The applicant reasons that the back-of-house operations ought to be kept separate from the consumer accessible areas. In addition, SW Lakewood Road offers no connection to adjacent development at this time.

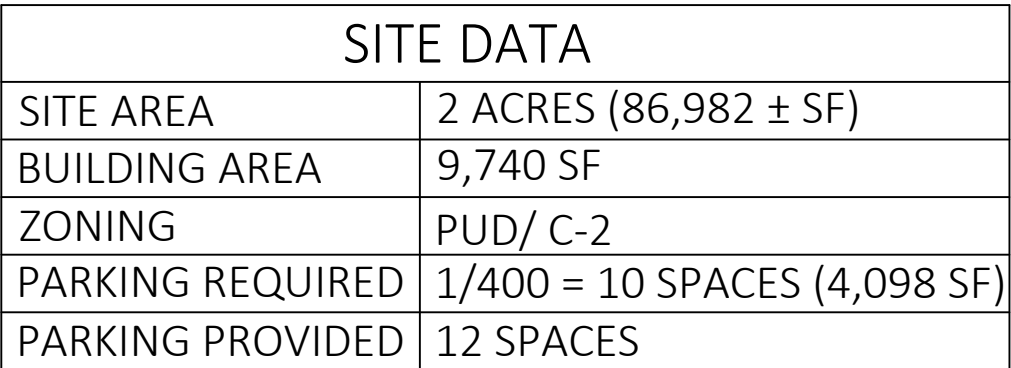
Conclusion

In conclusion, this large scale development does not meet the minimum requirements of the subdivision regulations due to the waiver request.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map





**Know what's below.
Call before you dig.**

- A. ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) SHALL BE SCREENED ON ALL EXPOSED TO VIEW SIDES BY SIMILAR MATERIALS AS THE BUILDING.
- B. ALL SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
- C. THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH SIMILAR MATERIAL AS THE BUILDING.
- D. ANY NEW LIGHTING WILL REQUIRE THAT IT CUTOFF OR B-U-G (WITH A 'U' RATING OF 0 AND APPROVED BY THE PLANNING DEPARTMENT).
- E. ALL FENCING WILL REQUIRE A SEPARATE PERMIT.

---	Boundary Line	↻	Sewer Cleanout
---	Adjoiner Boundary Line	→	Guy Wire/Anchor
---	Right-of-Way Line	↗	Utility Pole
---	Existing Easement Line	⌚	Electric Riser
---	Existing Drainage Easement Line	⌚	Water Valve
---	Existing Utility Easement Line	⌚	Fire Department Connection
---	Centerline	⌚	Light Pole Straight
---OHE	Overhead Electric Line	⌚	Telephone Vault
---SS	Sanitary Sewer Line	⌚	Unknown Riser
---(SIZE)	Storm Drain Pipe	⌚	Sign
---UGE	Underground Electric Line	PVC	Polyvinyl Chloride Pipe
---W	Water Line	RCP	Reinforced Concrete Pipe
⬤	Barb Wire Fence Line	b/b	Back to Back of Curb
⬤	Benchmark	RAY	Right-of-Way
◆	Found Monument (as noted)	Bk. & Plg.	Book & Page
◆	Set 5/8" Rebar "LSW1021"	Sp. Ft. & Ac.	Square Feet & Acres
⊙	Found Nag Nail (as noted)	SWD	Special Warranty Deed
⊙	Brass/Aluminum Cap	CWD	Corporation Warranty Deed
⊙	Water Meter	Doc.	Document
⊙	Drainage Manhole	Elev.	Elevation
⊙	Fire Hydrant	(XXXX)	Record Bearing & Distance per Plat L201813636
⊙	Sewer Manhole		

	PROPERTY LINE/RIGHT OF WAY LINE		GRATE INLET
	CONCRETE CURB AND GUTTER.		AREA INLET
	BUILDING CONTROL POINT		FLARED END SECTION
	PROPOSED PARKING SPACES		

A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

B. ALL CURB RETURN RADII SHALL BE 5', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.

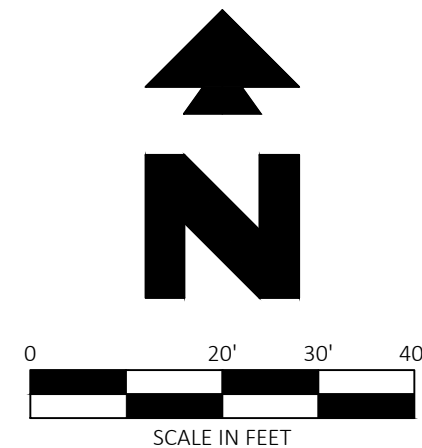
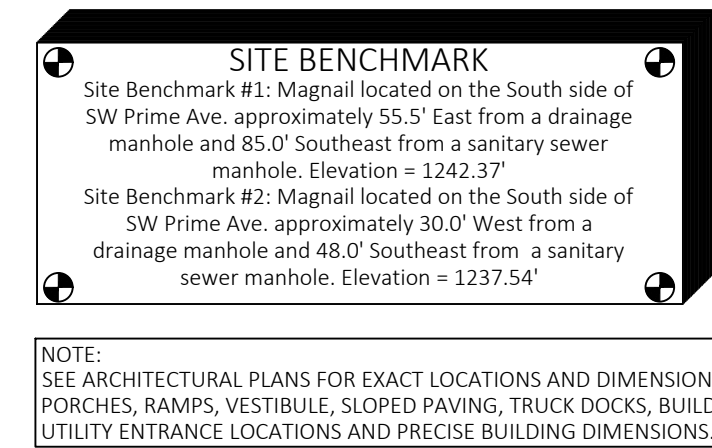
C. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 09N.

E. ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.

02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
 120 4 INCH MIDE PAINTED YELLOW STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
 180 MATCH EXISTING PAVEMENT ELEVATIONS.
 21A TAPER CURB TO MATCH EXISTING CURB.
 21B TAPER CURB FROM 6 INCHES TO 10 INCHES OVER 2 FEET.
 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
 70A 6" VICTOR STANLEY "CLASSIC" SERIES BENCH-MODEL #C-10 (OR APPROVED EQUAL).
 70B 30' FLAG POLE (PROVIDED BY SPECIALTY CONTRACTOR; INSTALLED BY OWNER).

01B	TYPE B CONCRETE INTEGRAL CURB AND GUTTER
02A	PRECAST CONCRETE WHEEL STOP
03D	CONCRETE SIDEWALK
03N	WHEELCHAIR RAMP IN SIDEWALK
05A	WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
05A	GUARD POST
07D	HAND RAIL WITH TOUCH BAR
08C	HEAVY DUTY CONCRETE PAVING
08C	STANDARD DUTY CONCRETE PAVING
08C	THICKENED EDGE OF PAVING
08C	CONCRETE STEP DETAIL
09N	90 DEGREE PARKING
09S	ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
09U	ACCESSIBLE PARKING SYMBOL
70C	DETECTABLE WARNING DEVICE

30661	6/1/18	TCO	JPS	NPD	NPD
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
 Engineering Associates, Inc. <i>ENGINEERS • PLANNERS • SURVEYORS</i> <i>LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS</i>					
3108 S.W. REGENCY PARKWAY, SUITE 2				(479) 273-9472	
Bentonville, AR 72712				FAX (479) 273-0844	
<i>FIRE STATION 7</i> <i>4506 SW PRIME AVE.</i> <i>BENTONVILLE ARKANSAS</i>					
<i>SITE PLAN</i>			REV. DATE	SHEET NO.	
			6/1/18	C1	
			REV-1		



**Know what's below.
Call before you dig.**

EXISTING LEGEND			
	Boundary Line	G	Sewer Cleanout
	Adjoiner Boundary Line	→	Guy Wire/Anchor
	Right-of-Way Line		Utility Pole
	Existing Easement Line		Electric Riser
	Existing Drainage Easement Line		Water Valve
	Existing Utility Easement Line		Fire Department Connection
	Centerline		Light Pole Straight
	Overhead Electric Line		Telephone Vault
	Sanitary Sewer Line		Unknown Riser
	Storm Drain Pipe		Sign
	Underground Electric Line	PVC	Polyvinyl Chloride Pipe
	Water Line	RCP	Reinforced Concrete Pipe
	Barb Wire Fence Line	Is/b	Back to Back of Curb
	Benchmark	R/W	Right-of-Way
	Bound Monument (as noted)	Bl. & Pg.	Book & Page
	Set 5/8" Rebar "LS#1021"	Sq. Ft. & Ac.	Square Feet & Acres
	Found Mag Nail (as noted)	SWD	Special Warranty Deed
	Brass/Aluminum Cap	CWD	Corporation Warranty Deed
	Water Meter	Doc.	Document
	Drainage Manhole	Elev.	Elevation
	Fire Hydrant	(XXXXX)	Record Bearing & Distance per Plat
	Sewer Manhole		1201813636

PROPOSED LEGEND

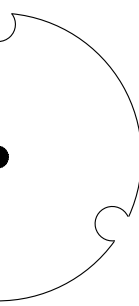
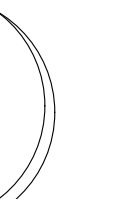
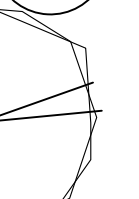
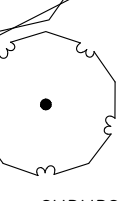
	BOUNDARY LINE
	STORM DRAIN

GENERAL NOTES	
A.	SEE LANDSCAPE NOTES (SHEET C6.1) FOR LANDSCAPE NOTES AND DETAILS.
B.	ALL GREENSPACE SHALL BE SODDED WITH BERMUDA SOD.
C.	A FULLY AUTOMATED IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY IRRIGATION CONTRACTOR. IRRIGATION DESIGNER SHALL BE RESPONSIBLE FOR SIZING AND SPECIFYING BACKFLOW PREVENTER IN ACCORDANCE WITH LOCAL CODES. COORDINATE WITH CITY ON BRAND OF IRRIGATION SYSTEM.

□ SITE DETAILS

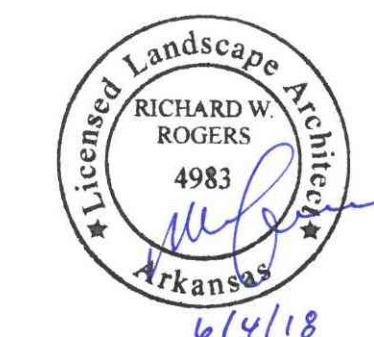
50A TREE PLANTING
50B SHRUB PLANTING
50Q STEEL EDGING

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
	Acer buergerianum 'Streetwise'™ / Trident Maple	B & B	2.5"Cal	8
	Acer truncatum 'Fire Dragon' / 'Fire Dragon' Maple	B & B	2.5"Cal	12
	Cercis canadensis 'Hearts of Gold' / Forest Pansy Redbud	B & B	2.5"Cal	2
	Liriodendron tulipifera 'Emerald City'™ / Emerald City Tulip Tree	B & B	2.5"Cal	12
	Prunus x yedoensis 'Afterglow' / Afterglow Yoshino Cherry	B & B	2.5"Cal	7
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	Buxus sempervirens 'Suffruticosa' / True Dwarf Boxwood	5 gal	36	
	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass	5 gal	39	

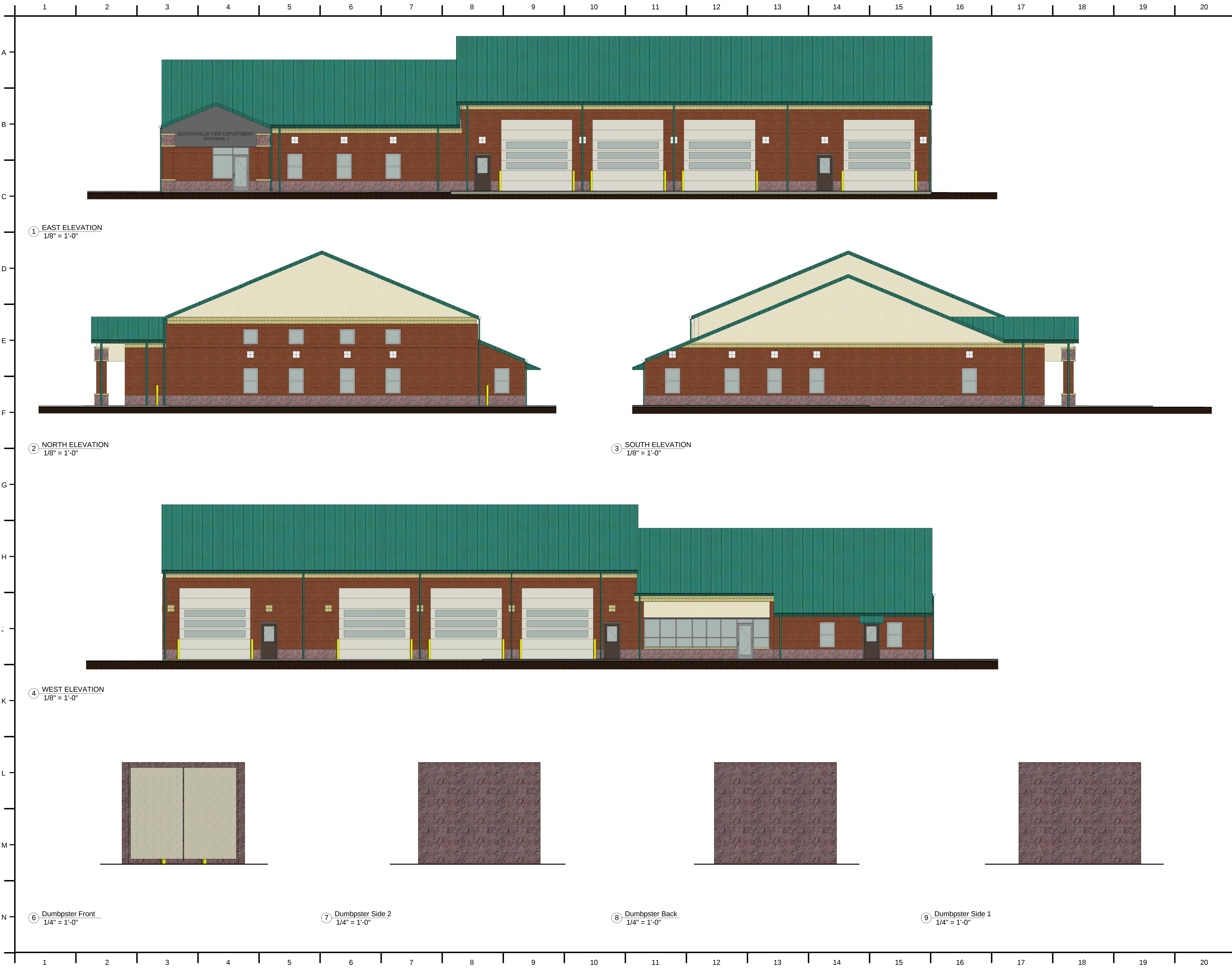
30661	6/1/18	TCO	JPS	NPD	
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	

CITY PROJECT NUMBER: LSD18-0030



30661	6/1/18	TCO	JPS	NPD	NPD
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
 Engineering Associates, Inc. <u>ENGINEERS</u> <u>PLANNERS</u> <u>SURVEYORS</u> <u>LANDSCAPE ARCHITECTS</u> <u>ENVIRONMENTAL SCIENTISTS</u>					
3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712				(479)273-9472 FAX (479)273-0844	
FIRE STATION 7 4506 SW PRIME AVE. BENTONVILLE ARKANSAS					
LANDSCAPE PLAN			REV DATE 6/4/18 REV-1	SHEET NO. C5	

JOB # 30661 DRAWING: 30661-LP.dwg LAST SAVED BY: FHENRY LOCATION: p:\30000\30661.0\Drawings\Design\Working\30661-LP.dwg



General Notes



TEXTURED AGGREGATE METAL PANEL
18% OF TOTAL EXTERIOR WALL MATERIAL



TRIPLE BRICK COURSE
8% OF TOTAL EXTERIOR WALL MATERIAL



MODULAR BRICK
62% OF TOTAL EXTERIOR WALL MATERIAL



INTEGRAL COLOR SPLIT CMU
12% OF TOTAL EXTERIOR WALL MATERIAL

⑤

Key Wall Material
1/2" = 1'-0"

FIRE STATION #7
FOR
BENTONVILLE
FIRE DEPT.

Jackson
Brown
Palculict
architects

Date	04/09/18
Revisions	
JOB NUMBER	1306

Sheet Title

PRESENTATION
ELEVATIONS

Sheet Number

P4

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www.ceieng.com

June 4, 2018

City of Bentonville
Planning Commission
305 S.W. "A" Street
Bentonville, AR 72712

RE: Fire Station #7 Waiver Requests

Dear Members of the Bentonville Planning Commission,

On behalf of the City of Bentonville Fire Department, CEI respectfully requests waiver of the current Subdivision Code in order to not construct sidewalk along SW Lakewood Rd. The intent of this variance request is to omit a pedestrian path of travel to the rear drive of the fire station, therefore, discouraging pedestrian access to the rear of the fire station that could interfere with fire station operations and security. Sidewalks have been provided along SW Prime Ave. with a connection to the primary entrance for guest access, in accordance to Section 1100.13 Subsection G - 3 – Pedestrian Circulation.

We request a waiver from Section 1100.6 Subsection D – Requirement, which states: *The owner of any property abutting a public street or highway for which a sidewalk is required by the city's current Master Street Plan, shall construct a sidewalk as set forth in the city's current adopted Standard Specifications for Streets.*

This waiver will not confer on us any special privilege that is denied by this ordinance to other sites in the same district.

Respectfully submitted,
CEI Engineering Associates, Inc.

Jacob Shy

Solutions for Land and Life

CALIFORNIA ■ TEXAS ■ ARKANSAS ■ MINNESOTA ■ PENNSYLVANIA

LARGE SCALE DEVELOPMENT STAFF REPORT



5th and Dickson

507 NW 5th Street and 410 Dickson Street

PC Date: 6/19/2018

Reviewer: Tyler Overstreet, Planner

Project Number	LSD18-0032
Applicant / Current Owner	Elegconz Construction, LLC 1803 SW Regional Airport Boulevard, Suite 15 Bentonville AR, 72712
Site Area	+/- .96 acres
Current Zoning	DN-2, Downtown Medium-Density Residential
Future Land Use Map Designation	Downtown Medium-Density Residential (D-MDR)
Development Type / Use	Townhouse Cluster

Property Description

This property is located with frontage on NW 5th Street and Dickson Street. This site has previously come before the Planning Commission as a rezoning and the Board of Adjustments as a variance from the end-of-block townhomes restriction.

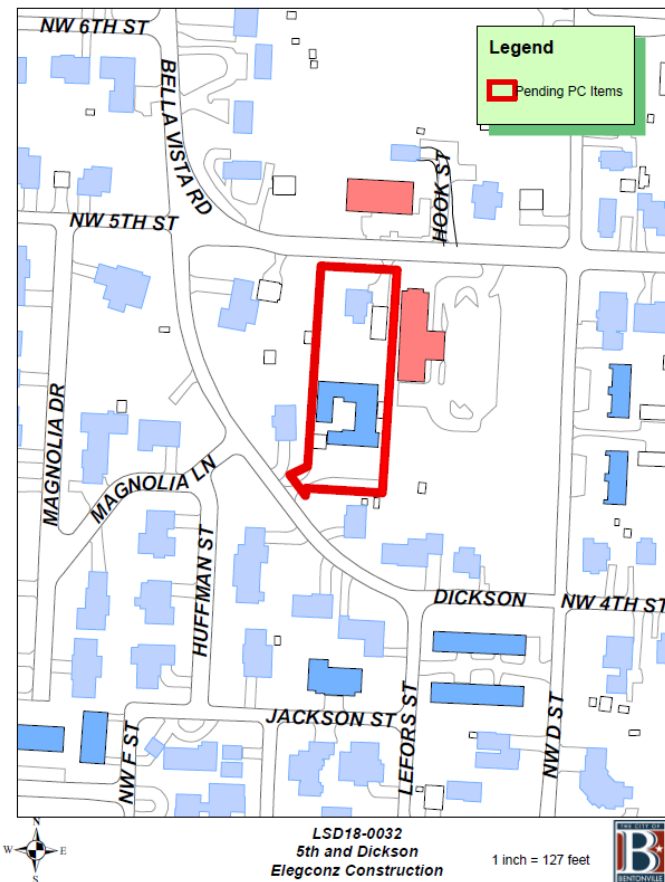
Project Details

Project consists of the construction of 12-townhouse units in two separate buildings. Parking shall be provided through a covered structure across the drive aisle from the units. The primary materials depicted for the exterior elevations are hardie board and brick.

The applicant shall construct sidewalk the length of the project area. The applicant proposes landscaping in excess of the ordinance. They have met their perimeter screening requirements through a combination of existing and new trees.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Projected Traffic Impact

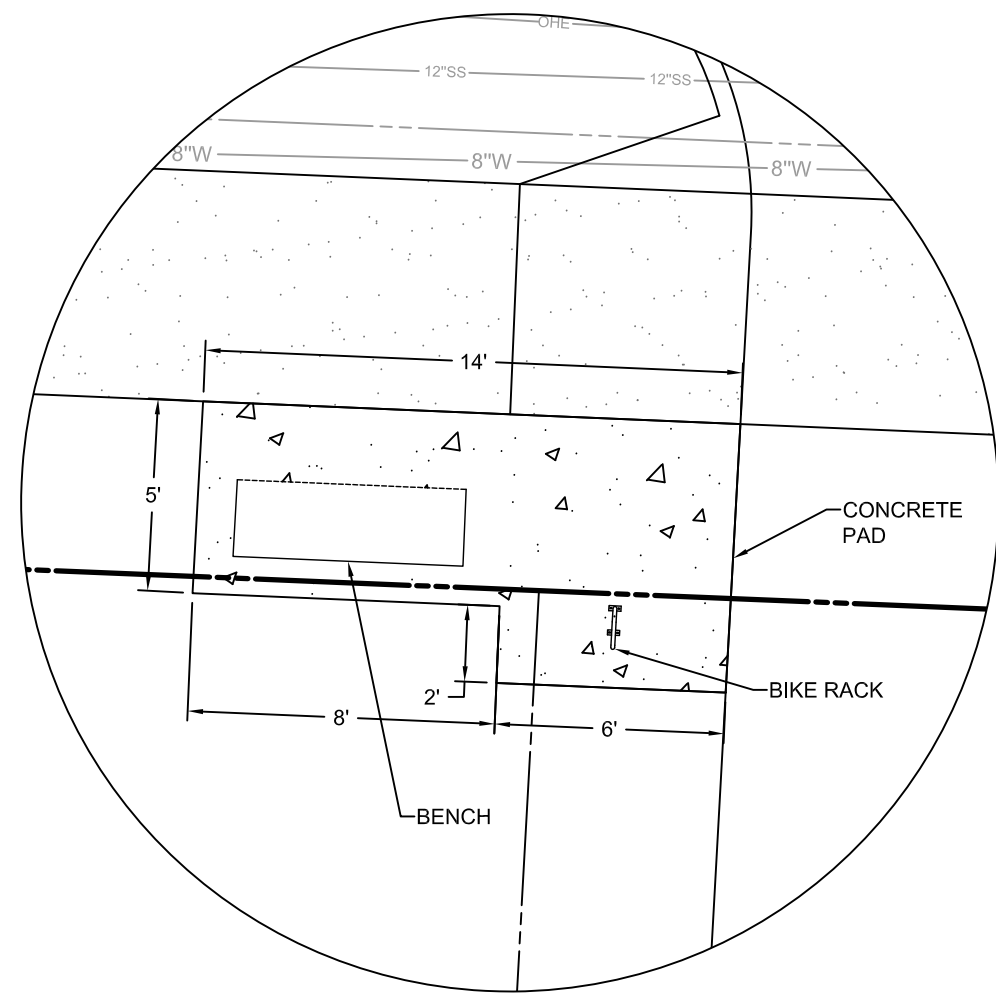
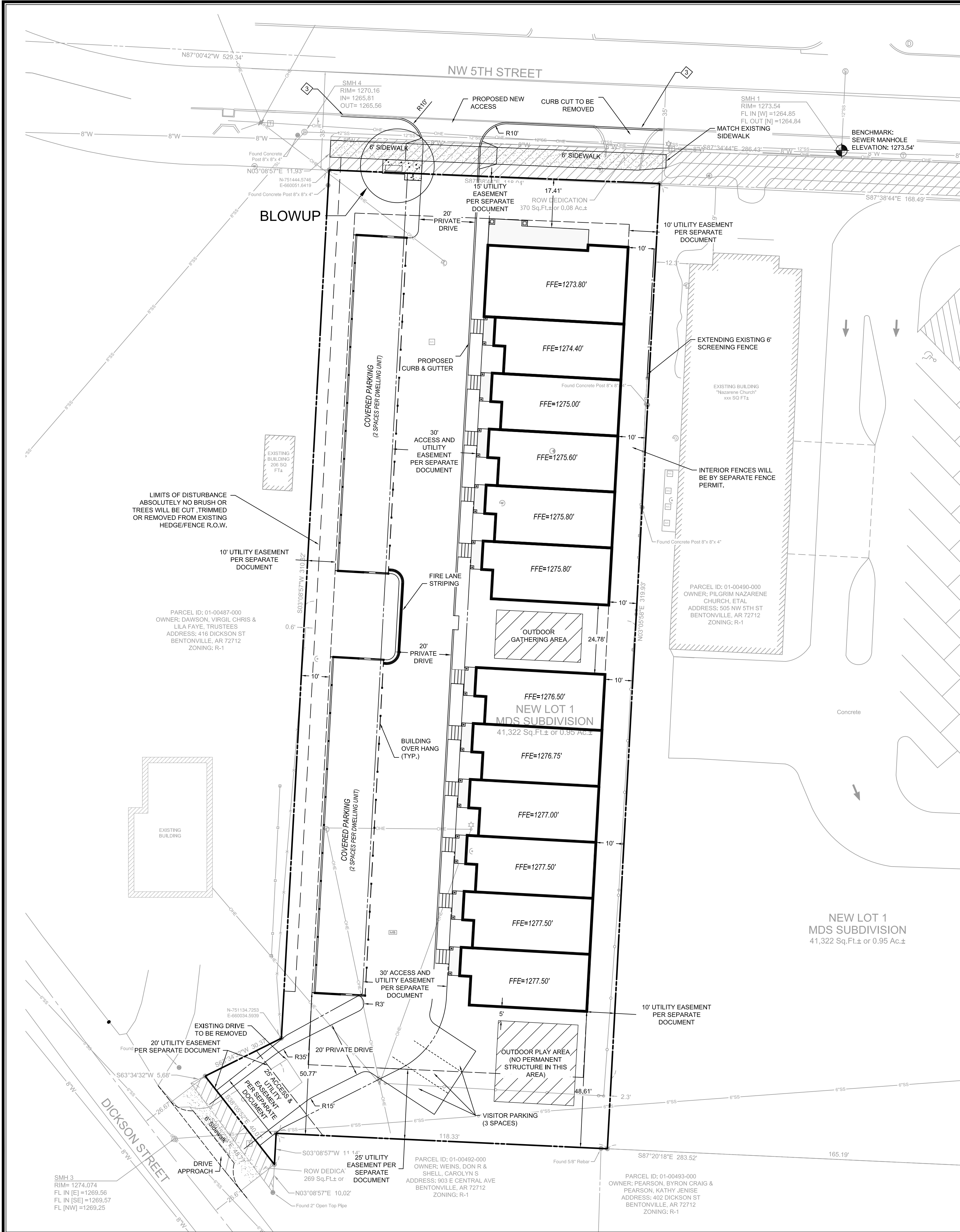
The proposed large scale development has the potential to impact traffic in the area. However, the existing street network should accommodate any increase in traffic caused by the development.

Waivers

No waivers requested.

Conclusion

In conclusion, this large scale development does meet the minimum requirements of the subdivision regulations.



CONCRETE PAD FOR BIKE RACK & BENCH

- CONCRETE WORK SHALL MATCH SIDEWALK REQUIREMENTS.
- BIKE RACK AND BENCH SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS.

SITE DATA

ZONING - DN-2	
SETBACKS (NOT SHOWN) -	FRONT 15'
	REAR - 25'
	SIDE INTERIOR - 10'
	SIDE EXTERIOR - 10'
TOTAL LOT AREA:	39,174 SF or 0.90 Acres

PARKING TABLE

REQUIRED: 2 PER UNIT
NUMBER OF UNITS: 12 UNITS
24 TOTAL SPACES PROVIDED

BENTONVILLE REQUIRED NOTES :

IRRIGATION NOTE:
NO IRRIGATION IS PLANNED FOR THIS PROJECT. HOSE BIBS WILL BE PROVIDED ON EACH UNIT FOR FRONT AREA WATERING, AS WELL AS (2) HOSE BIBS FOR USE BY OWNER/DEVELOPER

MECHANICAL EQUIPMENT SCREENING:
ALL MECHANICAL EQUIPMENT, WHETHER GROUND OR ROOF MOUNTED, WILL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS THE BUILDING.

TRASH PICKUP:
TRASH BINS ARE TO BE STORED IN DESIGNATED AREAS AT THE SOUTH ENDS OF EACH SET OF UNITS AND PLACED ALONG PRIVATE DRIVE FOR PICKUP.

ELECTRIC DESIGN LAYOUT:
BEUD DESIGN LAYOUT DRAWING TAKES PRECEDENCE OVER ANY ELECTRIC INFORMATION SHOWN ON THE SITE UTILITY PLAN. CONTRACTOR SHALL FOLLOW DESIGN ON BEUD'S DRAWING WHEN INSTALLING FACILITIES. BEUD ELECTRIC LAYOUT DRAWING AND DETAIL SHEETS SHALL BE ADDED TO THE FINAL PLANS.

ELECTRIC METER:

EXTERIOR LIGHTING:
ALL LIGHTING, WHETHER GROUND OR BUILDING MOUNTED, MUST BE CUT-OFF OR B-L-J-G, HAVE A U RATING OF 0, AND BE APPROVED BY THE PLANNING DEPARTMENT. PROVIDE PROPOSED LIGHTING SPECIFICATION TO PLANNING PRIOR TO INSTALLATION.

AMENITIES:

- (1) OUTDOOR PLAY AREA
- (1) OUTDOOR GATHERING/SEATING AREA

STYLE AND LAYOUT MUST BE SUBMITTED AND APPROVED BY PLANNING.

SITE NOTES:

- ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL CURBS SHALL BE CONCRETE CURB & GUTTER UNLESS NOTED OTHERWISE. SEE DETAIL SHEET.
- THE PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER. TRANSITION THE LAST 10' (FEET) TO MATCH IN GRADE AND ALIGNMENT.
- THE CONTRACTOR SHALL CONSTRUCT SIDEWALKS AS SHOWN ON THIS PLAN AND REQUIRED BY CITY ORDINANCE. WALK FORMS TO BE INSPECTED PRIOR TO POUR. WALK CROSSING THE DRIVE MUST BE EVIDENT BY CONCRETE COLORING AND/OR AN APPROVED PATTERN. WALK MUST ADHERE TO ADA REGULATIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, SLOPED PAVING, PORCHES, RAMPS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- NO SUBDIVISION SIGNAGE IS PROPOSED AT THIS TIME, ANY PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
- BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND/OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR UTILITY CONDUIT OR SERVICE NEEDS. CONDUITS MUST BE PLACED PRIOR TO PAVING AND CURB WORK.
- THE OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO ENSURE THAT EACH LOT HAS WATER, SEWER, AND ELECTRIC SERVICE.
- ALL NECESSARY INSPECTION APPROVALS AND/OR CERTIFICATIONS REQUIRE BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CERTIFICATION OF SERVICES.
- CONTACT BEUD AT 479-271-3135 BEFORE PERFORMING AND GRADING AROUND POWER POLES WITHIN 5' FOR PLACEMENT OF ANY FILL GREATER THAN 1' OR ANY EXCAVATION.
- A SEPARATE PERMIT WILL BE REQUIRED FOR ANY PROPOSED SIGNAGE.
- A SEPARATE PERMIT WILL BE REQUIRED FOR ANY PROPOSED INTERIOR FENCING BETWEEN BUILDINGS.
- SITE AMENITIES SHALL BE INSTALLED PER THE CITY OF BENTONVILLE APPROVED DESIGN STANDARDS LOCATED IN ARTICLE 1100, SECTION 15.F.4. AMENITIES INCLUDE:
 - BENCH - VICTOR STANLEY "CLASSIC" SERIES (MODEL # C-10)
 - BIKE RACK - SINGLE HOOP, DERO SWERVE RACK, BLACK.

FLOOD STATEMENT:

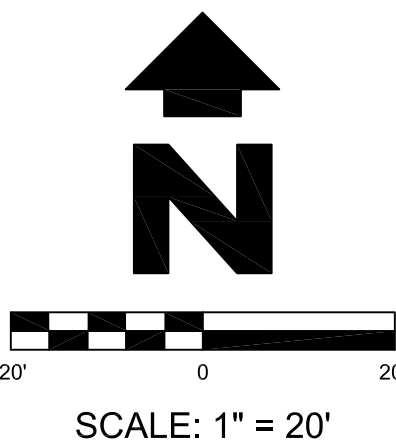
This property is not located within any presently established 100-year flood plain as determined by the National Flood Insurance Program, flood insurance rate map for Benton County, Arkansas. Map Number 05007C0090J, Revised date September 28, 2007.

BENCHMARK:

LOCATED EAST OF PROJECT AREA
SANITARY SEWER MANHOLE
N: 751451.53'
E: 660234.52'
ELEV: 1273.54'

SURVEY DESCRIPTION:

Being part of the NE 1/4 of the SW 1/4 of Section 30, Township 20 North, Range 30 West, City of Bentonville, Benton County, Arkansas, being more particularly described by notes and bounds as follows:
Commencing at a point in the South Right-of-Way of NW 5th St. being 2202.02 Feet North and 259.30 Feet West of the South Quarter Corner of said Section 30; Thence South 03°05'58" West, a distance of 5.00 feet to the POINT OF BEGINNING;
Thence South 03°05'58" West, a distance of 351.72 feet;
Thence North 87°20'18" West, a distance of 118.33 feet;
Thence South 03°08'57" West, a distance of 11.14 feet;
Thence North 38°05'52" West, a distance of 40.07 feet;
Thence North 63°34'32" East, a distance of 30.37 feet;
Thence North 03°08'57" East, a distance of 317.25 feet to the South Right-of-Way of NW 5th St.;
Thence along said South Right-of-Way, South 87°34'44" East, a distance of 118.03 feet to the POINT OF BEGINNING, containing 39.174 Square Feet or 0.90 Acres, more or less.



SITE LEGEND

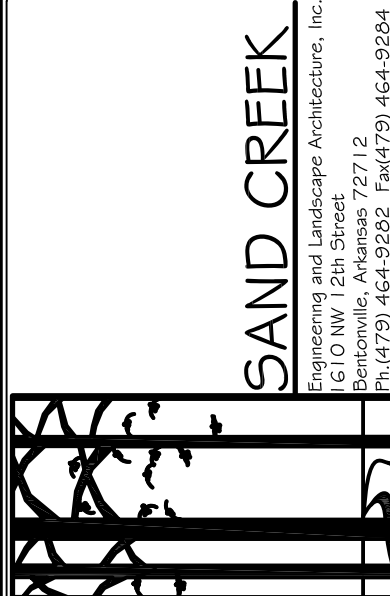
- FOUND IRON PIN
- SET IRON PIN
- EXISTING SIGN
- EXISTING WATER METER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CLEANOUT
- EXISTING MAILBOX
- EXISTING UTILITY POLE / LIGHT POLE
- EXISTING A/C
- EXISTING TELEPHONE RISER
- EXISTING TELEPHONE MAN HOLE
- EXISTING ELECTRIC METER
- EXISTING GAS METER
- EXISTING HOSE BIB
- EXISTING FENCE (CHAINLINK)
- EXISTING FENCE (BARB WIRE)
- EXISTING FENCE (WOODEN WIRE)
- PROPOSED UTILITY EASEMENT & SETBACK LINE
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- PROPOSED SIDEWALK

SITE PLAN

SHEET:

PROJECT:

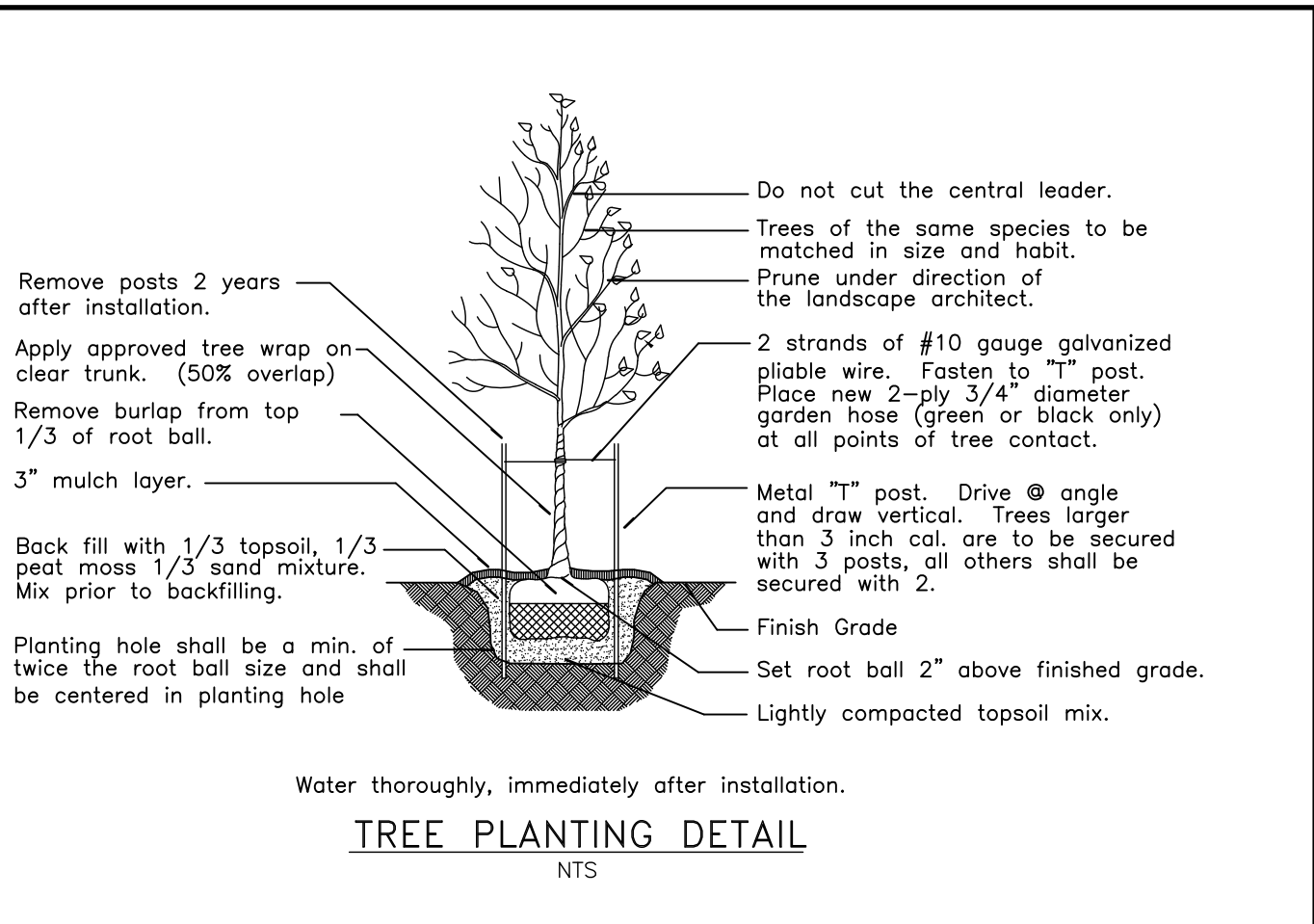
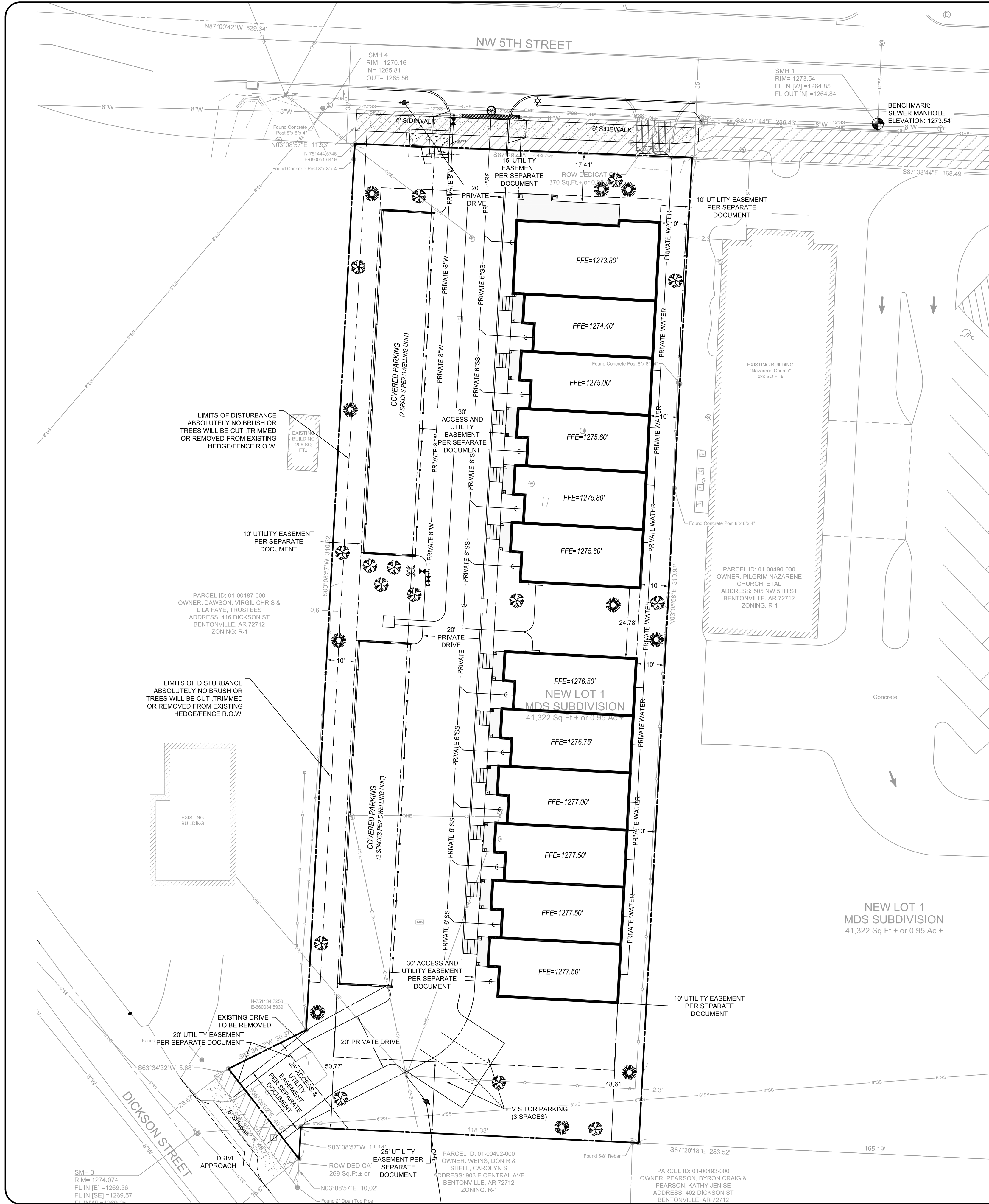
PRELIMINARY



MANAGER:	JDW
DESIGNED BY:	JDW
DRAWN BY:	JDW
CHECKED BY:	TRS
SCE PROJECT #:	17042
DATE:	6/1/2018
SHEET:	3 OF 16

CITY OF BENTONVILLE PROJECT #:
LSD18-0032

17042 5TH N DICKSON LSD



NOTICE:
ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED. (SEC. 1400.5.C-10)

TREES SHALL NOT BE TAPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC. 1400.5.C-11)

HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF THE ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC. 1400.G.C-12)

LIVING MATERIALS, SUCH AS LAWN, GRASS, OR HERBACEOUS GROUNDCOVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS, ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED. (SEC 1400.6.A-8 & 1400.6.G-7)

LANDSCAPE NOTES:

1. PLANTS DESIGNATED "B&B" SHALL BE BALLED AND BURLAPPED, THEY SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT.
2. ONLY "HEMP" BURLAP AND TWINE SHALL BE USED, NO TREATED OR PRESERVED BURLAP OR TWINE IS ALLOWED. ALL HEMP TWINE ATTACHED TO THE TREE TRUNK IS TO BE REMOVED AFTER PLANTING.
3. PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY SHALL BE COVERED WITH MOIST SOIL, MULCH OR OTHER PROTECTION FROM DRYING WINDS AND SUN. ALL PLANTS SHALL BE WATERED BY THE LANDSCAPE CONTRACTOR AS NECESSARY UNTIL PLANTING.
4. NO PLANT SHALL BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR DISFIGURE THE BRANCHES.
5. TREE BALLS SHALL HAVE A DIAMETER EQUAL TO 10" PER CALIPER INCH OF THE TREE TO BE TRANSPLANTED.
6. ALL PLANTS SHALL BE HANDLED SO THAT ROOTS ARE ADEQUATELY PROTECTED AT ALL TIMES DURING SHIPMENT. THE ENTIRE PLANT SHALL BE PROTECTED BY TARPULINS OR OTHER SUITABLE COVERING. PLANT MATERIAL SUFFERING FROM WIND BURN OR OTHER DAMAGE IS NOT ACCEPTABLE.
7. BALLED AND BURLAPPED MATERIAL SHALL NOT BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN EITHER BEFORE OR DURING THE PROCESS OF PLANTING, OR WHEN BURLAP STAKES, ROPES, OR PLATFORM HAVE BEEN REMOVED.
8. DIMENSIONS FOR HEIGHT, SPREAD, AND TRUNK, AS SPECIFIED ON THE MATERIAL SCHEDULE ARE A GENERAL GUIDE FOR THE MINIMUM DESIRED SIZE OF EACH PLANT.
9. PRIOR TO THE EXCAVATION OF PLANT PITS AND DRIVING OR PLACING OF STAKES OR DEADMEN, THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UNDERGROUND UTILITIES AND TAKE THE PROPER PRECAUTIONS TO PREVENT DAMAGE TO SUCH SUBSURFACE IMPROVEMENTS. IN THE EVENT UTILITIES ARE UNCOVERED, THE LANDSCAPE CONTRACTOR SHALL PROMPTLY NOTIFY THE PROJECT MANAGER.
10. ANY SERIES OF TREES OR SHRUBS TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY, ANY PLANTS INCORRECTLY ARRANGED SHALL BE RELOCATED WITH THE LANDSCAPE ARCHITECTS APPROVAL.
11. PRE EMERGENT HERBICIDE (TRIFLORAL OR APPROVED EQUAL) SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS TO ALL PLANT BEDS PRIOR TO PLANTING.
12. THE QUANTITIES INDICATED ON THE DRAWINGS ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR BUT SHOULD NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND SHALL ASSUME ALL LIABILITY ASSOCIATED WITH THOSE QUANTITIES OR ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROTOTILLING ALL PLANTING BEDS TO A MINIMUM DEPTH OF 12". TOP SOIL AND PEAT MOSS ARE TO BE ADDED AT THE FOLLOWING RATES: PEAT MOSS, ONE SIX CUBIC FOOT BALE PER 75 SQ. FT. OF BED AREA.
14. ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED. (SEC. 1400.5.C-10)
15. TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC. 1400.5.C-11)
16. HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC. 1400.5.C-12)
17. LIVING MATERIALS, SUCH AS LAWN, GRASS, OR HERBACEOUS GROUND COVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED. (SEC. 1400.6.A-8 AND 1400.6.G-7)
18. ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES.
19. THE CITY REQUIRES ONE OR A COMBINATION OF THE FOLLOWING IRRIGATIONS OPTIONS BE INSTALLED:
 - UNDERGROUND SPRINKLING SYSTEM
 - AUTOMATIC DRIP SYSTEM
 - HOSE ATTACHMENT WITHIN 100' OF ALL LANDSCAPED AREAS
20. WHERE THERE ARE POTENTIAL UTILITY CONFLICTS WITH THE LANDSCAPING, UTILITY LOCATION SHALL BE FIELD VERIFIED.

IRRIGATION NOTE:

NO IRRIGATION IS PLANNED FOR THIS PROJECT. HOSE BIBS WILL BE PROVIDED ON EACH UNIT FOR FRONT AREA WATERING.

PLANT MATERIAL SCHEDULE					
Quantity	Symbol	Common Name	Scientific Name	Mature Height	Planting Size (min.)
11		ARBROVITAE	THUJA x "GREEN GIANT"	30 Feet	2.5" B&B
10		SOUTHERN MAGNOLIA	MAGNOLIA GRANDIFLORA	70 Feet	2.5"

ALL PLANT MATERIALS SHALL MEET THE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK.
ALL PLANT MATERIAL IS TO BE GUARANTEED FOR 18 MONTHS. GUARANTEE PERIOD SHALL START FOM DATE OF PROVISIONAL ACCEPTANCE BY OWNER.
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND MAINTENANCE OF ALL INSTALLED PLANT MATERIAL UNTIL ACCEPTANCE.

GEREN + ASSOCIATES

LANDSCAPE ARCHITECTURE & PLANNING
"CREATING BEAUTIFUL SPACES FOR LIVING SINCE 1944"

13955 WHITE OAK LANE
BENTONVILLE, ARKANSAS
479.903.2697
WEGERENB1@GMAIL.COM

5TH N DICKSON
507 NW 5TH ST & 410 DICKSON ST
BENTONVILLE, ARKANSAS

REVISIONS

NO	DATE	DESCRIPTION

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT

PRELIMINARY

DRAWN BY: JDW CHECKED BY: WEG

LANDSCAPE PLAN

SHEET 6

PRELIMINARY
DESIGN

PRELIMINARY
NOT FOR CONSTRUCTION

5TH N DICKSON
507 NW 11TH ST
BENTONVILLE, AR

Burris
Architecture
820 Tiger Blvd, Suite 4, Bentonville, Ar 72712
479-319-6045

DATE
5-7-18
JOB NO.
18033
REVISIONS

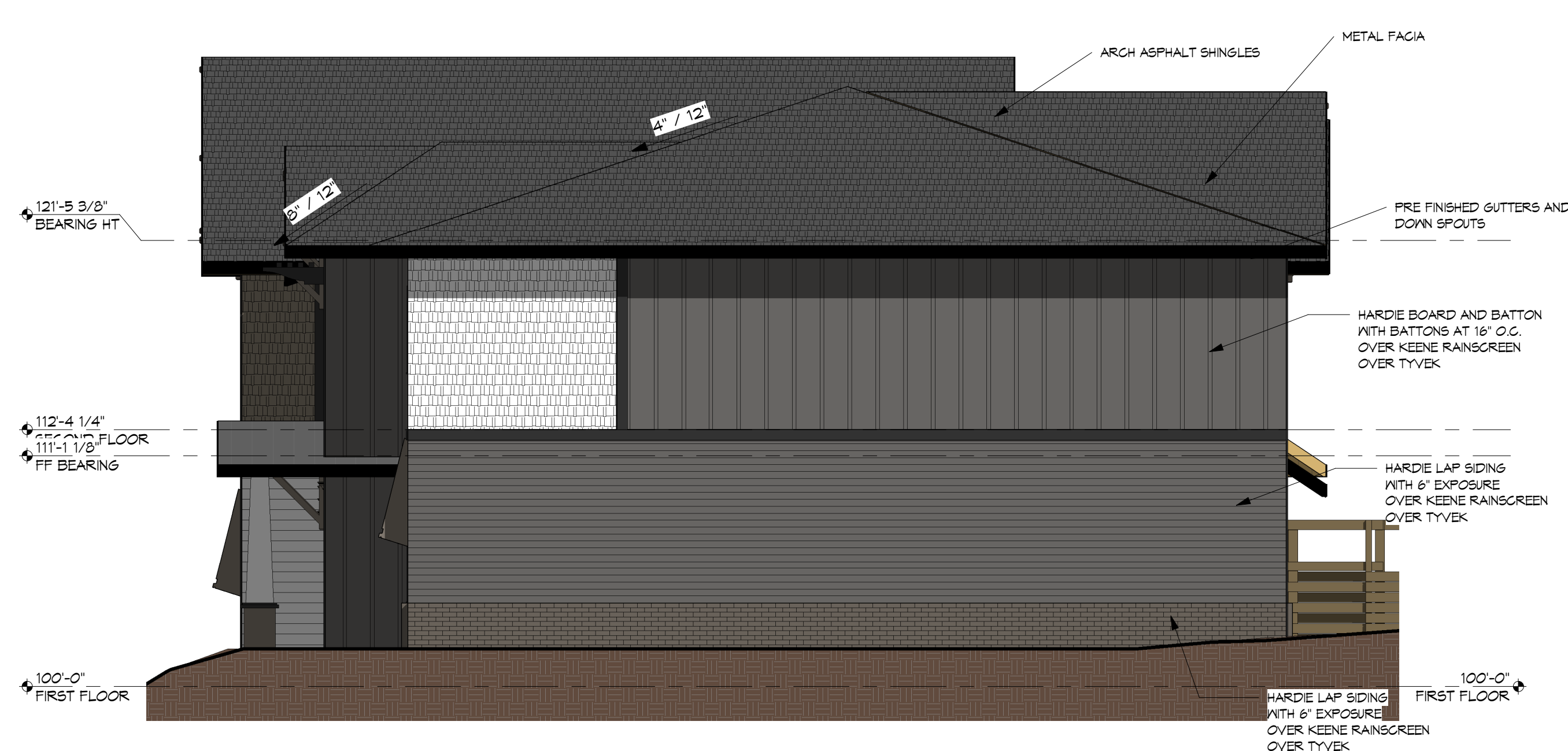
PRE1
BUILDING 1 CONCEPT



2 EAST ELEVATION COLOR
3/16" = 1'-0"



1 WEST ELEVATION COLOR
3/16" = 1'-0"



4 SOUTH ELEVATION COLOR
3/16" = 1'-0"



3 NORTH ELEVATION COLOR
3/16" = 1'-0"

3 NORTH ELEVATION COLOR
3/16" = 1'-0"