



**Planning Commission
Agenda
August 7, 2018**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**

- 1. Lots 37-39 Dickson's Addition** **Lot Split**
701 W Central Avenue (*PLA18-0022*)
- 2. Lots 15 and 16, Block 6 Dunn and Davis Addition** **Property Line Adjustment**
SW B Street and SW 7th Street (*PLA18-0024*)

IV. New Business

- 1. Inclusion Realty** **Rezoning***
(R-1, Single-Family Residential to DN-2, Downtown Medium-Density Residential)
502 SE C Street (*RZ18-0023*)
- 2. Providence Parking Lot** **Conditional Use Permit***
4405 SW Laurel Avenue (*CU18-0016*)
- 3. Hershey Parking Lot** **Conditional Use Permit***
SE Plaza Avenue (*CU18-0017*)
- 4. Ashby Street Outdoor** **Digital Billboard – Conditional Use Permit***
1109 SW 14th Street (*DB18-0001*)
- 5. Ashby Street Outdoor** **Digital Billboard – Conditional Use Permit***
1080 SE 14th Street (*DB18-0004*)
- 6. 5th and Dickson** **Waiver**
5th and Dickson (*WAV18-0004*)
- 7. Home2 Suites** **Large Scale Development**
SE Griffin Drive (*LSD18-0039*)
- 8. Emerson Group** **Large Scale Development**
209 NW A Street (*LSD18-0043*)

- V. Other Business**
 - 1. Community Plan Update**
- VI. Planner's Report**
- VII. Adjournment**

*Denotes Public Hearing

Planning Commission
Minutes
July 17, 2018

Meeting called to order at 5:00 p.m. by Rod Sanders, Chairman.

Present: Scott Eccleston, Rod Sanders, Joe Haynie, Jim Grider, and Elaine Kerr
Absent: Richard Binns and Dana Davis
Staff: Shelli Kerr, Jon Stanley, and Tyler Overstreet

Motion by Mr. Grider, seconded by Mr. Eccleston to approve the minutes of July 3, 2018 as written
Approved 5-0

New Business

Item #1

Lots 10 and 11 of Loesche Subdivision: Property Line Adjustment, 801 and 803 NW 8th Street,
PLA18-0021

Tyler Overstreet reads the staff report.

There is some discussion between Commissioners and staff.

Approved 5-0

Item #2

10th & Main: Large Scale Development, 1003 S Main Street, LSD18-0037

Tyler Overstreet reads the staff report.

There is no discussion.

Approved 5-0

Item #3

Subdivision Code Revisions: Ordinance

Shelli Kerr reads the staff report.

Opened public hearing

No public comment

Closed public hearing

Approved 5-0

Shelli Kerr gives an update on the Community Plan. A Planning Commission and City Council meeting will be held August 7 from 1-3pm. The public meeting will be held the same day from 4-7pm.

Meeting adjourned

**A copy of this recording can be obtained from the Bentonville Planning Department.

Ali Worley



Consent Agenda Items

For Planning Commission meeting of August 7, 2018

Reviewer: Tyler Overstreet, Planner

- ❖ At the Technical Review meeting held on July 31, 2018 the Planning Commission requested these items be placed on the Consent agenda. The descriptions below shall serve as the staff report for each of the consent agenda items.

Lot Split: Lots 37-39 Dickson's Addition, Eric Scott, 701 W Central Avenue, R-1, Single-Family Residential (PLA18-0022)

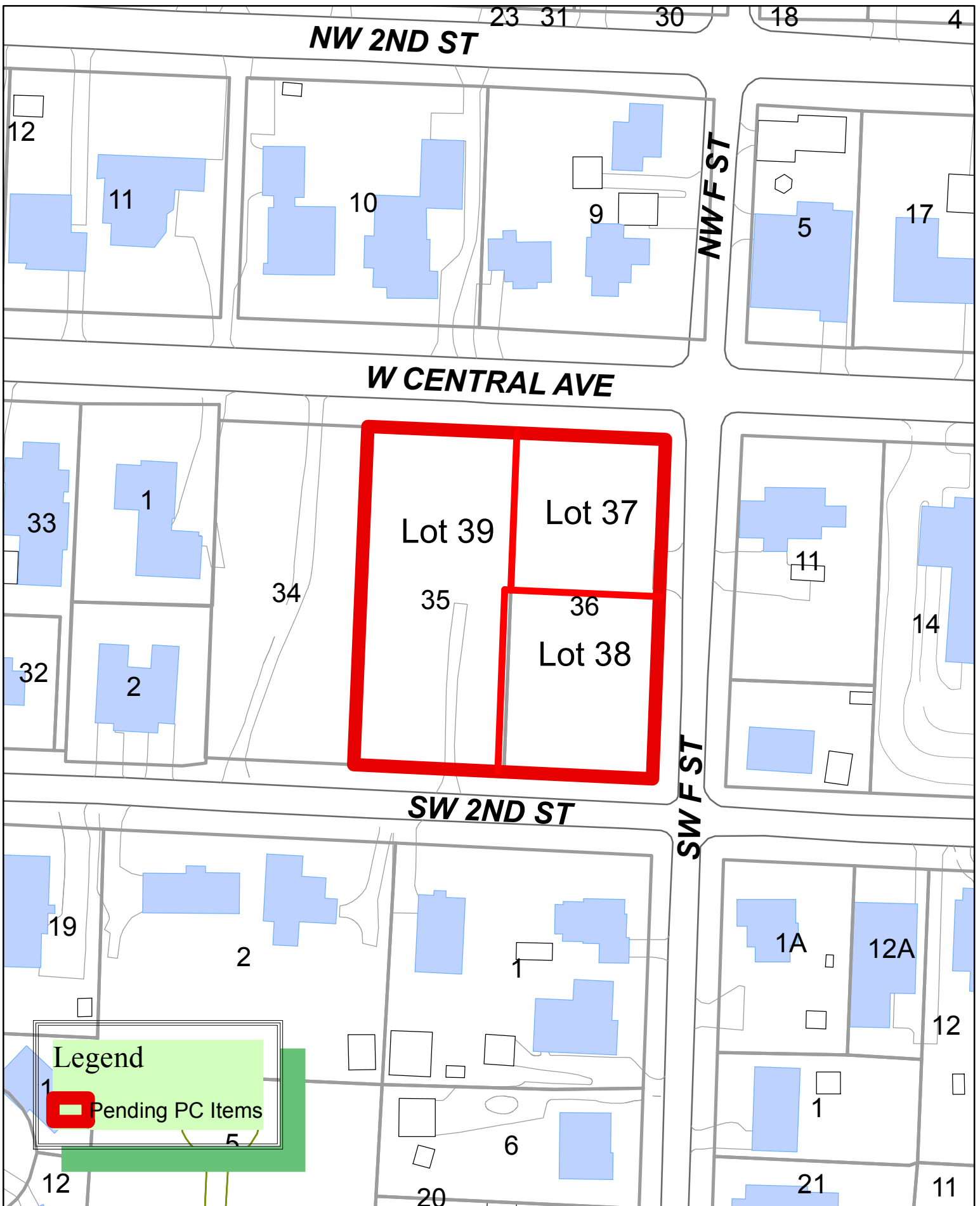
Lot split of Lots 35 and 36 of Dickson's Addition, creating new Lots 37-39. The plat dedicates 20' utility easements along all exterior lot lines and 15' utility easements along all interior lot lines. Adequate right-of-way exists along W Central Avenue, SW F Street, and SW 2nd Street.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mqweb/PZpending/>)

Property Line Adjustment: Lots 15 and 16, Block 6 Dunn and Davis Addition, Bike Rack Group, LLC, SW B Street and SW 7th Street, DC, Downtown Core (PLA18-0024)

Property line adjustment adjusting the common lot line of Lots 13 and 14, Block 6, of Dunn and Davis Addition, creating new Lots 15 and 16. The plat dedicates a variable width drainage easement. A private access easement shall be dedicated by separate documents. The plat dedicates additional right-of-way along SW B Street to push the property line behind the sidewalk.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mqweb/PZpending/>)



NW 2ND ST

NW F ST

W CENTRAL AVE

SW 2ND ST

SW F ST

Lot 39

Lot 37

35

36

Lot 38

Legend

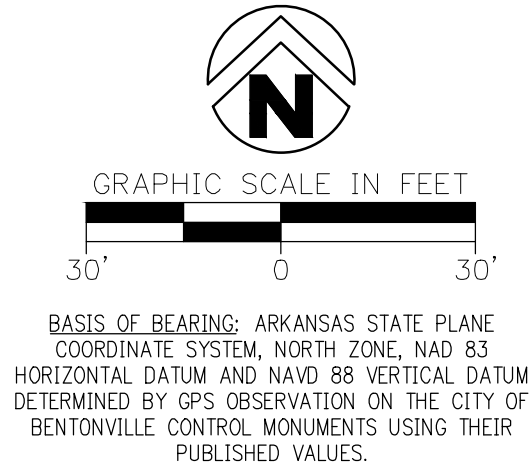
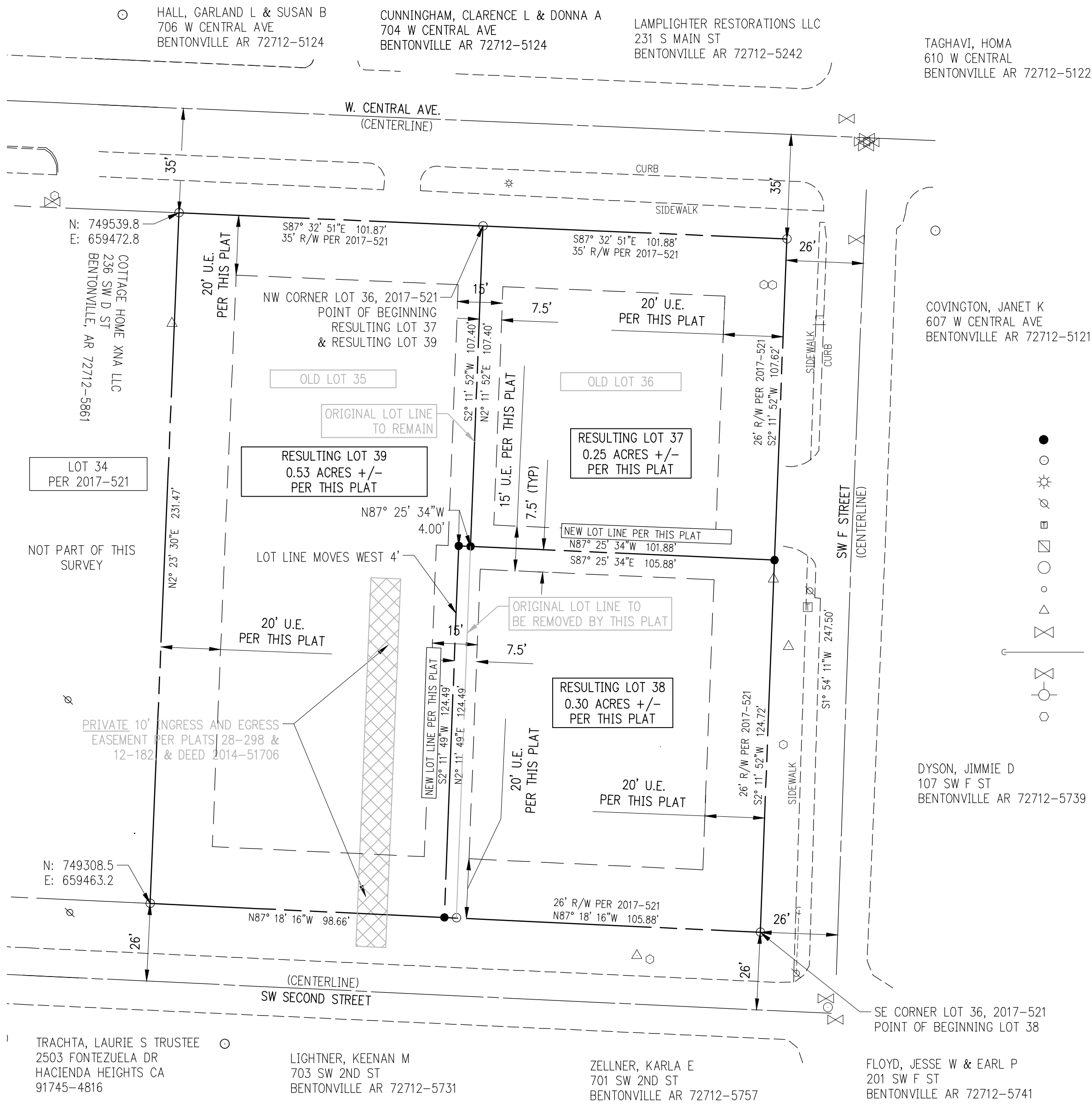
 Pending PC Items

PLA18-0022

Lots 35 & 36 Dickson's Addition
701 W Central Ave

1 inch = 83 feet

DRAWING: \\BROGLEY\ORFILES\18107400_ERCS\SCOTT\INFRASTRUCTURE\SURVEY\DWG\18107400 TRACT SP1.DWG
LAYOUT: LAYOUT1, LAST SAVED: RW5990, 7/30/2018 12:38:05 PM
LAST PLOTTED BY: R. WOODS, 7/31/2018 12:39:45 PM (PLOTTED BY: VALID ON HARD COPY ONLY)



LEGEND (TYP, NOT ALL SYMBOLS USED)

- SYMBOLS**

 - SET 5/8" REBAR AND CAP
 - FOUND IRON PIN
 - ⊙ LIGHT POLE
 - ⊗ POWER POLE
 - ⊠ TELEPHONE PEDESTAL
 - TV PEDESTAL
 - MANHOLE
 - SANITARY SEWER CLEANOUT
 - GAS METER
 - GAS VALVE
 - DOWN GUY
 - WATER VALVE
 - FIRE HYDRANT ASSEMBLY
 - WATER METER
- LINEWORK**

 - EASEMENT
 - ==== CURB
 - CHAIN LINK FENCE
 - WOOD FENCE
 - WIRE FENCE
 - RIGHT OF WAY
 - ROAD CENTERLINE
 - PROPERTY LINE
 - ORIGINAL PROPERTY LINE

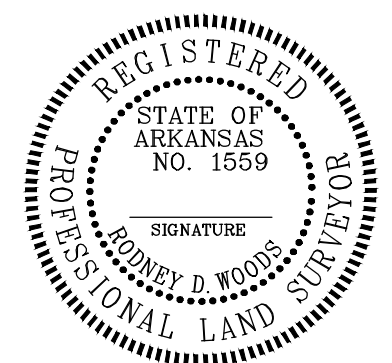
PARENT TRACTS

LOT 35 OF LOT SPLIT PLAT 2017-521

COMMENCING AT THE SOUTHWEST CORNER OF LOT 7D OF DICKSON'S ADDITION TO THE CITY OF BENTONVILLE, ARKANSAS AS SHOWN ON PLAT RECORD 11-280 & 2016-543; THENCE NORTH 02°23'30" EAST A DISTANCE OF 11.56 FEET; THENCE SOUTH 87°18'16" EAST A DISTANCE OF 101.88 FEET TO THE POINT OF BEGINNING; THENCE NORTH 02°23'30" EAST A DISTANCE OF 231.47 FEET TO THE PROPOSED SOUTH RIGHT OF WAY OF WEST CENTRAL AVE.; THENCE ALONG SAID PROPOSED RIGHT OF WAY SOUTH 87°32'51" EAST A DISTANCE OF 101.87 FEET; THENCE LEAVING SAID PROPOSED RIGHT OF WAY SOUTH 02°11'52" WEST A DISTANCE OF 231.91 FEET TO THE PROPOSED NORTH RIGHT OF WAY OF SW SECOND STREET; THENCE ALONG SAID RIGHT OF WAY NORTH 87°18'16" WEST A DISTANCE OF 102.65 FEET TO THE POINT OF BEGINNING. CONTAINING 0.54 ACRES MORE OR LESS. SUBJECT TO ANY EASEMENTS OF RECORD OR FACT.

LOT 36 OF LOT SPLIT PLAT 2017-521

COMMENCING AT THE SOUTHWEST CORNER OF LOT 7D OF DICKSON'S ADDITION TO THE CITY OF BENTONVILLE, ARKANSAS AS SHOWN ON PLAT RECORD 11-280 & 2016-543; THENCE NORTH 02°23'30" EAST A DISTANCE OF 11.56 FEET; THENCE SOUTH 87°18'16" EAST A DISTANCE OF 204.53 FEET TO THE POINT OF BEGINNING; THENCE NORTH 02°11'52" EAST A DISTANCE OF 231.91 FEET TO THE PROPOSED SOUTH RIGHT OF WAY OF WEST CENTRAL AVE.; THENCE ALONG SAID PROPOSED RIGHT OF WAY SOUTH 87°32'51" EAST A DISTANCE OF 101.88 FEET TO THE PROPOSED RIGHT OF WAY OF SW F STREET; THENCE LEAVING SAID PROPOSED RIGHT OF WAY AND ALONG THE PROPOSED RIGHT OF WAY OF SW F STREET SOUTH 02°11'52" WEST A DISTANCE OF 232.34 FEET TO THE PROPOSED NORTH RIGHT OF WAY OF SW SECOND STREET; THENCE ALONG SAID RIGHT OF WAY OF SW SECOND STREET NORTH 87°18'16" WEST A DISTANCE OF 101.88 FEET TO THE POINT OF BEGINNING. CONTAINING 0.54 ACRES MORE OR LESS. SUBJECT TO ANY EASEMENTS OF RECORD OR FACT.



LOT LINE ADJUSTMENT OF LOTS 35 & 36
OF REVISED DICKSON'S ADDITION (PLAT 2017-521)
TO THE CITY OF BENTONVILLE, AR
CREATING NEW LOTS 37, 38 & 39

PREPARED FOR:
COTTAGE HOME XNA, LLC

VICINITY MAP

DELTA	DESCRIPTION	DATE
1	PER CITY	07/18/2018
2	PER CITY	07/30/2018

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CERTIFICATE OF AUTHORIZATION:	
PROJECT NO: 18107400	
ISSUE DATE: 07/02/2018	
CONTACT: R. WOODS	
CHECKED BY:	
SHEET NO.:	

LOT 37

BEGINNING AT THE NORTHWEST CORNER OF LOT 36 OF DICKSON'S ADDITION TO THE CITY OF BENTONVILLE, ARKANSAS AS SHOWN ON PLAT RECORD 2017-521, SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY OF W. CENTRAL AVE. AS SHOWN ON SURVEY PLAT 2017-521; THENCE ALONG SAID RIGHT-OF-WAY SOUTH 87°32'51" EAST A DISTANCE OF 101.88 FEET TO THE WEST RIGHT-OF-WAY OF SW F STREET; THENCE ALONG SAID RIGHT OF WAY SOUTH 02°11'52" WEST A DISTANCE OF 107.62 FEET; THENCE LEAVING SAID RIGHT-OF-WAY NORTH 87°25'34" WEST A DISTANCE OF 101.88 FEET; THENCE NORTH 02°11'52" EAST A DISTANCE OF 107.40 FEET TO THE POINT OF BEGINNING. CONTAINING 0.25 ACRES MORE OR LESS. SUBJECT TO ANY EASEMENTS OF RECORD OR FACT.

LOT 38

BEGINNING AT THE SOUTHEAST CORNER OF LOT 36 OF DICKSON'S ADDITION TO THE CITY OF BENTONVILLE, ARKANSAS AS SHOWN ON PLAT RECORD 2017-521, SAID POINT BEING ON THE NORTH RIGHT-OF-WAY OF SW SECOND STREET AS SHOWN ON SURVEY PLAT 2017-521; THENCE ALONG SAID RIGHT-OF-WAY NORTH 87°18'16" WEST A DISTANCE OF 105.88 FEET; THENCE LEAVING SAID RIGHT-OF-WAY NORTH 02°11'49" EAST A DISTANCE OF 124.49 FEET; THENCE SOUTH 87°25'34" EAST A DISTANCE OF 105.88 FEET TO THE WEST RIGHT-OF-WAY OF SW F STREET; THENCE ALONG SAID RIGHT OF WAY SOUTH 02°11'52" WEST A DISTANCE OF 124.72 FEET TO THE POINT OF BEGINNING. CONTAINING 0.30 ACRES MORE OR LESS. SUBJECT TO ANY EASEMENTS OF RECORD OR FACT.

LOT 39

BEGINNING AT THE NORTHWEST CORNER OF LOT 36 OF DICKSON'S ADDITION TO THE CITY OF BENTONVILLE, ARKANSAS AS SHOWN ON PLAT RECORD 2017-521; THENCE SOUTH 02°11'52" WEST A DISTANCE OF 107.40 FEET; THENCE NORTH 87°25'34" WEST A DISTANCE OF 4.00 FEET; THENCE SOUTH 02°11'49" WEST A DISTANCE OF 124.49 FEET TO THE NORTH RIGHT-OF-WAY OF SW SECOND STREET AS SHOWN ON SURVEY PLAT 2017-521; THENCE ALONG SAID RIGHT-OF-WAY NORTH 87°18'16" WEST A DISTANCE OF 98.66 FEET; THENCE LEAVING SAID RIGHT-OF-WAY NORTH 02°23'30" EAST A DISTANCE OF 231.47 FEET; TO THE SOUTH RIGHT-OF-WAY OF W. CENTRAL AVE. AS SHOWN ON SURVEY PLAT 2017-521; THENCE ALONG SAID RIGHT-OF-WAY SOUTH 87°32'51" EAST A DISTANCE OF 101.87 FEET TO THE POINT OF BEGINNING. CONTAINING 0.53 ACRES MORE OR LESS. SUBJECT TO ANY EASEMENTS OF RECORD OR FACT.

ALL LOTS ZONED R-1

ZONED R-1	SETBACK TABLE			
BLDG TYPE	FRONT YARD	INTERIOR	EXTERIOR	REAR
R-1	20'	7'	20'	25'

OWNER TRACTS COTTAGE HOME XNA LLC
236 SW "D" STREET
BENTONVILLE, AR 72712

SURVEYOR: CRAFTON, TULL & ASSOCIATES
901 NORTH 47TH ST, SUITE 200
ROGERS, AR 72756

NOTES:

BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND/OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING & TRANSPORTATION DEPARTMENTS & NOTIFY SAID DEPARTMENTS ON THE INTENT & TYPE OF WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY.

OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER & ELECTRIC SERVICE.

SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.

THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.

THE PROPERTY SURVEYED IS WITHIN THE MUNICIPAL LIMITS OF BENTONVILLE, AR.

THERE MAY BE BUILDINGS AND OTHER IMPROVEMENTS ON THE PROPERTY THAT ARE NOT SHOWN ON THIS PLAT.

THE ADJACENT PROPERTY OWNERS NAMES SHOWN ON THIS PLAT WERE OBTAINED FROM THE BENTON COUNTY GIS WEBSITE, AND REPRESENT THE OWNER'S LISTED NAME AT THE TIME OF THIS SURVEY.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT CONSIDERED A PART OF THIS SURVEY AND NO INVESTIGATION OF THESE CONDITIONS WAS MADE.

ANY UTILITY LINES, STRUCTURES OR APPURTENANCES SHOWN HEREON ARE FROM A FIELD INVESTIGATION LIMITED TO THE VISIBLE SURFACE OF THE PROPERTY SURVEYED. OTHER UTILITY LINES, STRUCTURES AND APPURTENANCES MAY BE PRESENT ON THE PROPERTY. FOR INFORMATION REGARDING SUCH ITEMS, CONTACT THE APPROPRIATE AGENCIES.

ALL STRUCTURES MUST MAINTAIN MINIMUM 20' CLEARANCE FROM ALL ELECTRICAL LINES.

THE SURVEYOR HAS NOT MADE A SEPARATE INVESTIGATION OR SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, OR RESTRICTIVE COVENANTS. ANY EASEMENTS SHOWN HEREON CAME TO THE ATTENTION OF THE SURVEYOR IN THE COURSE OF HIS RESEARCH OF THE PROPERTY BOUNDARY. OTHER RECORD EASEMENTS, ENCUMBRANCES, OR COVENANTS MAY EXIST ON THE SURVEYED PROPERTY.

NO PART OF THIS PROPERTY IS IN FLOOD ZONE "A" OR "AE", AND IS OUTSIDE THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05007C0260K, EFFECTIVE DATE JUNE 5, 2012. THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, NO INDEPENDENT STUDY OF THE LIKELIHOOD OF FLOODING OF THE SURVEYED PROPERTY HAS BEEN DONE BY THE SURVEYOR AND NO OPINION OF FLOOD HAZARDS IS INCLUDED IN THIS SURVEY.

CERTIFICATE OF OWNERSHIP

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

_____/____/2018
DATE OWNER/AGENT SIGNATURE

COTTAGE HOME XNA LLC

State of _____
County of _____
Sworn to and subscribed before me this _____ day of _____, 2018.
Notary Public _____
My Commission Expires_____

CERTIFICATE OF APPROVAL

PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

SIGNED _____
PLANNING COMMISSION CHAIRPERSON

SIGNED _____
MAYOR

SIGNED _____
CITY CLERK

SURVEY NOTES:

THIS PLAT REPRESENTS A BOUNDARY SURVEY CONDUCTED ON THIS PROPERTY ON THE FOLLOWING DATE: JUNE 6TH 2018.

THE PROPERTY SURVEYED IS WITHIN THE MUNICIPAL LIMITS OF BENTONVILLE, AR.

THE BOUNDARY DETERMINATION SHOWN HEREON WAS BASED UPON THE FOLLOWING DEEDS AND PLATS AND NO OTHERS: DEEDS 2017-521, 2015-29485, 2014-51706, 2008-19815, 96-38366, 2016-26934, 2016-20928, 2015-63975, 2015-62686 & 2015-63811; AND PLAT RECORDS 2016-543, Q-22, 11-280, 12-182, 28-298 & 23L-41.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT CONSIDERED A PART OF THIS SURVEY AND NO INVESTIGATION OF THESE CONDITIONS WAS MADE.

UTILITY LINES, STRUCTURES OR APPURTENANCES SHOWN HEREON ARE FROM A FIELD INVESTIGATION LIMITED TO THE VISIBLE SURFACE OF THE PROPERTY. OTHER UTILITY LINES, STRUCTURES AND APPURTENANCES MAY BE PRESENT ON THE PROPERTY. FOR INFORMATION REGARDING SUCH ITEMS, CONTACT THE APPROPRIATE AGENCIES.

CERTIFICATE OF SURVEYING ACCURACY

I, RODNEY D. WOODS, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION: _____

CRAFTON, TULL & ASSOCIATES, INC.
BY RODNEY D. WOODS (AGENT)

SIGNED: _____
RODNEY D. WOODS
PROFESSIONAL LAND SURVEYOR
NO. 1559
STATE OF ARKANSAS

ALL COPIES THAT DO NOT BEAR AN ORIGINAL SEAL AND SIGNATURE MAY HAVE BEEN ALTERED.
THE ABOVE DECLARATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.



LOT LINE ADJUSTMENT OF LOTS 35 & 36
OF REVISED DICKSON'S ADDITION (PLAT 2017-521)
TO THE CITY OF BENTONVILLE, AR
CREATING NEW LOTS 37, 38, & 39

PREPARED FOR:
COTTAGE HOME XNA, LLC

ARKANSAS
BENTONVILLE

VICINITY MAP

DELTA	DESCRIPTION	DATE
1	PER CITY	07/18/2018
2	PER CITY	07/30/2018

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Rogers, Arkansas 72756

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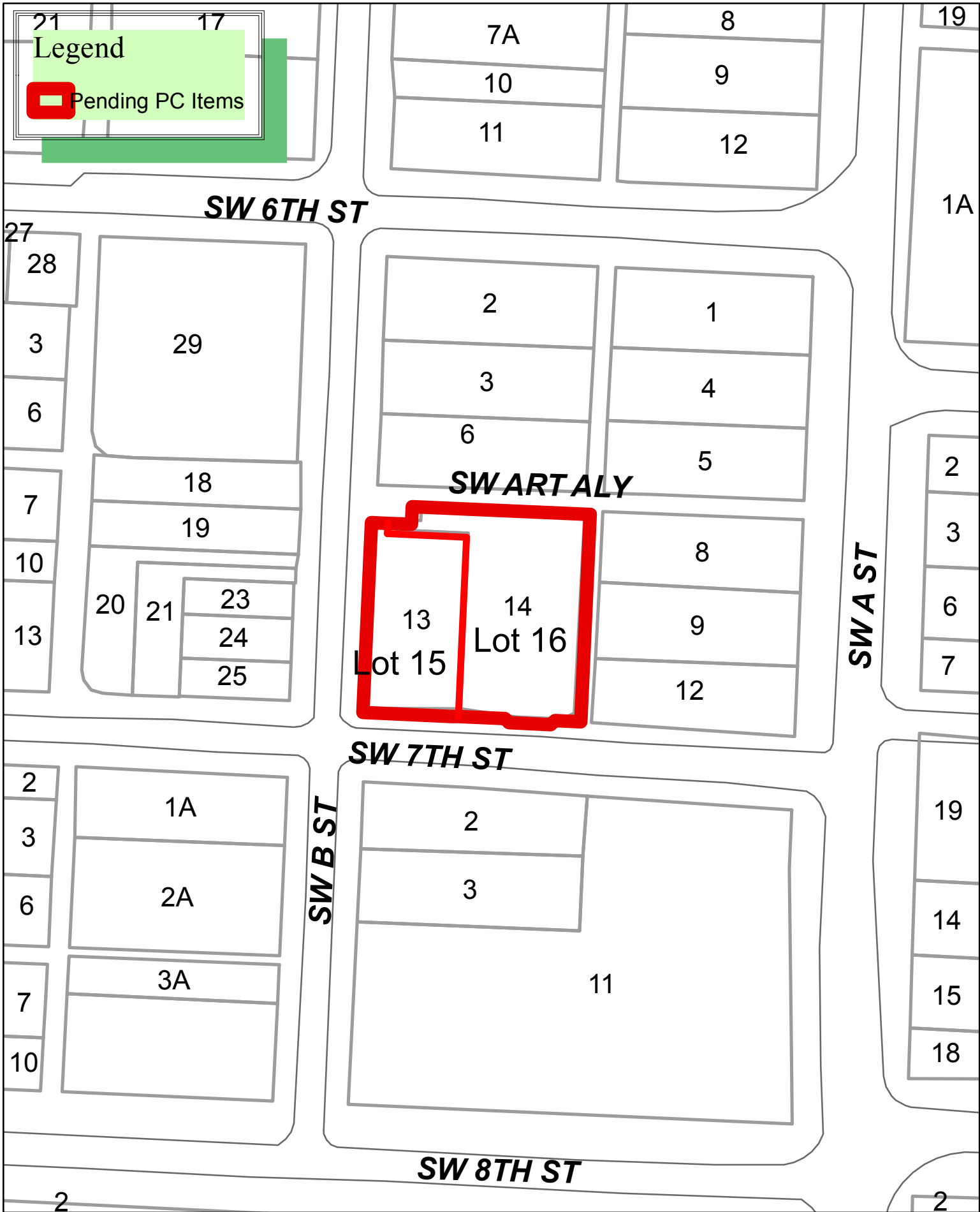
CERTIFICATE OF AUTHORIZATION:

CRAFTON, TULL & ASSOCIATES, INC.
No. 109
ARKANSAS ENGINEER

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PROJECT NO: 18107400
ISSUE DATE: 07/02/2018
CONTACT: R. WOODS
CHECKED BY:
SHEET NO.:

2 OF 2



PLA18-0024

**Lots 15 & 16, Blk 6, Dunn & Davis Addition
Southwest B Street & Southwest 7th Street**

1 inch = 83 feet

Property Line Adjustment

of Lots 13 and 14, Block 6 creating Lots 15 and 16, Block 6,
Dunn and Davis Addition to the City of Bentonville, Benton County, Arkansas.

Dunn and Davis Addition Bentonville, Arkansas

NOTES:

- Except as specifically stated or shown on this plat, the survey does not purport to reflect any of the following which may be applicable to the subject real estate: Easements, other than possible easements which were visible at the time of making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land-use regulations, or any other facts which an accurate and current title search may disclose.
- This plat represents a Property Line Line Adjustment of Lots 14 and 15, Block 6, Dunn and Davis Addition, to the City of Bentonville, as shown in Plat Book 2016, Page 229 recorded at the Circuit Clerk's Office of Benton County, AR.
- Basis of Bearings: NAD83 Arkansas Zone North established by utilizing CEI GPS references Station and checking at City of Bentonville Monument No 1. All distances shown hereon are grid.
- This survey is valid only if the drawing includes the seal and signature of the surveyor.
- This survey meets current "Arkansas Standards of Practice for Property Boundary Surveys and Plats."
- No abstract of title, nor title commitment, nor results of title searches were furnished the surveyor. There may exist other documents of record which would affect this parcel.
- This property is zoned DC (Downtown Core). Building setbacks for zone DC are as follows: See Building Setback Table on page 2 of 2.
- No attempt was made to show building setback lines graphically on the survey. The assignment, vacation, or orientation of setbacks that impact the usage rights of the property are determined by the local governing jurisdictional agency. Setback dimensions will be based on the orientation of the building(s) to be constructed as approved.
- By scaled map location and graphical plotting only. This property is located in Zone "X" which are areas of 0.2% chance flood and not located within any presently established 100-year floodplain as determined by the National Flood Insurance Program, Flood Insurance Rate Map for Benton County, Arkansas.
Map Number: 05007C0255K
Map Revised: June 05, 2012
- No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or facilities.
- Subsurface and environmental conditions were not examined nor considered a part of this survey.
- All work within right of way requires City Engineer approval.
- Owner/Developer shall coordinate with all local utilities to insure that each lot has water, sewer and electric service.
- Owner to contact New Service Coordinator with the Bentonville Electric Utility Department (BEUD) at (479) 271-3139 to discuss electric service prior to beginning any construction. Failure to contact BEUD prior to construction will result in delays obtaining electric service.
- BEUD's standard practice is to place underground equipment (e.g., transformers, secondary pedestals, junction boxes, etc.) on the lot line of a development. Any adjustments to the property line that result in said equipment not being on the lot line, will require the developer to pay for the cost of BEUD relocating the equipment to the adjusted lot line.
a) All structures must maintain minimum 20ft clearance from all electric line.
- It is the responsibility of the developer to coordinate with the New Service Coordinator at (479) 271-3139 to determine if equipment is in conflict.
- It is the responsibility of the developer to pay for any costs associated with moving of equipment. This includes but is not limited to any costs associated with loss of equipment (wire and elbows) and labor and material to move the equipment to the new lot line.
- Sidewalks shall be the responsibility of the builder/owner at time of building permit issuance.
- There may not be fences or any other structures built in any drainage easements.

Original Lot 13 and Lot 14 Survey Description

Lots 13 and 14, Block 6 of Dunn and Davis Addition to the City of Bentonville, Benton County, Arkansas, as shown in replat filed in Plat Record 2016 at pages 299 and 300.

Subject to easements, right-of-ways, and protective covenants of record, if any. Subject to all prior mineral reservations and oil and gas leases, if any.

Survey Description Lot 16

A portion of Lot 14, Block 6, Dunn and Davis Addition to the City of Bentonville, Benton County Arkansas according to Plat Book 2016, Page 299, being more particularly described by metes and bounds as follows:

COMMENCING at a found 5/8 inch rebar at the Southwest corner of said Block 6; THENCE North 02°36'52" East, a distance of 8.90 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE South 87°23'08" East, a distance of 65.68 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE South 87°37'14" East, a distance of 4.67 feet to a set 5/8 inch rebar with cap "LS 1759" for the Southwest corner of herein described Lot 16 and the POINT OF BEGINNING;

THENCE North 02°36'48" East, a distance of 122.29 feet to a set 5/8 inch rebar with cap "LS 1789"; THENCE North 87°30'19" West, a distance of 59.34 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE North 02°29'41" East, a distance of 7.00 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE South 87°30'19" East, a distance of 21.67 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE North 02°29'41" East, a distance of 12.00 feet to a found mag nail with washer "LS 1759" at the North boundary of said Lot 7; THENCE along said North boundary, South 87°30'19" East, crossing a found 1/2 inch rebar at a distance of 115.21 feet, and continuing for a total distance of 121.21 feet to a set 5/8 inch rebar with cap "LS 1789" at the centerline of aforementioned alley for the Northeast corner of said Lot 14; THENCE along said centerline, South 02°34'38" West, a distance of 141.15 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE departing said centerline, North 87°35'32" West, a distance of 17.70 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE South 47°24'28" West, a distance of 3.88 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE North 87°35'32" West, a distance of 28.51 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE North 42°35'32" West, a distance of 3.88 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE North 87°37'14" West, a distance of 31.89 feet to the POINT OF BEGINNING, containing 12,752 square feet or 0.29 acres, more or less, subject to any easements, covenants or restrictions of record or fact.

Certificate of Ownership

We, the undersigned, owners of the real estate shown and described herein, do hereby certify that we have laid off, platted, and subdivided and do hereby lay off, plat, subdivide said real estate in accordance with this plat and do hereby dedicate to the use of the public the streets, alleys, drives, easements, etc. as shown on said plat.

Owner Printed Name: _____

Signed: _____

Date of Execution: _____

Source of Title: Deed Bk. 2016, Pg. 43783

Subscribed and sworn before me, this _____ day of _____, 2018.

Notary Public _____ My Commission Expires _____

OWNER INFO

Parcel: 01-02433-000
Parcel: 01-02435-000
Village at B Street, LLC
Address: 101 SE G Court
Bentonville, AR 72712
Phone: 479-225-3997

Certificate of Approval

Pursuant to the Bentonville Subdivision Regulations and all other conditions and approval having been completed, this document is hereby accepted. This Certificate is hereby executed under the authority of said rules and regulations.

Signed: _____
Mayor

Signed: _____
City Clerk

Signed: _____
Planning Commission Chairperson

Certificate of Surveying Accuracy

I, Kevin M. Hall, hereby certify that this plat correctly represents a boundary survey made by me and boundary markers and lot corners shown hereon actually exist and their location, type and material are correctly shown and all minimum requirements of the Arkansas Minimum Standards for Land Surveyors have been met.

Date of Execution: _____

Signed: _____
Registered Land Surveyor
Kevin M. Hall - No.1789
State of Arkansas

Public Right of Way (By This Plat)

A portion of Lot 13, Block 6, Dunn and Davis Addition to the City of Bentonville, Benton County Arkansas according to Plat Book 2016, Page 299, being more particularly described by metes and bounds as follows:

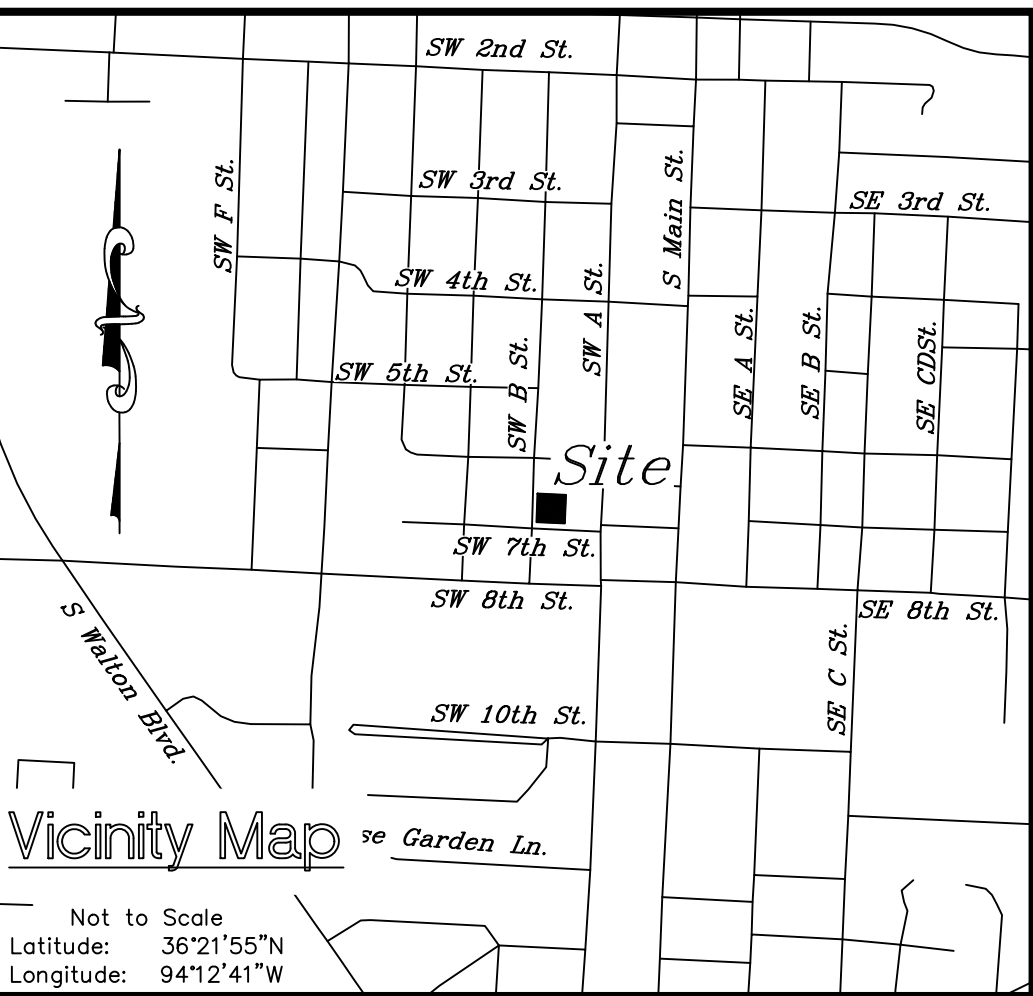
COMMENCING at a found 5/8 inch rebar at the Southwest corner of said Block 6 according to Plat Book "B", Page 117; Thence along the West boundary of said Block 6, North 02°36'52" East, a distance of 8.90 feet to a found 5/8 inch rebar with cap "LS 1759" for the POINT OF BEGINNING;

Thence continuing along said West boundary, North 02°36'52" East, a distance of 129.17 feet to a found 5/8 inch rebar with cap "LS 1759"; Thence departing said West boundary, South 87°30'19" East, a distance of 5.34 feet to a set 5/8 inch rebar with cap "LS 1759"; Thence South 02°36'48" West, a distance of 129.18 feet to a set 5/8 inch rebar with cap "LS 1759" at the North right of way of SW 7 th St; Thence along said right of way, North 87°23'08" West, a distance of 5.34 feet to the POINT OF BEGINNING, containing 690 square feet or 0.02 acres, more or less.

City of Bentonville Project #PLA18-0024

Atlas Page: 403
State Plat Code: 500-20N-30W-0-31-130-04-1789

①	07/20/18	Revised per City 07/11/18 & 07/30/18 comments & add UE
NO.	DATE	DESCRIPTION
REVISIONS		



Survey Description Lot 15 (By this Plat)

All of Lot 13 and a portion of Lot 14, Block 6, Dunn and Davis Addition to the City of Bentonville, Benton County Arkansas according to Plat Book 2016, Page 299, being more particularly described by metes and bounds as follows:

COMMENCING at a found 5/8 inch rebar at the Southwest corner of said Block 6 according to Plat Book "B", Page 117; THENCE along the West boundary of said Block 6, North 02°36'52" East, a distance of 8.90 feet to a found 5/8 inch rebar with cap "LS 1759" at the North Right-of-Way of SW 7th Street; THENCE along said Right-of-Way, South 87°23'08" East, a distance of 5.34 feet to a set 5/8 inch rebar with cap "LS 1789" for the POINT OF BEGINNING;

THENCE departing said Right-of-Way, North 02°36'48" East, a distance of 129.18 feet to a set 5/8 inch rebar with cap "LS 1759"; THENCE departing said West boundary, South 87°30'19" East, a distance of 5.65 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE South 02°29'41" West, a distance of 7.00 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE South 87°30'19" East, a distance of 59.34 feet to a set 5/8 inch rebar with cap "LS 1759"; THENCE South 02°36'48" West, a distance of 122.29 feet to a set 5/8 inch rebar with cap "LS 1789" at aforesaid North Right-of-Way of SW 7th St; THENCE along said Right-of-Way, North 87°37'14" West, a distance of 4.67 feet to a found 5/8 inch rebar with cap "LS 1759"; THENCE North 87°23'08" West, a distance of 60.33 feet to the POINT OF BEGINNING, containing 7,986 square feet or 0.18 acres, more or less, subject to any easements, covenants or restrictions of record or fact.

Sheet Index

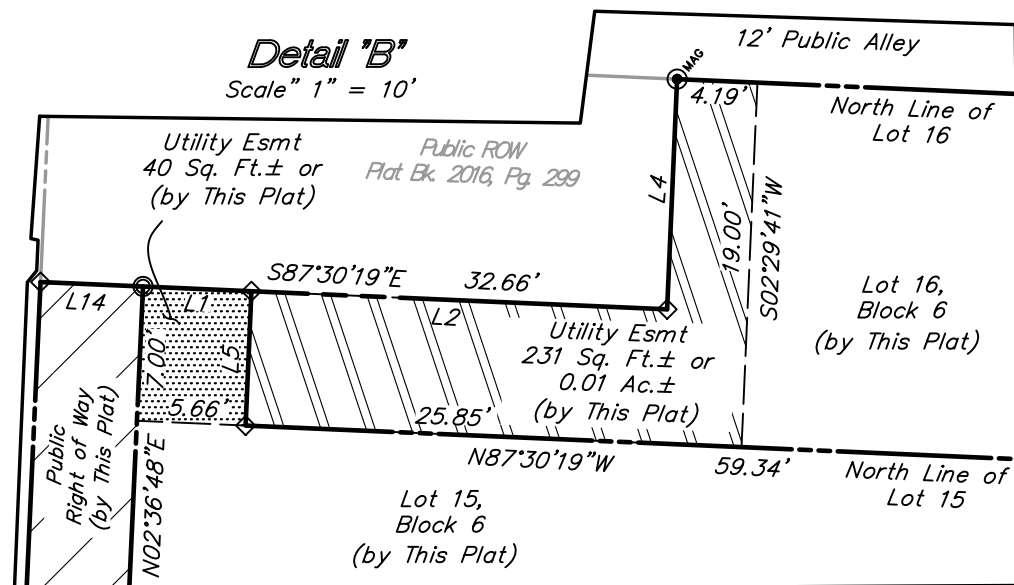
Sheet 1 Cover/Descriptions/Notes/Certifications
Sheet 2 Property Line Adjustment Plat



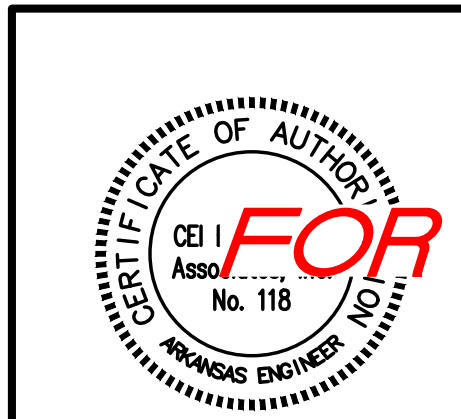
Arkansas * California * Georgia * Texas
Pennsylvania * Minnesota

Job # 23571 DRAWING: 23571PLA.dwg LAST SAVED BY: TPRIVETT

Property Line Table		
Line #	Direction	Length
L1	S87°30'19"E	5.65'
L2	S87°30'19"E	21.67'
L4	N02°29'41"E	12.00'
L5	N02°29'41"E	7.00'
L6	N87°35'32"W	17.70'
L7	S47°24'28"W	3.88'
L8	N87°35'32"W	28.51'
L9	N42°35'32"W	3.88'
L10	N87°37'14"W	31.89'
L11	S87°37'14"E	4.67'
L12	S87°30'19"E	4.92'
L13	S87°23'08"E	5.34'
L14	S87°30'19"E	5.34'



Building Setback Table	
DC - Downtown Core Zone	
Front - Nonresidential	0 Feet Max.
Front - Residential	20 Feet Max.
Side	0 Feet Min.
Rear - Adjacent to Residential	0 Feet Min.
Rear - Adjacent to Non-Residential	0 Feet Min.
Height Minimum	20 Feet
Height Maximum	80 Feet
Encroachments	
Height Clearance - 8 Feet Min.	
Setback - Adjacent to Primary Street - 2 Feet Min.	
Setback - Adjacent to Secondary Street - 2 Feet Min.	



City of Bentonville Project #PLA18-0024

Atlas Page: 403
State Plat Code: 500-20N-30W-0-31-130-04-1789

① 07/20/18	Revised per City 07/11/18 & 07/30/18 comments & add UE	
NO.	DATE	DESCRIPTION
REVISIONS		
Scale: 1" = 20'	11/28/16	KMH TLP MJH KMH
	DATE	PLS DRW FLD CHK'R

Bike Rack Group, LLC

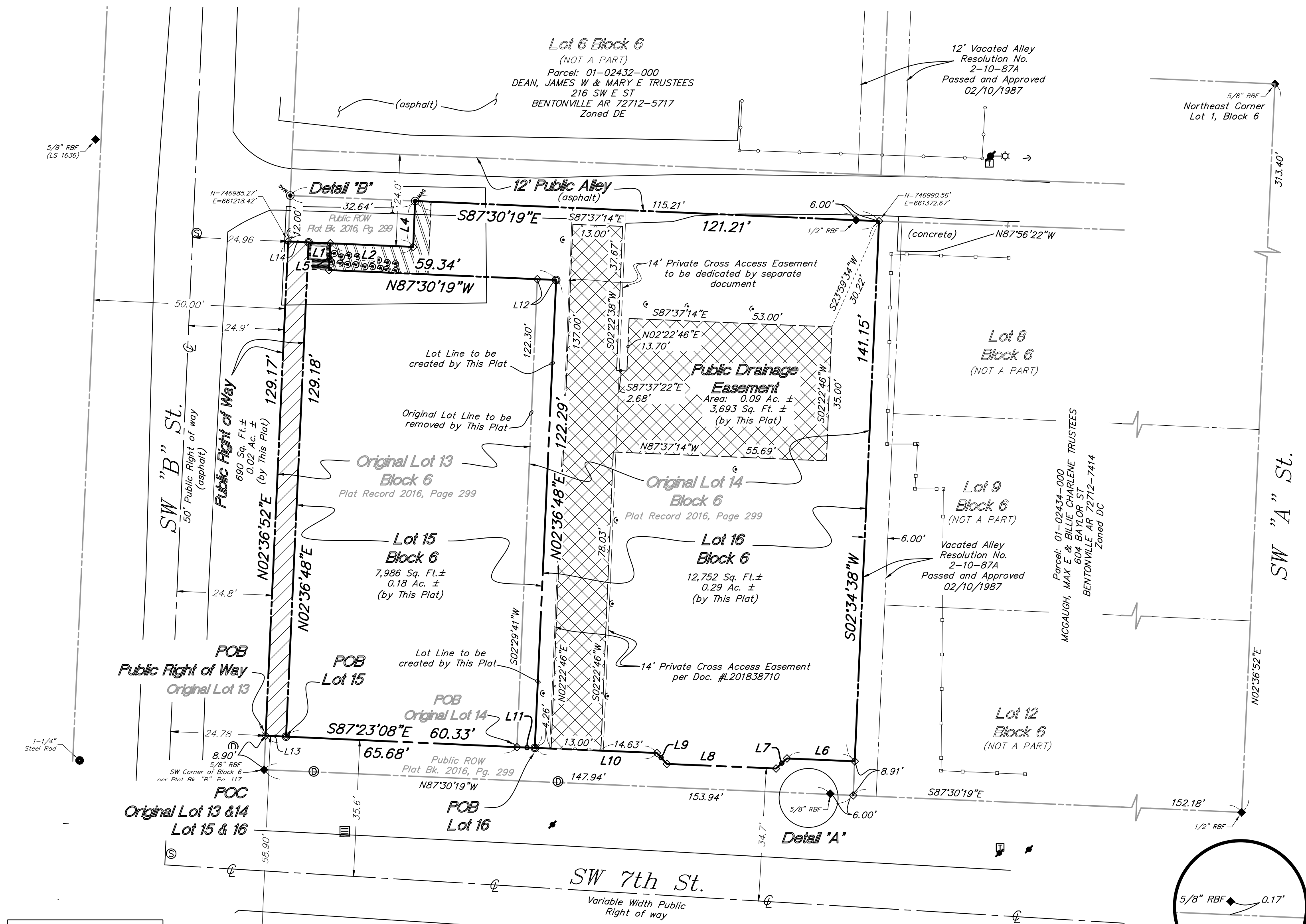
CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 SW Regency Parkway, Suite 2 Bentonville, AR 72712 (479)273-9472 (479)273-0844

Property Line Adjustment
of Lots 13 and 14, Block 6 creating Lots 15 and 16, Block 6, Dunn and Davis Addition to the City of Bentonville, Benton County, Arkansas.

DATE 8/3/18 2:21 PM
Rev-1

SHEET NO. 2 OF 2



Legend

- Property Line
- Adjacent Parcel
- Original Lot Line
- Centerline of Driving Surface
- Chainlink Fence
- Wood Privacy Fence
- Found Rebar (As Noted)
- Found 5/8 inch Rebar with cap "LS 1759"
- Set 5/8 inch Rebar with cap "LS 1789"
- Found Pipe (As Noted)
- Found Mag Nail with washer "LS 1759"
- Grate Inlet
- Storm Drainage Manhole
- Sewer Manhole
- Clean Out
- Fire Hydrant
- Water Valve
- Gas Meter
- Water Meter
- Guy Wire
- Light on Utility Pole
- Utility Pole
- Telephone Riser
- Telephone Sign
- Sign
- Utility Easement

Public Right of Way to be dedicated by This Plat

Public Drainage Easement to be dedicated by This Plat

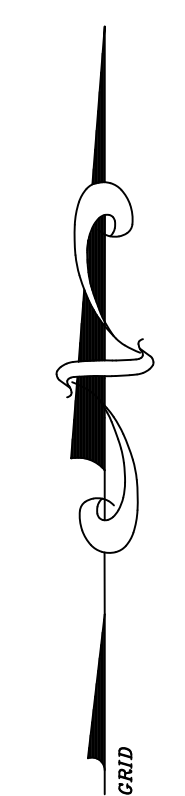
GRAPHIC SCALE

20 0 10 20

(IN FEET)

1 inch = 20 ft.

Convergence angle: -01°17'13"
Combined Scale Factor: 0.999971486
computed for found 5/8 inch rebar
at the Southwest corner of Block 6
N=746847.35'
E=661212.12'
El=1288.21'



REZONING STAFF REPORT



Inclusion Realty

502 SE C Street

PC Date: 8/7/2018

Reviewer: Jon Stanley, Planner

Project Number	RZ18-0023
Applicant / Current Owner	Inclusion Realty 222 SE 2 nd Street, Suite 100 Bentonville, AR 72712
Site Area	0.37+/- acres
Current Zoning	R-1, Single Family Residential
Requested Zoning	DN-2, Downtown Medium-Density Residential
Future Land Use Map Designation	Downtown Medium-Density Residential (D-MDR)

Property Description

This property is the location of a single-family lot in a Downtown Medium-Density Residential neighborhood where infill and redevelopment is beginning to occur.

Projected Traffic Impact

The proposed zoning designation will not adversely impact traffic in the area. The property is located within the downtown area where the existing street grid network will provide adequate options for ingress and egress.

Relationship to the General Plan

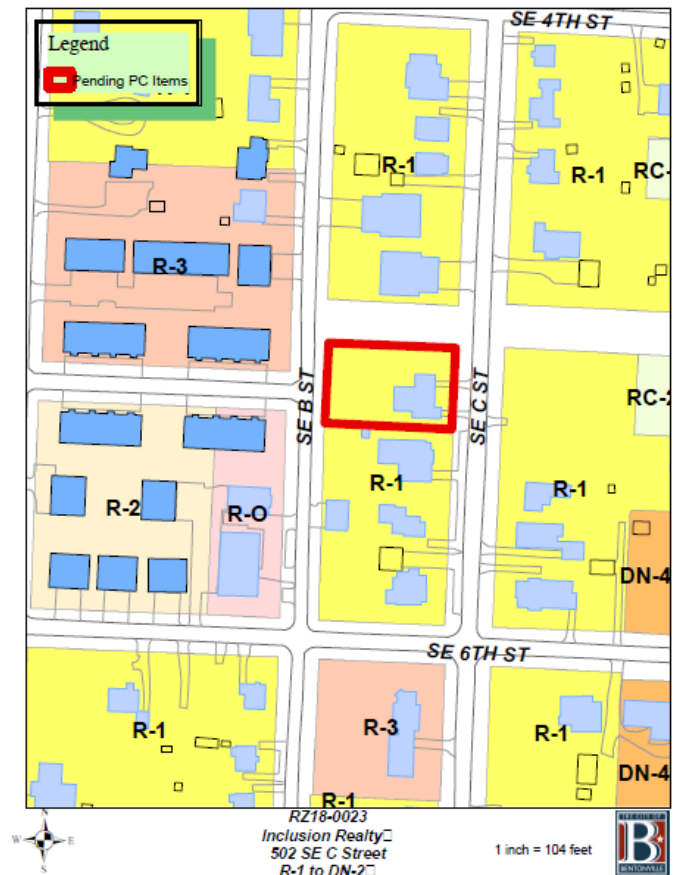
The Future Land Use Plan depicts this property as Downtown Medium-Density Residential (D-MDR). The DN-2, Downtown Medium-Density Residential zoning is a recommended zoning district for this designation.

Conclusion

The General Plan recommends the DN-2, Downtown Medium-Density Residential as an appropriate zoning district for the Downtown Medium-Density Residential (D-MDR) land use designation.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



To: Planning Staff and Planning Commission

Re: Re Zone 502 SE C

July 2, 2018

Newell Development on behalf of Inclusion Realty LLC seeks to rezone the attached property Located at 502 SE C. Lots 1 and 2 Block B, Orchard Addition, Bentonville, Benton County Arkansas from R-1 to DN2 for future single family housing development.

The requested change is in line with the future land use of downtown medium density residential. This use will not change traffic or signage. Water, sewer and electric are available.

The requested change will allow the owner of the property to develop new single family housing in a way that conforms to the City of Bentonville Future land use and other development in the Market District.

Jake Newell

Newell Development

479 225 3997

CONDITIONAL USE STAFF REPORT



Providence Parking Lot

4405 SW Laurel Avenue

PC Date: 8/7/2018

Reviewer: Tyler Overstreet, Planner

Project Number	CU18-0016
Applicant / Current Owner	Providence 2016, LLC 4058 N College Avenue, Suite 250 Fayetteville, AR 72703
Site Area	+/- .19 acres
Current Zoning	PRD, Planned Residential Development
Future Land Use Map Designation	Low Density Residential (LDR)
Requested Use	Temporary Use
Protective Covenants	N/A

Property Description

This property is located within the Providence Village Subdivision, adjacent to the subdivision's model home/sales center.

Proposed Use Description

The applicant requests that a temporary parking lot be allowed on Lot 41 of Providence Village Subdivision to serve an adjacent office/model home. Once the subdivision is complete, the parking lot shall be demolished and replaced with a single-family home. The applicant submitted Large Scale Development Plans for administrative review and approval.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

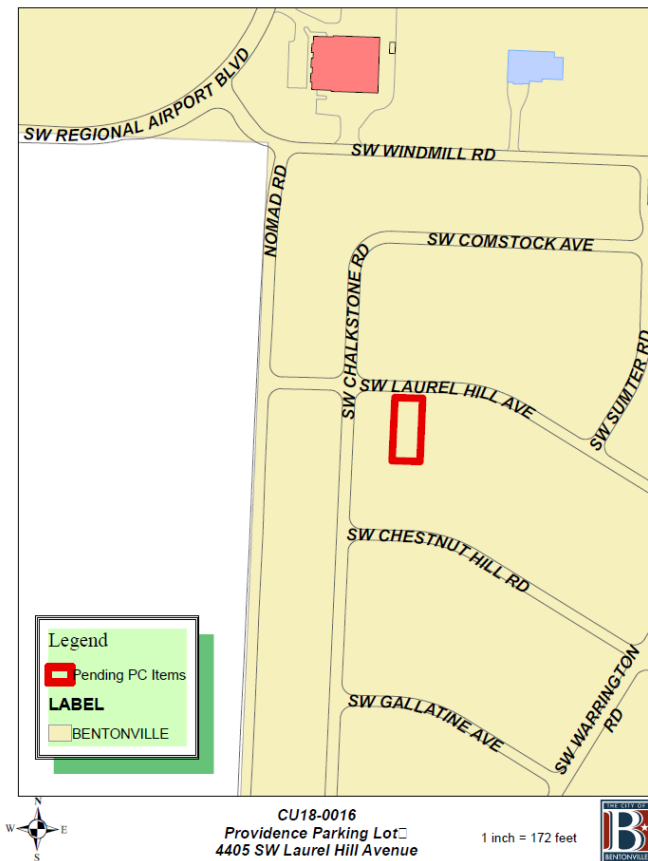
Staff has not been contacted regarding this request.

Conditions of Approval

1. All technical review comments must be addressed before a building permit will be issued.
2. This Conditional Use Permit shall be valid for one year from the time of issuance.
3. The applicant must receive Large Scale Development approval and receive all necessary permits prior to beginning construction.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



City of Bentonville Planning Commission

Application for Conditional Use – Parking Lot next to Model Home

Rausch Coleman Homes NWA, LLC (Rausch Coleman Homes) would like to apply for a conditional use permit to use Lot #41 as a parking lot with sidewalk access to our model home / sales center. The model home / sales center will have hours of operation as follows:

Monday – 10:00AM – 6:00PM

Tuesday – Saturday – 9:00AM – 6:00PM

Sunday – 1:00PM – 6:00PM

Holiday schedule to vary.

Parking Lot site plan is attached with application. No flammable or hazardous material will be present on site. Noise levels will be similar to a residential home.

Please let us know if you require any additional information!

Thank you,

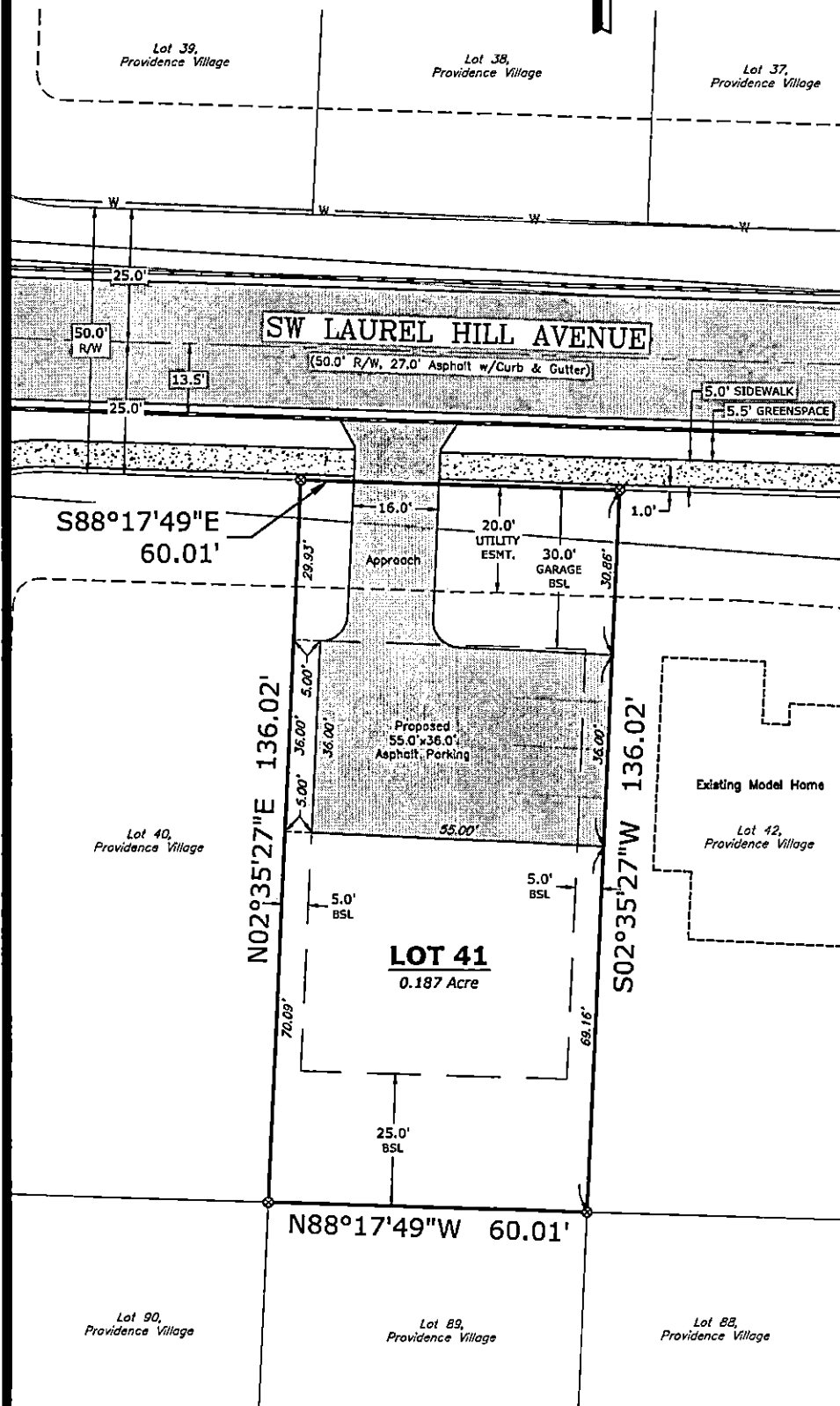
Hilary Bell – Starts Coordinator

Rausch Coleman Homes

4058 N. College Ave., Suite 250

Fayetteville, AR 72703

SQUARE FOOTAGE:
 PARKING - 1980.00± SQ. FT.
 APPROACH - 693.03± SQ. FT.
 SIDEWALK - 220.03± SQ. FT.



JAKE WORTHINGTON

Residential Plot Plans
 P.O. Box 2021
 Alma, AR 72921
 (479)-226-6400
 e-mail: zjakew@gmail.com

BENTONVILLE, BENTON COUNTY, ARKANSAS
 PARKING LAYOUT OF
 LOT 41,
 PROVIDENCE VILLAGE

FOR USE BY:
 Rausch Coleman Homes
 PROPERTY ADDRESS:
 4405 SW Laurel Hill Avenue
 Bentonville, AR 72712

DATE: 4-20-2018
 JOB NO: 17-02-01
 SCALE: 1"=20'

NOTES:
 ALL DIMENSIONS SHOWN ARE IN
 DECIMAL FEET FORMAT.
 ALL HOUSE DIMENSIONS SHOWN ARE
 TO OUTSIDE OF FRAME UNLESS
 OTHERWISE NOTED.
 CONTRACTOR TO VERIFY ALL
 DIMENSIONS PRIOR TO CONSTRUCTION.
 ALL PROPERTY, RIGHT-OF-WAY,
 SETBACK, AND EASEMENT LINES SHOWN
 ARE BASED ON SUBDIVISION PLAT
 PROVIDED BY DEVELOPER.

LEGEND
 SUBJECT PROPERTY LINE
 ADJACENT PROPERTY LINE
 ROAD CENTERLINE
 BUILDING SETBACK LINE
 EASEMENT LINE
 CALCULATED POINT
 ABBREVIATIONS
 R/W
 ESMT.
 PROP.
 ARC L
 ARC R
 CHORD B
 CHORD R
 CHORD DISTANCE

REVISIONS DATE
 20 0 20
 Scale in Feet

CONDITIONAL USE STAFF REPORT



Hershey Parking Lot

SE Plaza Avenue

PC Date: 8/7/2018

Reviewer: Tyler Overstreet, Planner

Project Number	CU18-0017
Applicant / Current Owner	Dynamic Development, Inc. 803 SW Plaza Avenue Suite 5 Bentonville, AR 72712
Site Area	+/- 2.63 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Requested Use	Temporary Use
Protective Covenants	N/A

Property Description

This property is located on SE Plaza Avenue, directly east of the Hershey's Office Facility. There is an existing gravel parking and staging area on site.

Proposed Use Description

The applicant requests that an existing gravel parking and staging area be allowed to remain on Lot 45 of Fountain Plaza for a period of 6 months. The applicant plans to develop on Lot 45 and will use the gravel area as a staging area during construction. At time of Final Certificate of Occupancy, all remaining construction material and equipment will be removed from the parking area.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

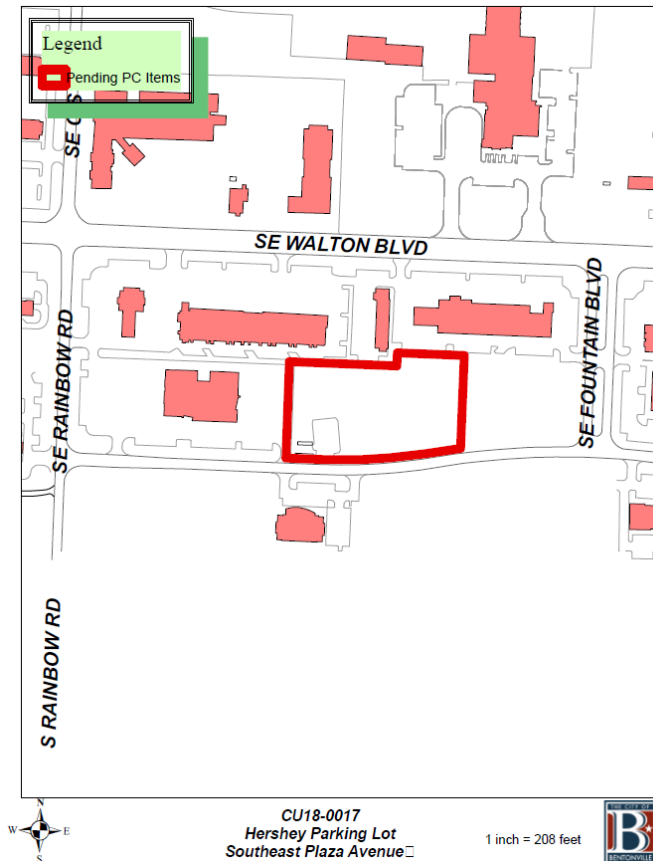
Staff has not been contacted regarding this request.

Conditions of Approval

1. All technical review comments must be addressed before a building permit will be issued.
2. This Conditional Use Permit shall be valid for six months from the time of issuance. When the Conditional Use expires, the gravel shall be cleared and the area seeded.
3. The applicant shall submit Large Scale Development Plans for review and approval and apply for a building permit for any future development on site.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map





CEI Engineering Associates, Inc.

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2
Bentonville, AR 72712
(479) 273-9472 Fax (479) 273-0844
www.ceieng.com

June 2, 2018

City of Bentonville
Planning Dept.
305 SW A St.
Bentonville, AR 72712

RE: Conditional Use Permit Request

Dear Planning Commissioners:

Please accept this letter to accompany a formal application by Dynamic Development, Inc., owner of Lot 45 in Fountain Plaza, for a conditional use permit to allow an existing gravel parking / staging area to remain for a period of 6 months. This gravel parking area was used in conjunction with the development of the adjacent Hershey office building on Lot 44 of the subdivision. Owner has plans for development of Lot 45 and requests consideration for the gravel parking lot to remain so that it can be reused as the staging area for that new development.

The approximate limits of the parking area requested are included on an aerial image accompanying this application. The total area requested for the temporary parking lot is approximately 2/3 of an acre. Photographs of the existing parking area are also included in this submittal. All property on Lot 44 has been stabilized with sod and site final inspection has been performed.

The developer intends to use the gravel parking area for the duration of the construction of the Hershey project interiors. At the time of final Certificate of Occupancy for the building, all remaining construction material and equipment will be removed from the parking area.

Thank you for consideration of this matter. If you need anything further, please do not hesitate to contact me.

Respectfully Submitted,

Nate Bachelor
CEI Engineering

Solutions for Land and Life

CALIFORNIA ■ TEXAS ■ ARKANSAS ■ MINNESOTA ■ PENNSYLVANIA

CONDITIONAL USE STAFF REPORT



Ashby Street Outdoor

1005 SW 14th Street

PC Date: 8/7/2018

Reviewer: Tyler Overstreet, Planner

Project Number	DB18-0001
Applicant / Current Owner	John Shores Trust 1109 SW 14 th Street Bentonville, AR 72712
Site Area	N/A
Current Zoning	A-1, Agricultural
Future Land Use Map Designation	Low Density Residential (LDR)
Requested Use	Digital Billboard
Protective Covenants	N/A

Property Description

This property is located at 1005 SW 14th street, west of the intersection of SW 14th Street and SW I Street. The site is currently zoned A-1, Agricultural.

Proposed Use Description

Ashby Street proposes to trade in square footage from the removal of approximately 5,560 square feet of sign area (16 static faces) for the addition of approximately 1,967 square feet of sign area (7 digital faces + 1 sign area increase). This request is for the conversion of an 8' by 16' billboard located at SW 14th Street and SW I Street to a digital face.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

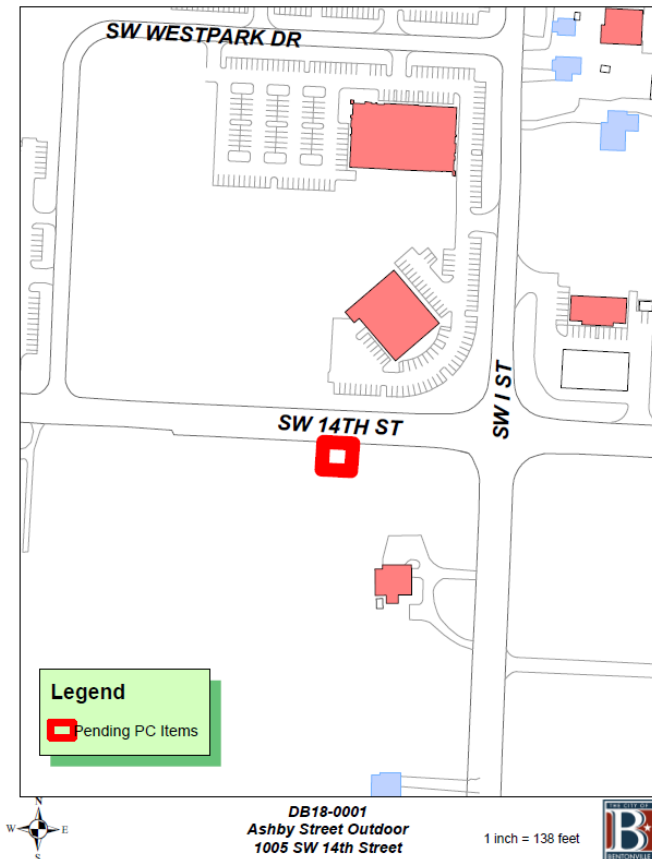
Staff has not been contacted regarding this request.

Conditions of Approval

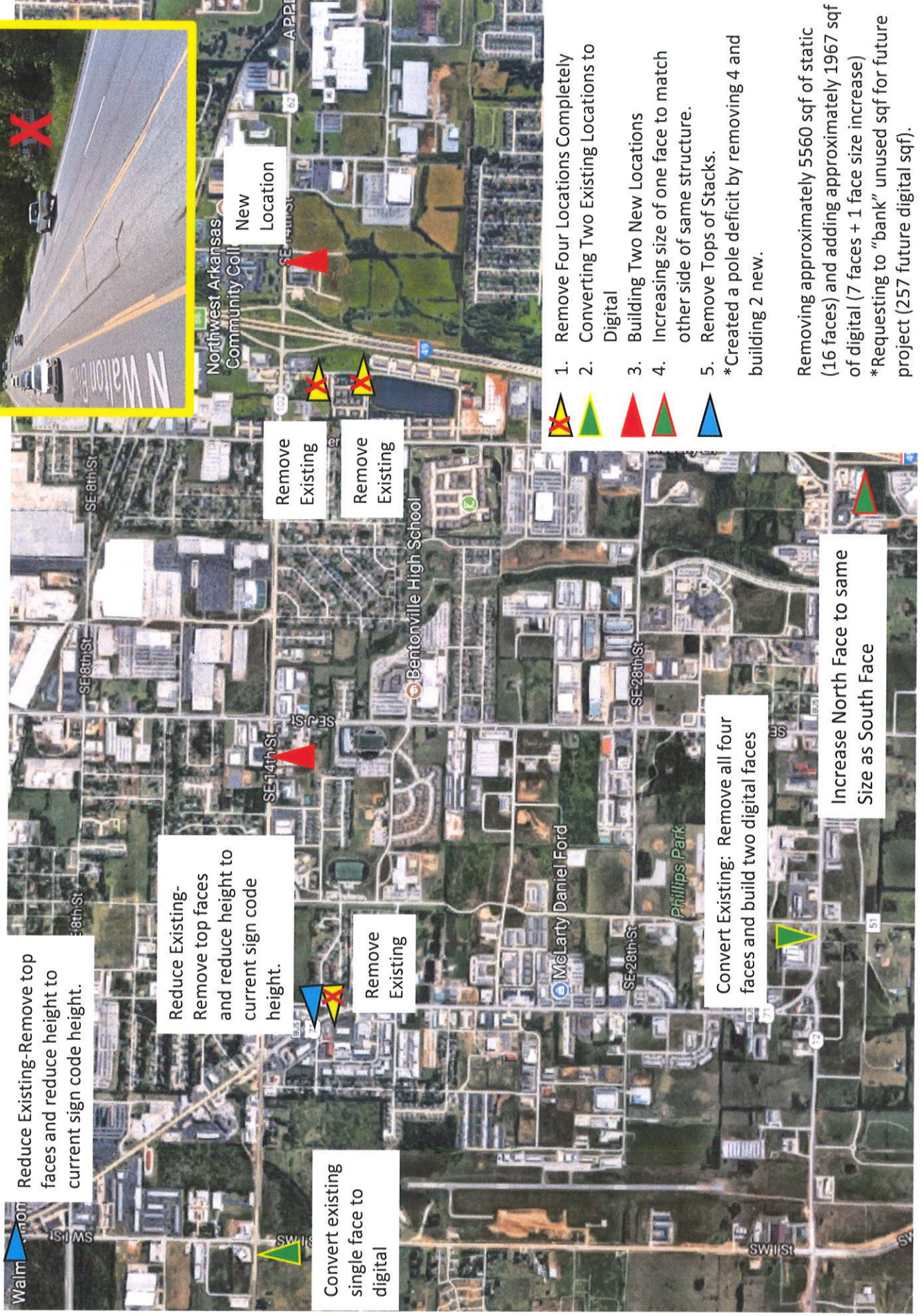
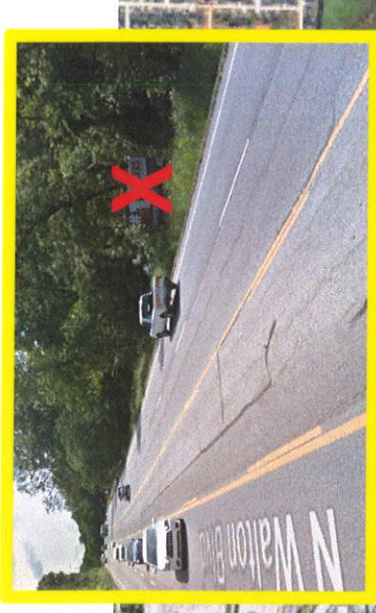
1. All technical review comments must be addressed before a sign permit will be issued.
2. This Conditional Use Permit shall be valid in perpetuity after issuance.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Updated Plan





SW 14TH ST

SW 1ST

Existing Billboard
Location- Proposed
Conversion Site
8 x 16

1400

U 1400

CONDITIONAL USE STAFF REPORT



Ashby Street Outdoor

1080 SE 14th Street

PC Date: 8/7/2018

Reviewer: Tyler Overstreet, Planner

Project Number	DB18-0004
Applicant / Current Owner	Lykins Leasing, LLC PO Box 1095 Gravette, AR 72736
Site Area	N/A
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Requested Use	Digital Billboard
Protective Covenants	N/A

Property Description

This property is located at 1080 SE 14th Street, west of the intersection of SE 14th Street and SE J Street. The site is currently zoned C-2, General Commercial.

Proposed Use Description

Ashby Street proposes to trade in square footage from the removal of approximately 5,560 square feet of sign area (16 static faces) for the addition of approximately 1,967 square feet of sign area (7 digital faces + 1 sign area increase).

This request is for the construction of a two-sided 9' 5.375" by 29' 4.75" digital face billboard (559 square feet).

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

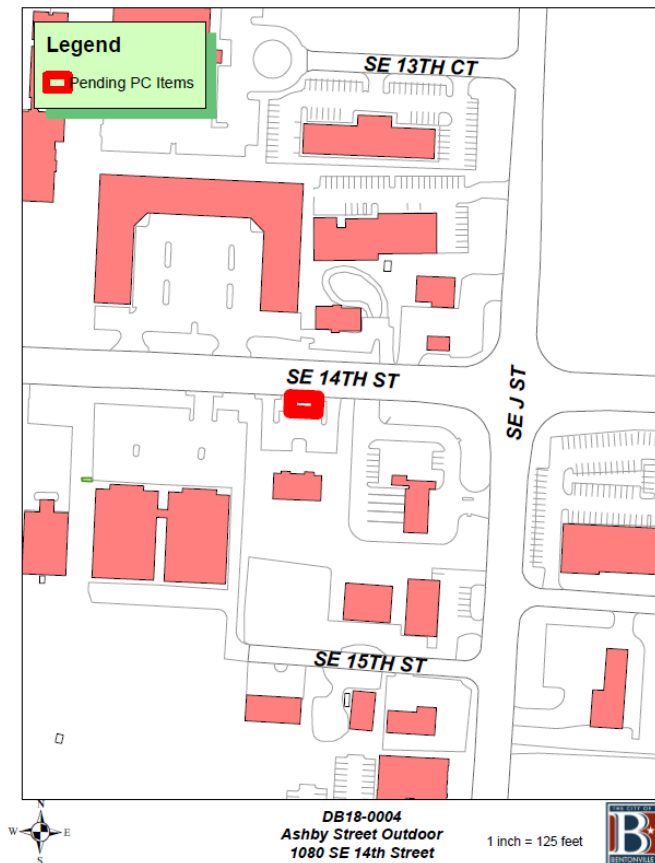
Staff has not been contacted regarding this request.

Conditions of Approval

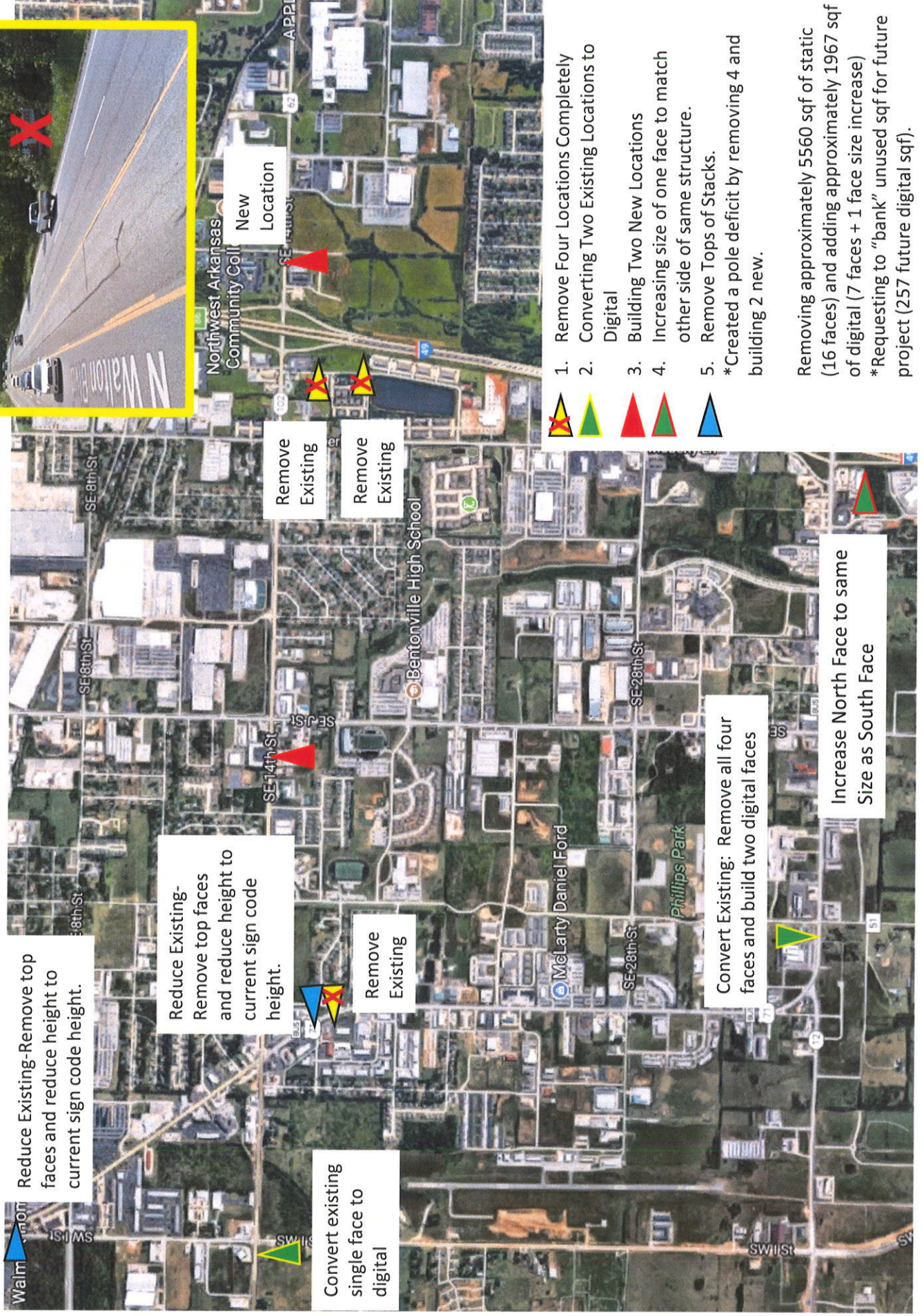
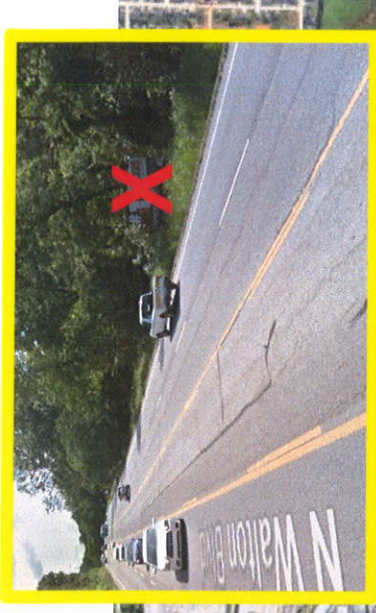
1. All technical review comments must be addressed before a sign permit will be issued.
2. This Conditional Use Permit shall be valid in perpetuity after issuance.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Updated Plan





Proposed Site
1080 SE 14th St



WAIVER REQUEST STAFF REPORT



5th and Dickson

5th and Dickson

PC Date: 8/7/2018

Reviewer: Tyler Overstreet, Planner

Project Number	N/A
Applicant / Current Owner	Elegconz Construction, LLC 1803 SW Regional Airport Boulevard, Suite 15 Bentonville, AR 72712
Site Area	+/- .5 acres
Current Zoning	DN-2, Downtown Medium-Density Residential
Future Land Use Map Designation	Downtown Medium-Density Residential (D-MDR)
Waiver Request	Sidewalk Waiver Sub. Code. Sec. 1100.6

Property Description

This property is located at 5th and Dickson. It is the site of the previously approved 5th and Dickson Large Scale Development Project (LSD18-0032).

Waiver Request

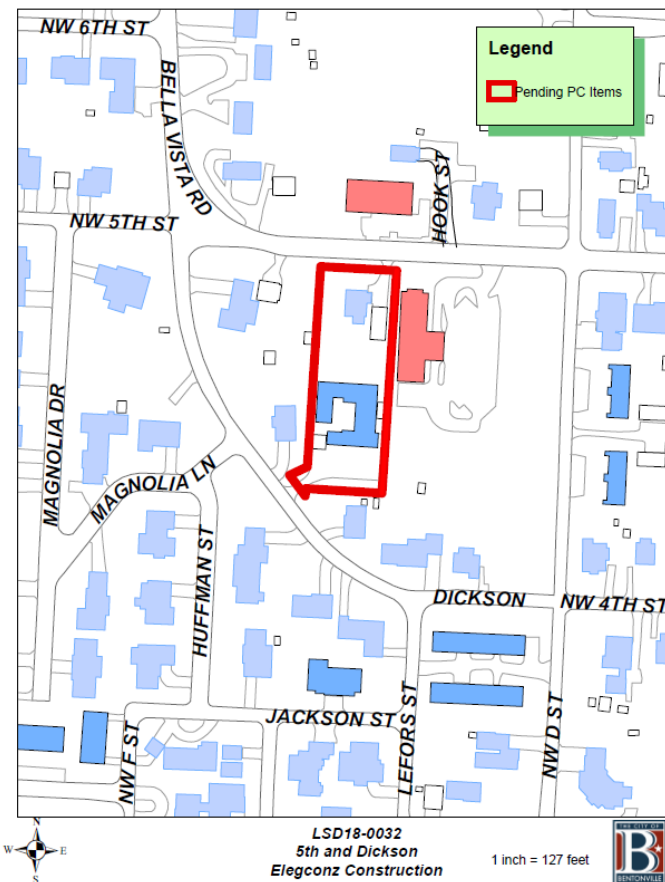
The applicant is requesting a waiver from Article 1100, Section 1100.6, Sidewalks, of the Subdivision Code which requires all new construction projects to construct a sidewalk that meets the requirements of the Master Street Plan. Specifically, the applicant requests the waiver for the southern property line.

Analysis

If the applicant constructed the required sidewalk, it would not connect to any existing adjacent sidewalk network. In addition, there is an existing large tree on the southern property line that would be jeopardized if a sidewalk were constructed.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map





SAND CREEK
Engineering and Landscape Architecture, Inc.

July 31st, 2018

Sand Creek Project: 17042

City of Bentonville Project: LS18-0032 5th N Dickson

Jon Stanley, Planner
Community Development
305 SW A Street
Bentonville, AR 72712

SUBJECT: Waiver Request for Sidewalk in ROW of Dickson St.

Mr. Stanley,

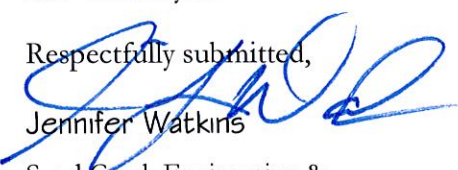
On behalf of the developers of 5th N Dickson Townhomes, I am requesting a waiver to Article 1100, Design Standards, Section 1100.6.D, Sidewalks, Requirement, of the subdivision code, to forego building a sidewalk in the right-of-way of Dickson Street.

The property being developed is bordered by NW 5th Street to the North and Dickson Street to the South. While right-of-way has been dedicated along both streets, we are proposing to only build sidewalk along NW 5th Street. Only one lot along Dickson Street currently has any sidewalk, it being the furthest lot from the property being developed. The chances of the properties surrounding ours being redeveloped and adding sidewalks are low.

There currently stands a White Oak Tree (50"+ in diameter) that is directly where the sidewalk would be located. The neighbor has requested the tree not be removed, and the developers would also prefer to keep such a mature tree. There is not enough room on the property to build the sidewalk around the tree due to the odd shape of the property along Dickson Street. The developers will agree to donate additional right-of-way to the City with the Final Plat and to build the sidewalk area across the driveway at the proper ADA cross slope in case a any future development occurs adjoining our property.

Please consider this a formal request to allow us to forego sidewalks along Dickson Street, with the exception of across the driveway. If you have any questions or need any more information, do not hesitate to get in touch with me. Thank you.

Respectfully submitted,


Jennifer Watkins

Sand Creek Engineering &
Landscape Architecture
[Email-jwatkins@sandcreek.us](mailto:jwatkins@sandcreek.us)
Phone-479-464-9282

LARGE SCALE DEVELOPMENT STAFF REPORT



Home2 Suites

SE Griffin Drive

PC Date: 8/7/2018

Reviewer: Tyler Overstreet, Planner

Project Number	LSD18-0039
Applicant / Current Owner	Bentonville Lodging Group, LLC PO Box 7479 Springdale, AR 72756
Site Area	+/- 2.6 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Hotel

Property Description

This property is located between SE Griffin Drive and SE Eagle Way, south of SE 14th Street. The approximately 2.6 acre tract is currently zoned C-2 General Commercial.

Project Details

Project consists of the construction of a 119-room hotel facility. The project provides 131 parking spaces. The primary material depicted for the exterior elevations is hardie board. The plans show adequate landscaping, with the exception of a perimeter landscape waiver.

Projected Traffic Impact

The proposed large scale development has the potential to impact traffic in the area. However, the existing street network should accommodate any increase in traffic caused by the development.

Waivers

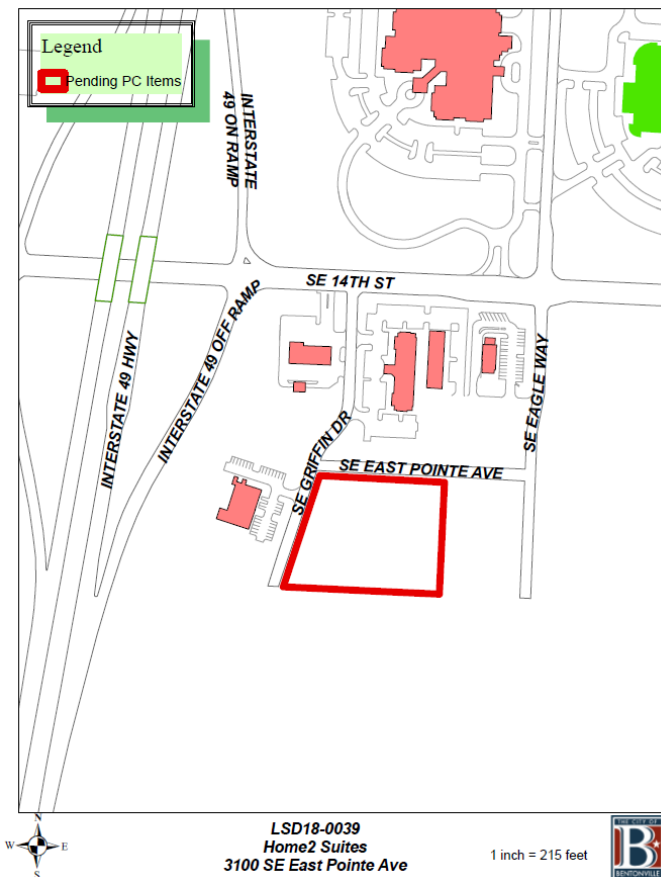
- One waiver requested:
 - A waiver from Article 1400, Section 1400.7, Perimeter Landscaping and Screening, of the Subdivision Code. The applicant requests that they be exempt from the perimeter landscaping requirements on their eastern property line in order to provide a shared access drive. The required tree count shall be provided elsewhere on the site.

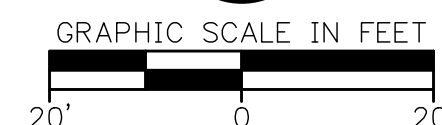
Conclusion

In conclusion, this large scale development does not meet the minimum requirements of the subdivision regulations, due to the waiver requests.

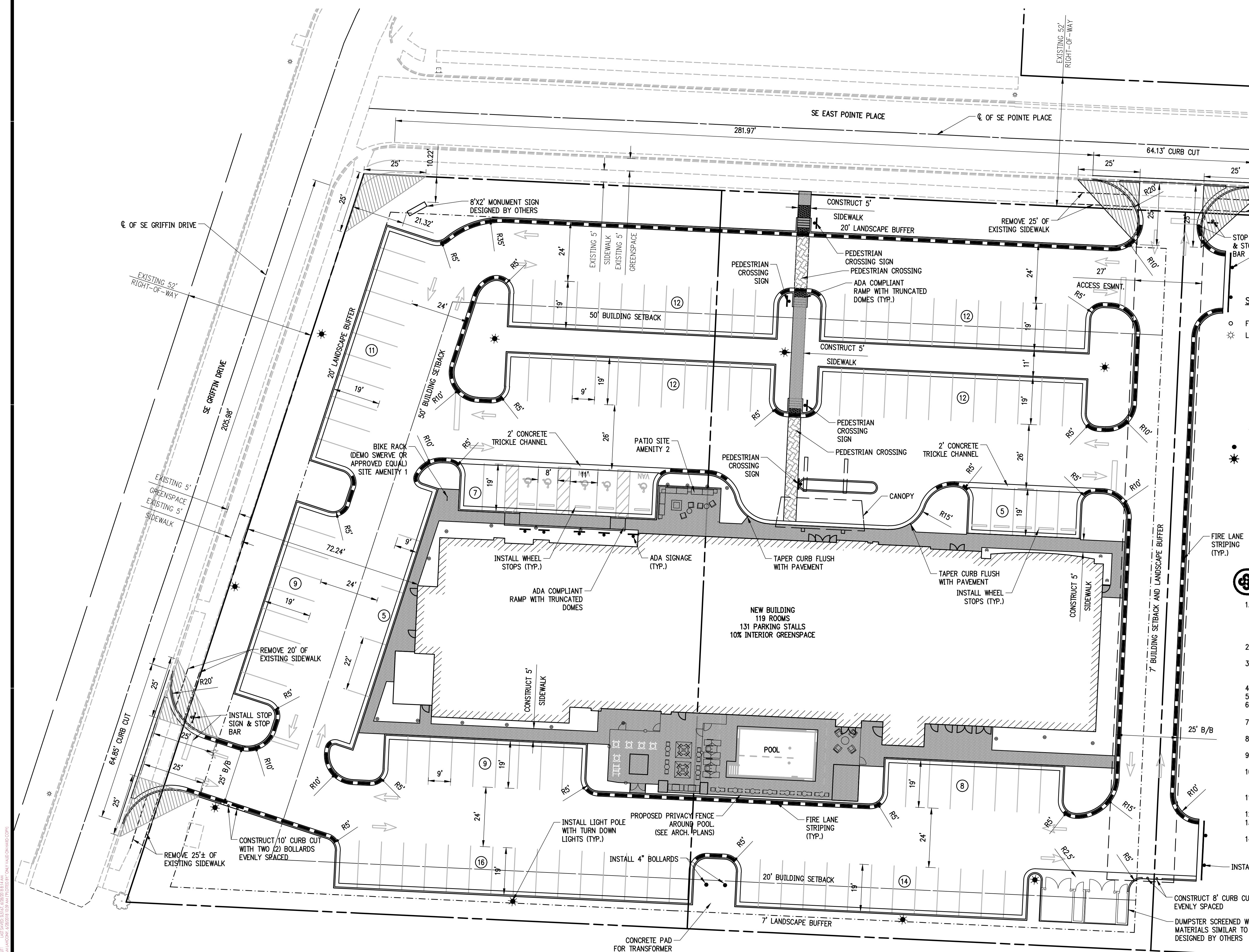
<http://geo.bentonvillear.com/mgweb/PZpending/>

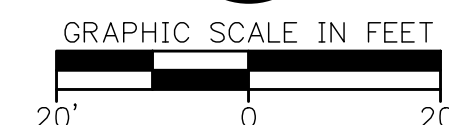
Location Map



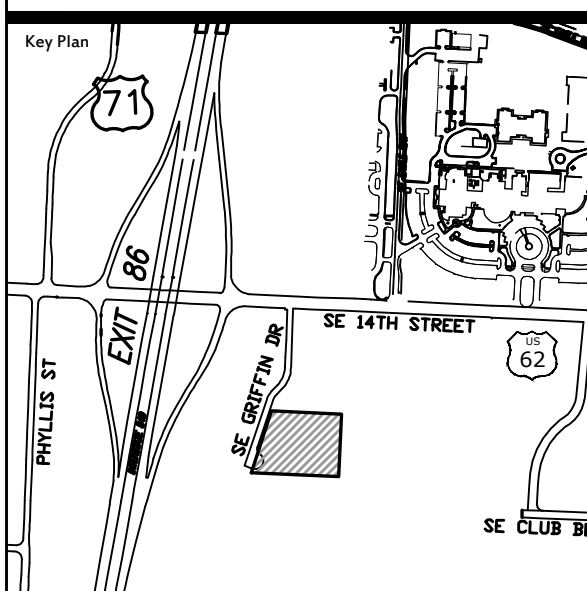
CITY OF BENTONVILLE PROJECT # LSD18-0039
SITE PLAN

1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS ONLY.
2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY/STATE/FEDERAL REGULATIONS AND CODES AND OSHA STANDARDS.
3. CONTRACTOR SHALL REFUSE TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
4. ALL CURB DIMENSIONS AND RADII ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
5. ALL PAVEMENT MARKINGS DIMENSIONS FACE OF CURB UNLESS OTHERWISE NOTED.
6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
7. ALL CURB/SIDEWALK/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL RESTRICTIVE CODES, WHICHEVER IS MORE RESTRICTIVE.
8. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION START.
9. CONTRACTOR SHALL MATCH NEW CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
10. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
11. ANY NEW LIGHTING OR ATTACHED LIGHTING TO THE STRUCTURE MUST BE A CUT-OFF OR B-U-G LIGHTING FIXTURE.
12. ALL PROPOSED FENCING WILL REQUIRE A SEPARATE PERMIT.
13. ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) WILL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS BUILDING.
14. ALL PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT.





HOME 2 SUITES
BENTONVILLE, ARKANSAS

[illegible]

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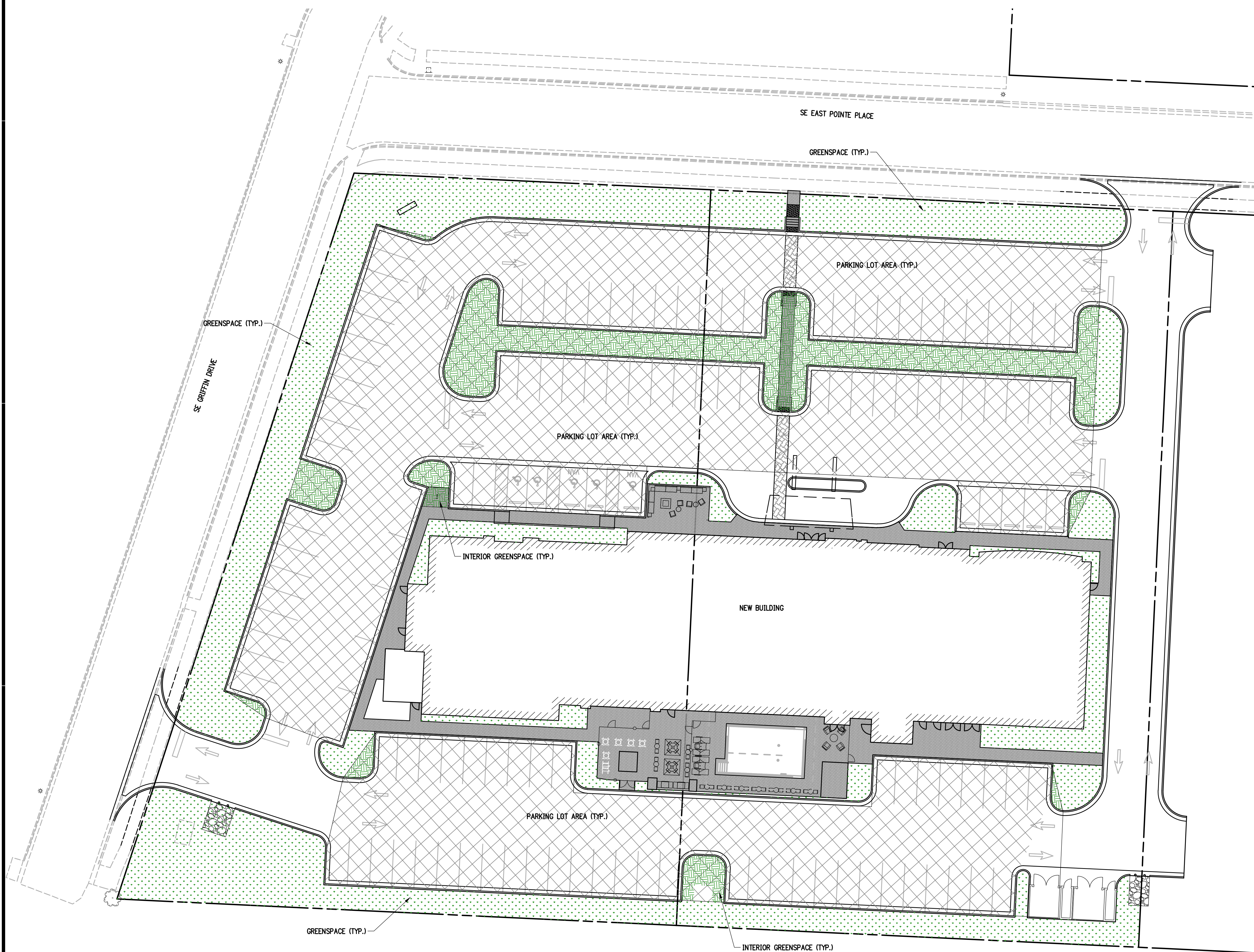
PROJECT NO: 18104800
ISSUE DATE: 04/27/18
CONTACT: D. ELLIS
CHECKED BY:

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PLANS

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CITY OF BENTONVILLE PROJECT # LSD18-0039
INTERIOR LANDSCAPE PLAN

C-108



LEGEND (EXISTING)

LINEWORK

CURB

RIGHT OF WAY

 LEGEND (PROPOSED)

LINEWORK

CURR

RIGHT OF WAY

PROPERTY LINE

OVERALL SITE AREA CALCULATIONS

TOTAL SITE AREA:	111,154 SQ.FT.
TOTAL IMPERVIOUS AREA:	67,549 SQ.FT. (60.8%)
TOTAL PERVIOUS AREA:	24,212 SQ.FT. (21.8%)
TOTAL BUILDING AREA:	19,393 SQ.FT. (17.4%)
(FIRST FLOOR)	

PARKING AREA INTERIOR GREEN SPACE CALCULATIONS

TOTAL PARKING LOT AREA:	53,891 SQ.FT.
TOTAL INTERIOR GREEN SPACE REQUIRED:	10%
TOTAL INTERIOR GREEN SPACE PROVIDED:	5,181 SQ.FT. (10%)



PARKING AREA INTERIOR GREEN SPACE



PARKING LOT AREA



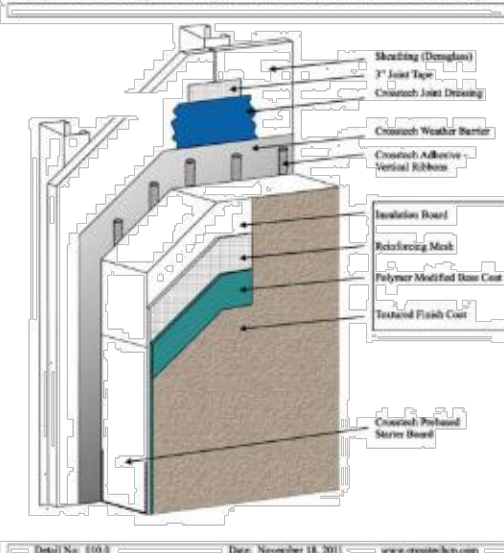
GREEN SPACE

RAWING: G:\18104800_HOME\INTERIOR\STRUCTURE\CIVIL\DWG\INTERIOR LANDSCAPE PLAN.DWG
 YOUT: INTERIOR LANDSCAPE PLAN LAST SAVED: 5/5/27 4:10 PM
 CITED BY: SAA LAHO DNY: 4/28/2018 10:42 AM (EJECTED BY: "ONLY VALID ON HARD COPY")

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Crosstech

System Components - Adhesively Attached Drainage



THIRD PARTY INSPECTIONS OF EIFS INSTALLATION ARE REQUIRED

3 EIFS
1/2" = 1'-0"

2 East
1/8" = 1'-0"

ELEVATION AREAS

	HOTEL	C.C.
SOUTH	WINDOW AREA TOTAL AREA	1921.64 SF 12,224.88 SF
EAST	WINDOW AREA TOTAL AREA	96.75 SF 4,467.82 SF
WEST	WINDOW AREA TOTAL AREA	81.22 SF 3,135.91 SF
NORTH	WINDOW AREA TOTAL AREA	1,550.05 SF 12,269 SF
TOTAL	WINDOW AREA TOTAL AREA	3,649.66 SF 32,097.61 SF

ELEVATION AREA
1/4" = 1'-0"

FINISH KEY:

EX 1	ENVELOPE - ACCENT METAL - REFER TO STYLE GUIDE
EX 2	ENVELOPE - CORE DIRECT FINISH - REFER TO STYLE GUIDE
EX 3	ENVELOPE - CORE HARDE REVEAL PANELS COLORPLUS ARCTIC WHITE
EX 4A	ENVELOPE - LINK & BEACON - KEEP HARDE REVEAL PANELS COLORPLUS EVENING BLUE
EX 5	ENVELOPE - ACCENT BAND HARDE REVEAL PANELS COLORPLUS PEARL GRAY
EX 6	ENVELOPE - CORE SUPPORT HARDE REVEAL PANELS COLORPLUS COUNTRY LANE RED
EX 7	ENVELOPE - SUPPORT HARDE REVEAL PANELS COLORPLUS MONTEREY TAUPÉ
EX 8	ENVELOPE - WRAP HARDE REVEAL PANELS COLORPLUS TIMBER BARK
EX 9A	BEACON - REVEAL & BAND BM388 FLOWER POWER
EX 9C	BEACON - GLASS CROWN TRANSLUCENT WHITE POLYCARBONATE, INTERNALLY LIT, IMPACT RESISTANT
EX 10	ENVELOPE - CANOPY SVA005 "PURE WHITE"

NOTE: MINIMUM CODE REQUIRED 75% MASONRY FINISH PROJECT TO BE 90% OR MORE MASONRY EXTERIOR.

THE ROOF SHALL SUPPORT RAINFALL FROM A 100 YEAR HOURLY AND 100 YEAR 5 MINUTE DURATION RAINFALL BY PLACING 10"x10" MINIMUM SIZE ROOF SUPPORTS AT 12'-0" MAX SPACING DRAWING 4" OR LESS ABOVE THE LOWEST LEVEL OF THE ROOF FOR A MINIMUM RAINFALL LOAD OF 20 PSF

ALL GROUND MOUNTED EQUIPMENT MUST BE SCREENED FROM VIEW

KEY NOTES

- APPROXIMATE LINE OF GRADE
- ABOVE GRADE EXPOSED FOUNDATION WALL
- MASONRY OR TILE - BASE
- MASONRY OR TILE - FIELD - ASHLAR PATTERN
- CONCRETE FOOTING AND FOUNDATION WALLS AS REQUIRED PER LOCAL FROST DEPTHS
- COLLUS
- NOT USED
- ALUMINUM FRAMED WINDOW THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LAMINATE AT PTAC UNITS
- ALUMINUM STOREFRONT SYSTEM WITH THERMAL BROKEN FRAME AND INSULATED GLAZING
- NOT USED
- EXHAUST, REFER TO MECHANICAL DRAWINGS
- ALUMINUM SLIDING ENTRY DOOR WITH INSULATED GLAZING
- BEACON - BEAM - REFER TO STYLE GUIDE
- PAINTED TUBE STEEL CANOPY WITH STAINED WOOD TRUSS
- TONGUE AND GROOVE WOOD PLANK CEILING, STAINED
- ENVELOPE - CORE FINISH - REFER TO STYLE GUIDE
- ENVELOPE - WRAP FINISH - REFER TO STYLE GUIDE
- FINISH CONTROL JOINT, REFER TO MANUFACTURERS REQUIREMENTS
- OVERFLOW/SUPPER-BASIS OF DESIGN SCOMFG INC. - MODEL # SC1014R - REFER ALSO TO DETAIL 61/A6.12
- TAMPER RESISTANT, RECESSED HOSE BIB - MOUNT TOP AT 1'-2" AFF.
- ENVELOPE - ACCENT FINISH - REFER TO STYLE GUIDE
- ENVELOPE - ACCENT FINISH - REFER TO STYLE GUIDE
- SIGNAGE - REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
- KNVR FINISH ALUMINUM COORING SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- KNVR FINISH ALUMINUM GRAVEL STOP - COLOR TO MATCH ADJACENT MATERIAL
- REVEAL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS. VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED
- BEACON - REFER TO SECTIONS FOR MORE INFORMATION
- PAINTED ALUMINUM OUTSIDE CORNER BY FRY REGLET, COLOR TO MATCH ADJACENT ENVELOPE - CORE FINISH
- EXHAUST VENT - COLOR TO MATCH ADJACENT MATERIAL
- LIGHT FIXTURE - REFER TO CEILING PLAN
- EXPANSION JOINT @ FLOOR LINE WITH BACKER ROD AND SEALANT
- ALUMINUM CLIMER - COLOR TO MATCH ADJACENT MATERIAL MATCHING ADJACENT WALL
- BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHT DIMENSIONS ARE CRITICAL TO MAINTAIN AS MINIMUM
- CONCRETE PAD - REFER TO AREA DEVELOPMENT PLAN
- ACCESS OPENING INTO BEACON
- ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL
- ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR - TOP OF READER AT 48" MAX HEIGHT
- POOL PERIMETER FENCE AS REQUIRED BY CODE WITH 3'-0" GATE
- PREFAB CORING

THESE DRAWINGS ARE PRELIMINARY IN NATURE AND INTENDED FOR REVIEW AND PERMITTING. DRAWINGS CANNOT BE USED FOR CONSTRUCTION WITHOUT ARCHITECTS AND ENGINEERS SIGNATURE AND THERE DATE OF ISSUE FOR CONSTRUCTION.

JOHN SANFORD ARCHITECTS

9726 E. 42nd SUITE 153
TULSA, OK 74146
918.640.6800

JHNSANFORD@AOL.COM

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05-24-2018

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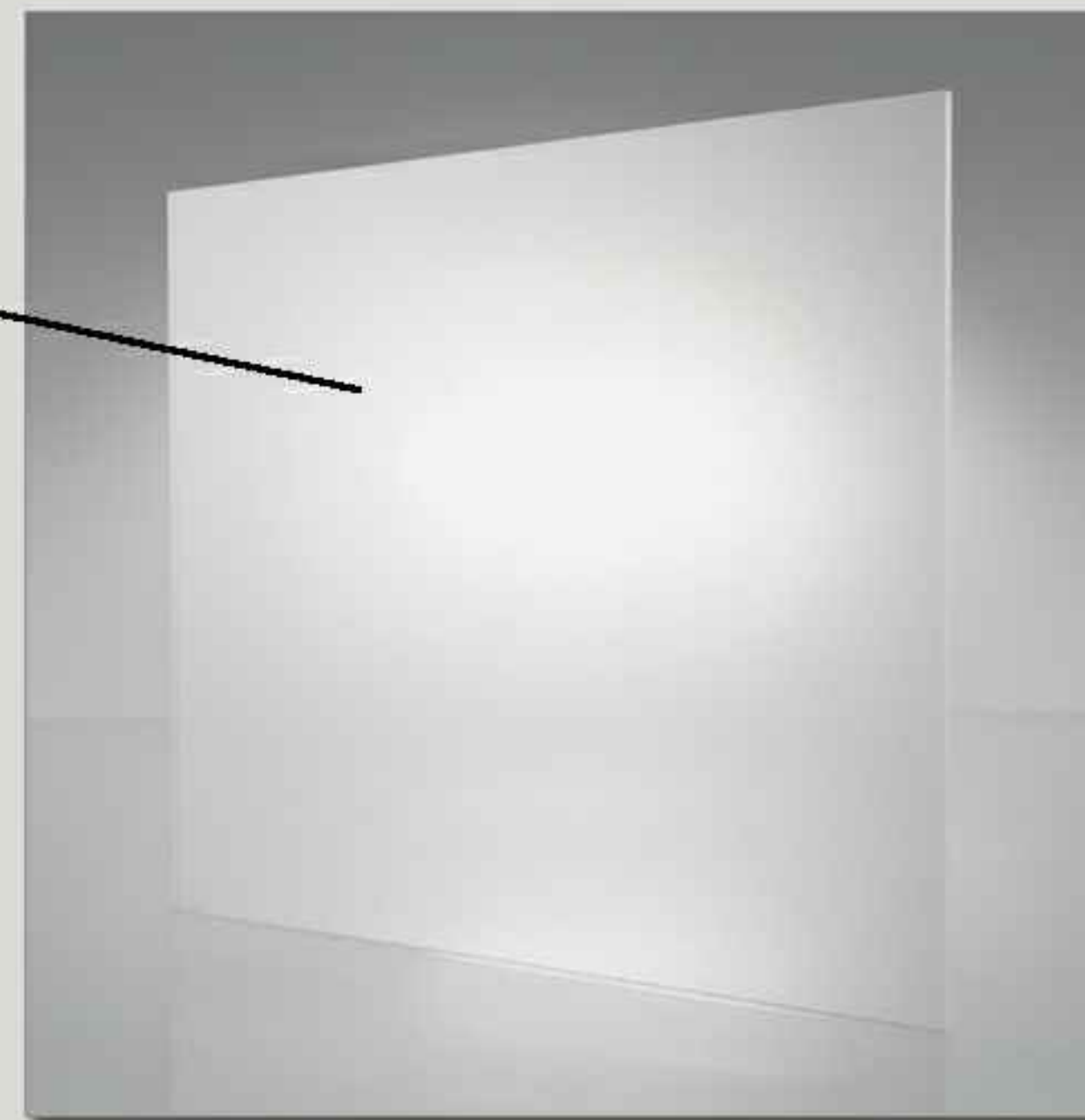
HOME 2
BENTONVILLE, AR
SUITES BY HILTON

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No.	Description	Date

SHEET

A5.01
EXTERIOR
ELEVATIONS



EX-9C BEACON -
TRANSLUCENT WHITE POLY-
CARBONATE, INTERNALLY LIT



EX-9A BEACON -
COLOR: BM 398
"FLOWER POWER"



EX-4A BEACON KEEP
& ENVELOPE LINK
HARDIE REVEAL PANELS
COLORPLUS: EVENING BLUE



EX-7 ENVELOPE SUPPORT
HARDIE REVEAL PANELS
COLORPLUS: MONTEREY
TAUPE



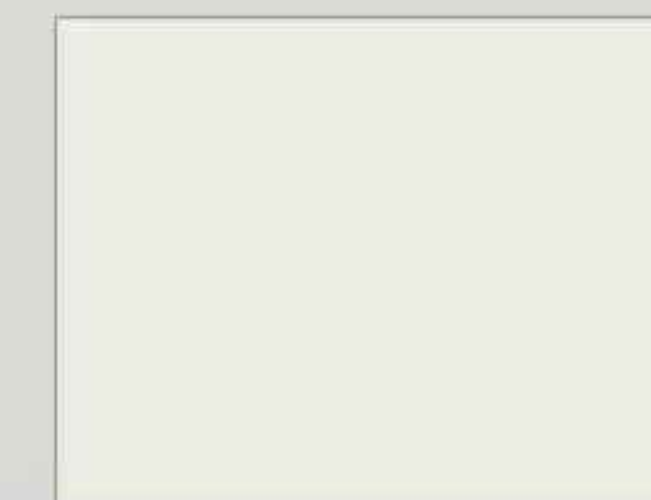
EX-8 ENVELOPE WRAP
HARDIE REVEAL PANELS
COLORPLUS: TIMBER BARK



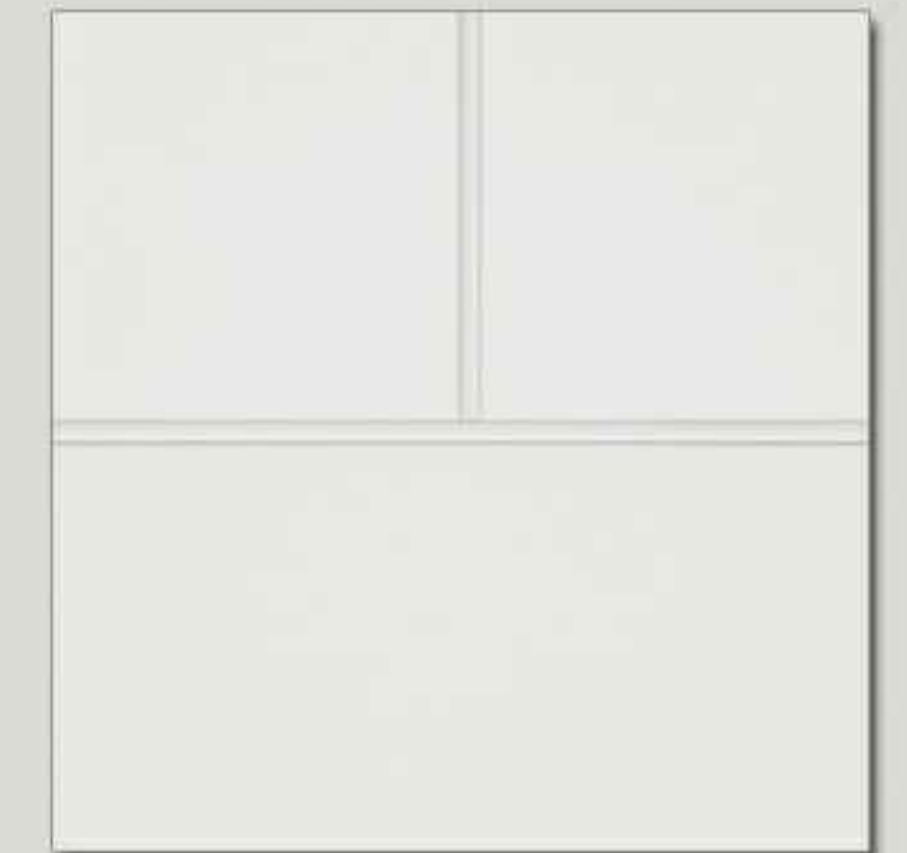
EX-6 ENVELOPE CORE SUPPORT
HARDIE REVEAL PANELS
COLORPLUS: COUNTRYLANE RED



EX-5 ENVELOPE ACCESS BAND
HARDIE REVEAL PANELS
COLORPLUS: PEARL GRAY



EX-10 CANOPY
COLOR: SW7005
"PURE WHITE"



EX-3 ENVELOPE CORE
HARDIE REVEAL PANELS
COLORPLUS: ARCTIC WHITE



JSA
ARCHITECTS

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HOME 2
BENTONVILLE, AR

HOME 2
SUITES BY HILTON

REVISION:
24 MAY 2018

COLOR
BOARD

LARGE SCALE DEVELOPMENT STAFF REPORT



Emerson Group

209 NW A Street

PC Date: 8/7/2018

Reviewer: Tyler Overstreet, Planner

Project Number	LSD18-0043
Applicant / Current Owner	Scott Emerson 407 E Lancaster Avenue Wayne, PA 19087
Site Area	+/- .42 acres
Current Zoning	DC, Downtown Core
Future Land Use Map Designation	Mixed Use (MU)
Development Type / Use	Office

Property Description

This property is located at 209 NW A Street, in downtown Bentonville. The site is currently zoned DC, Downtown Core and serves an existing office building.

Project Details

Project consists of the rehabilitation of an existing office building and improvements to an existing parking area and alley. The applicant proposes to improve the parking area through landscaping and striping. The alley shall be improved by curbing the exterior of the parking area. The primary materials depicted for the exterior elevations are fiber cement siding. The development shows adequate landscaping.

Projected Traffic Impact

The proposed large scale development has the potential to impact traffic in the area. However, the existing street network should accommodate any increase in traffic caused by the development.

Waivers

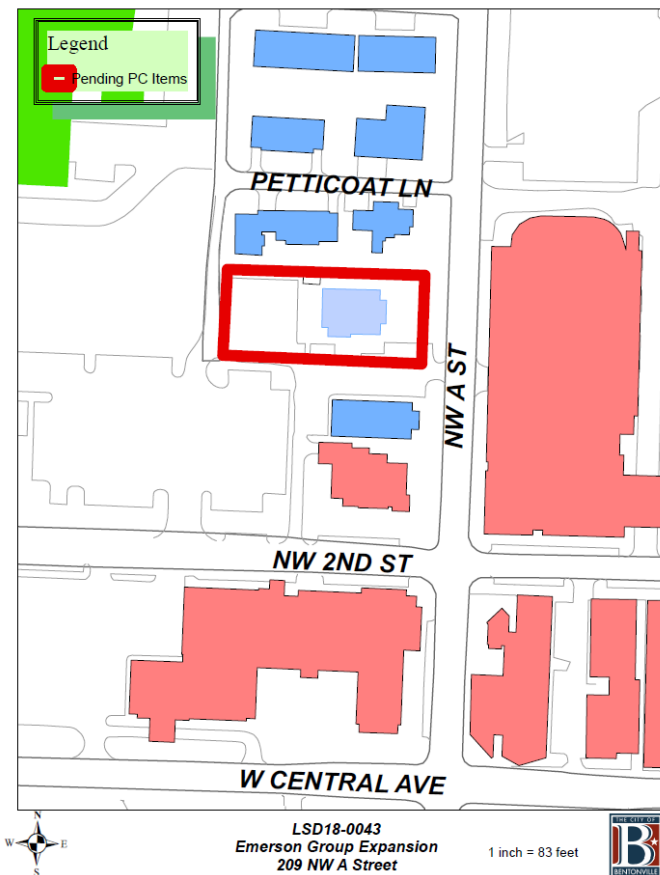
- One waiver requested:
 - A waiver from Article 1100, Section 1100.15, Design Standards for Downtown Districts, of the Subdivision Code. There are significant conflicts involving grade changes and existing trees preventing the applicant from constructing an eight-foot sidewalk as required by ordinance. Instead the applicant proposes to keep the existing sidewalk and make repairs as needed.

Conclusion

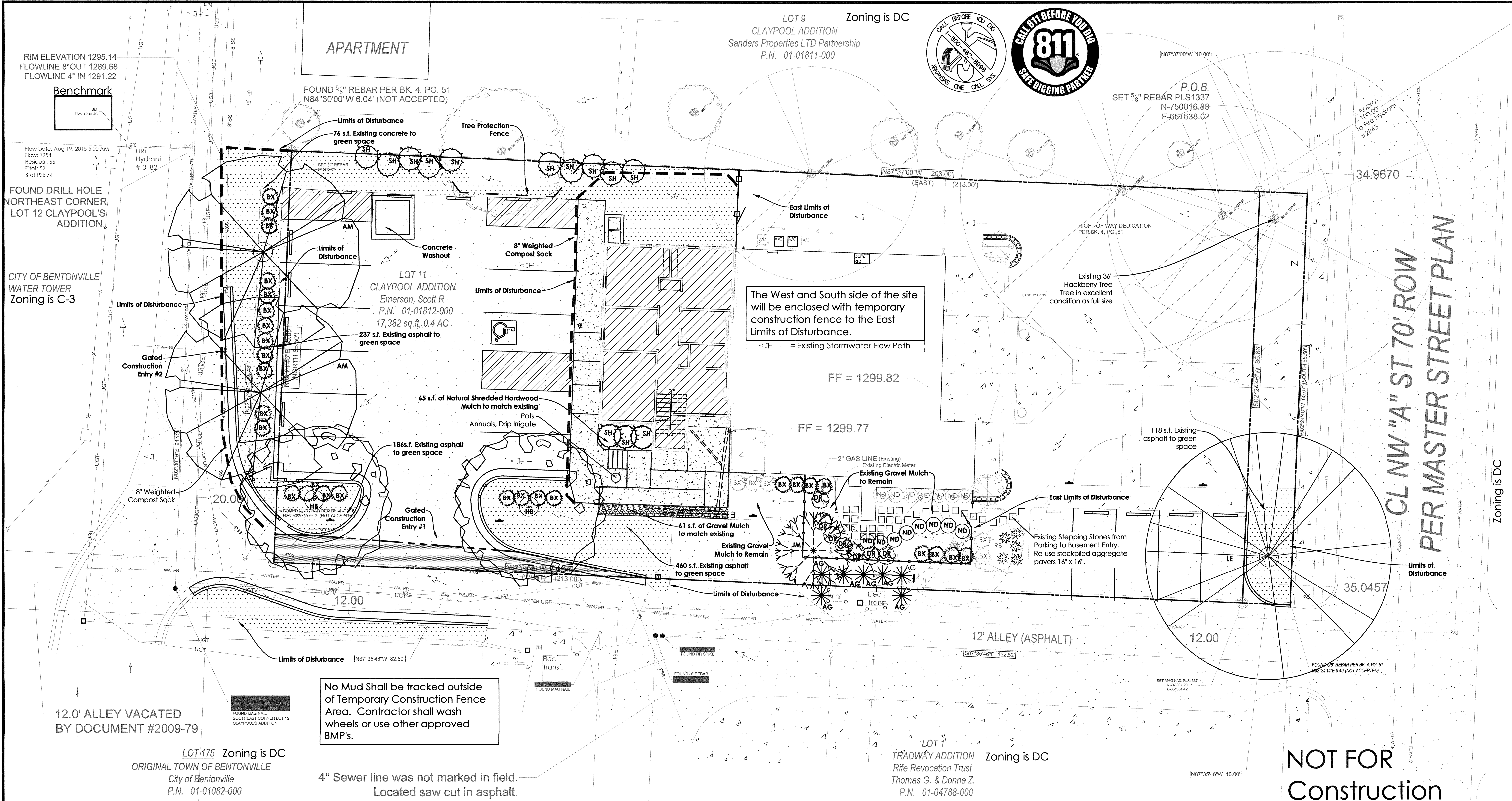
In conclusion, this large scale development does not meet the minimum requirements of the subdivision regulations, due to the waiver request.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Z:\18Emerson GroupBentonville\CAD & Design\EmersonProj\18.04.10AC17.dwg, 7/20/2018 9:54:27 AM, Arch D (landscape), 1:1



SEQUENCE OF CONSTRUCTION:

- This sequence is to be used as a guideline only. The contractor must adjust the sequence in accordance with the contractor's schedule while maintaining erosion control and protection of adjacent properties.
- Install tree-protection fencing.
- Install perimeter erosion control devices. Allocate an area for a fire-wash or stone construction entrance/exit for construction vehicles to prevent off-site tracking and the concrete washout containment.
- Make utility adjustments as necessary.
- Remove pavement necessary for building addition.
- Stabilize dirt areas with temporary or permanent materials.
- Construct building, utilities, landscape islands, and pavement.
- Perform landscaping operations. Note: Some tree protection fencing may need to be removed prior to the completion.
- Stabilize all other exposed surfaces, and remove temporary erosion control devices and tree-protection fencing.

EROSION CONTROL NOTES:

- The contractor must provide silt fence or fiber rolls as necessary to prevent sediment-laden runoff from leaving the site. This plan provided recommendations, but it is the responsibility of the contractor to adapt to site conditions as necessary.
- Stabilization measures shall be initiated as soon as practical where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity has temporarily or permanently ceased, unless activity will resume within 21 days.
- Inlet protection shall be used to prevent sediment from entering pipes and inlets.
- All sediment control measures shall be inspected at least once every seven calendar days and after any storm event of greater than 0.5 inches of precipitation during 24-hour period. The contractor must repair and replace erosion control devices as necessary. All sediment control features shall be maintained until final stabilization has been obtained.
- Contractor must make preparations to prevent tracking onto adjacent streets and parking lots. If tracking occurs, the pavement must be cleaned free of sediment at a minimum every day.
- Dust control must be accomplished with water rather than any petroleum-based products.
- Contractor and Owner shall obtain necessary ADEQ permits for stormwater and erosion control.

LANDSCAPE NOTES:

- Irrigation Design by Landscape Contractor. Must be approved by Landscape Architect prior to installation by contractor. Design with no irrigation trenching across existing tree roots.
- All applicable permits and permit fees are the responsibility of Contractors.
- No substitutions without written approval of Owner & Landscape Architect.
- Landscape Contractor responsible for meeting all local codes when applicable for erosion control during installation of landscape.
- All Trees must be B&B.
- All new shade trees must be a minimum caliper size of two-and-a-half (2.5) inches at the time of installation.
- All new ornamental trees must be a minimum caliper size of two (2) inches at time of installation.
- Landscape Contractor responsible to verify all quantities as estimated in Materials and Specifications. Plans supersede any quantity listing.
- Owner to be provided written copy of plant warranty agreements prior to installation.
- All shrubs and trees to be treated with root stimulant and Osmocote slow release fertilizer (13:13:13) at installation.
- Soil amendments of 1/3 soil, 1/3 compost, 1/3 sand; or other standard amendments required all plantings. Care to create minimal disruption of existing tree roots. No mechanical trenching unless authorized by Landscape Architect or Civil Engineer. No equipment with tires under canopy of existing trees.
- Required Maintenance Guarantee: Once installed, trees and landscape shall be maintained in healthy living condition. Any plant materials that die shall be replaced immediately. (Sec. 1400.5.C-10)
- Required Tree Topping Statement: Trees shall not be topped at any time and proper tree pruning techniques as established by the latest edition of ANSI A300 "Standards for All Tree Care" shall be utilized for maintenance purposes. (Sec. 1400.5.C-11)
- Required Removal Guarantee Statement: Healthy trees shall not be removed at any time and proper tree pruning techniques as established by the latest edition of ANSI A300 "Standards for Tree Care" shall be utilized for maintenance purposes. (Sec. 1400.5.C-12)
- Living materials, such as lawn, grass or herbaceous groundcovers like juniper or liriodie, etc., shall cover a minimum of eighty (80%) of planting islands. On Hundred percent (100%) of living materials is strongly encouraged. (Sec. 1400.6.A-8 & 1400.8G-7)
- All new turf to be Bermuda. If less than 3" topsoil in turf areas, then excavate and fill with topsoil.
- Organic Mulch (OM) to be Western Red Cedar, 3" depth. No weed barrier.
- At the time of planting and for the life of the trees, all tree roots shall be mulched with a minimum four (4) diameter ring of mulch, three (3) to four (4) inches deep. Mounding or piling mulch against the tree trunk is prohibited.
- Shrubs to have amendments in hole 2x width of container.
- No substitutions without approval by owner.
- Where potential utility conflicts with landscaping, utilities shall be field verified.
- All proposed trees shall be minimum of 5' from all public utilities.

PLANT SCHEDULE

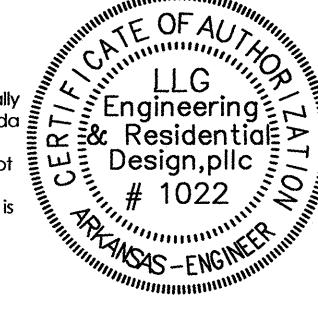
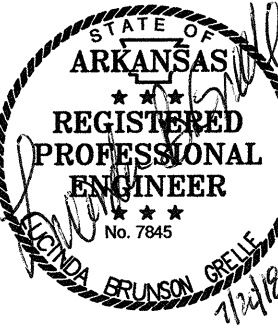
STREET TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
LE	Ulmus parvifolia / Lacebark Elm (Shade Tree)	15 gal B&B	2.5" Cal	8'H x 10"W	1
	Ref. SEC. 1400.11.C. Tree Preservation Credit				
	36" Hackberry Tree on (Northeast corner of property), by referenced article would count as credit for (4) Shade Trees, but we are asking it be applied for credit to (3) out of the (4) required street trees.				
TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
JM	Acer japonicum 'Bloodgood' / Bloodgood Amur Maple (Ornamental Tree)	15 gal B&B	2.5" Cal	8'-10'H 3"x4"W	1
HB	Betula nigra 'Cully' / Heritage Birch (Shade Tree)	15 gal B&B	2.5" Cal		2
AM	Acer x freemanii 'Jeffersred' / Autumn Blaze Maple (Shade Tree)	15 gal B&B	2.5" Cal	8'-10'H 3"x4"W	2
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
BX	Buxus 'Green Velvet' / Green Velvet Boxwood	#7		18"H	28
AG	Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass	#5		18"H	8
SH	Ilex crenata 'Stedds' / Steeds Holly	#7		4'-6"H	13
ND	Nandina domestica 'Firepower' / Firepower Nandina	#5		18"H	8
DR	Rosa x 'Mediogalpa' / Drift Rose Double Red	#5		18"H	7

MATERIALS AND SPECIFICATIONS

	MATERIALS / SIZE	QTY
	Sod	2760 sq ft
	Natural Shredded Mulch, No Color (Around newly installed trees)	1.5 cu yd
	Gravel Mulch	61 sq ft
	Compost Sock	

NOT FOR
Construction

(See Cover Page for Vicinity Map)



City Project # LSD18-0043

- G-001 Cover Sheet
- TS-101 Topographic Survey
- CS-101 Site & Utility Plan
- CG-101 Grading & Demo Plan
- LP-101 Landscape & Erosion Control Plan
- C-501 Details, Site, Grading & Utility
- C-502 Details, Landscape & Erosion Control

LLG Engineering & Residential Design
2000 Town West Drive, Rogers, AR 72756-2129
Office: 479-636-0000 Fax: 479-272-4408
E-mail: Chris@llg-ar.com

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Emerson Office Expansion
209 NW 'A' Street
Bentonville, AR 72712

Landscape Plan &
Erosion Control Plan

Scale 1"=10'

REVISIONS:

No.	Date:	Description:
01	05.29.18	Planning & Client Rev.
02	06.04.18	Client Rev.
03	07.02.18	LSD Submit to City
04	07.18.18	2nd LSD, Rev. per City

PROJECT NO:
EmersonProj18.04.10AC17

DRAWN BY:
LG, WT

CHECKED BY:
LG, SJ

DATE:
04.11.18

SHEET NUMBER
LP-101

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EMERSON GROUP
EMERS
209 NW A STR
BENTONVILLE

1998 DEGR		

1998 DEGR		

ORDERED BY:	SE

DOCUMENT DATE: 03/02/2011

DOCUMENT DATE: 07/02/

NOT FOR CONSTRUCTION

10. *Journal of the American Medical Association*, 2000; 283: 2689-2694.

SHEET:
A 000

TABLE 1

PAINT SELECTION

PT-1 MATCH EXISTING CEMENT SIDING
PT-2 MATCH EXISTING CEMENT SIDING TRIM

WALLS

EXTERIOR FRT WOOD 2 HOUR RATED WALLS WITH CEMENT SIDING TO
MATCH EXISTING

BLOCK

SMOOTH FACE FOUNDATION -CMU

Architectural elevation drawing of the exterior of a two-story house. The drawing shows a gabled roof with dark shingles, a central dormer, and a front porch with columns. The walls are dark blue with white trim around windows and doors. The foundation is made of stone and CMU blocks. Various labels and callouts are present, including 'ETR' for exterior trim, 'PT-1' for paint, and 'PT-2' for paint at windows and corners. A scale bar indicates 11'-2" for the 2nd floor and 0" for the 1st floor. A north arrow is also shown.

Labels and callouts include:

- ARCHITECTURAL ROOF SHINGLES MATCH EXISTING
- TRUSS BEARING 20'-6 1/2"
- PT-2 AT WINDOW AND CORNER TR TYP
- 2ND FLOOR 11'-2"
- PT-1
- 1ST FLOOR 0"
- EXISTING STONE FOUNDATION
- EXISTING CMU FOUNDATION. EXISTING PAINT TO REMAIN
- CMU FOUNDATION. PAINT PT-1.
- ETR (Exterior Trim)
- PT-1 (Paint)
- PT-2 (Paint)

4 $3/16" = 1'-0"$

CONCRETE SIDING 89%
SMOOTH FACE FOUNDATION 11%

3 $3/16" = 1'-0"$

CONCRETE SIDING 84%
SMOOTH FACE FOUNDATION 16%

2 $3/16" = 1'-0"$

CONCRETE SIDING 85%
SMOOTH FACE FOUNDATION 15%

ARCHITECTURAL
ROOF SHINGLES

TRUSS BEARING
20'-6 1/2"

PT-2

PT-1

PT-2

PT-1

2ND FLOOR
11'-2"

EXISTING BUILDING

PT-1

PT-2

1ST FLOOR
0"

3/16" = 1'-0"

CONCRETE SIDING 82%
SMOOTH FACE FOUNDATION 18%



July 27, 2018

Jon Stanley
Bentonville, Planning

Re: Emerson Group Expansion
LSD18-0043
209 NW 'A' Street

Dear Mr. Stanley,

This letter is in reference to the City requested side path or sidewalk on the front of the proposed Emerson Group Expansion project. Thank you for meeting me on site to try and work through the design challenges in fulfilling this request.

It is always challenging when working on a historical property. This property is an asset to the City of Bentonville and the proposed office extension to the rear is a very nice historical sensitive improvement. Thank you for considering allowing the existing very wide sidewalk in front to mostly remain to preserve the historic Dr. B. C. Bain marble inset etc.

With further consideration and review we would like to request a Waiver from this requirement on this project do to the following reasons:

The very large tree on the north side of the site will not live if the root system is damaged with side path improvements. The tree and the existing sidewalk under the drip line are in good condition. Thank you for considering alternate options in this area. We think any construction or relocation under the drip line of the tree could kill the tree.

The transition and connection on the south side of the site present both a layout and grading problem. The grading challenge is to get the wide side path with 1.9% cross slope in place and transition back to alley and to the street gutter grade. That transition slope would be between 10-16% back toward the street. This would result in cars dragging as they enter and exit the alley/street from the main street. The Rife property line location creates part of the challenge and would require a jog in the side path or sidewalk. The sidewalk would have to be rebuilt in front of the Rife property for approximately 14' to get to ADA compliant cross slope area. This is all very awkward. See attached layout sketch.

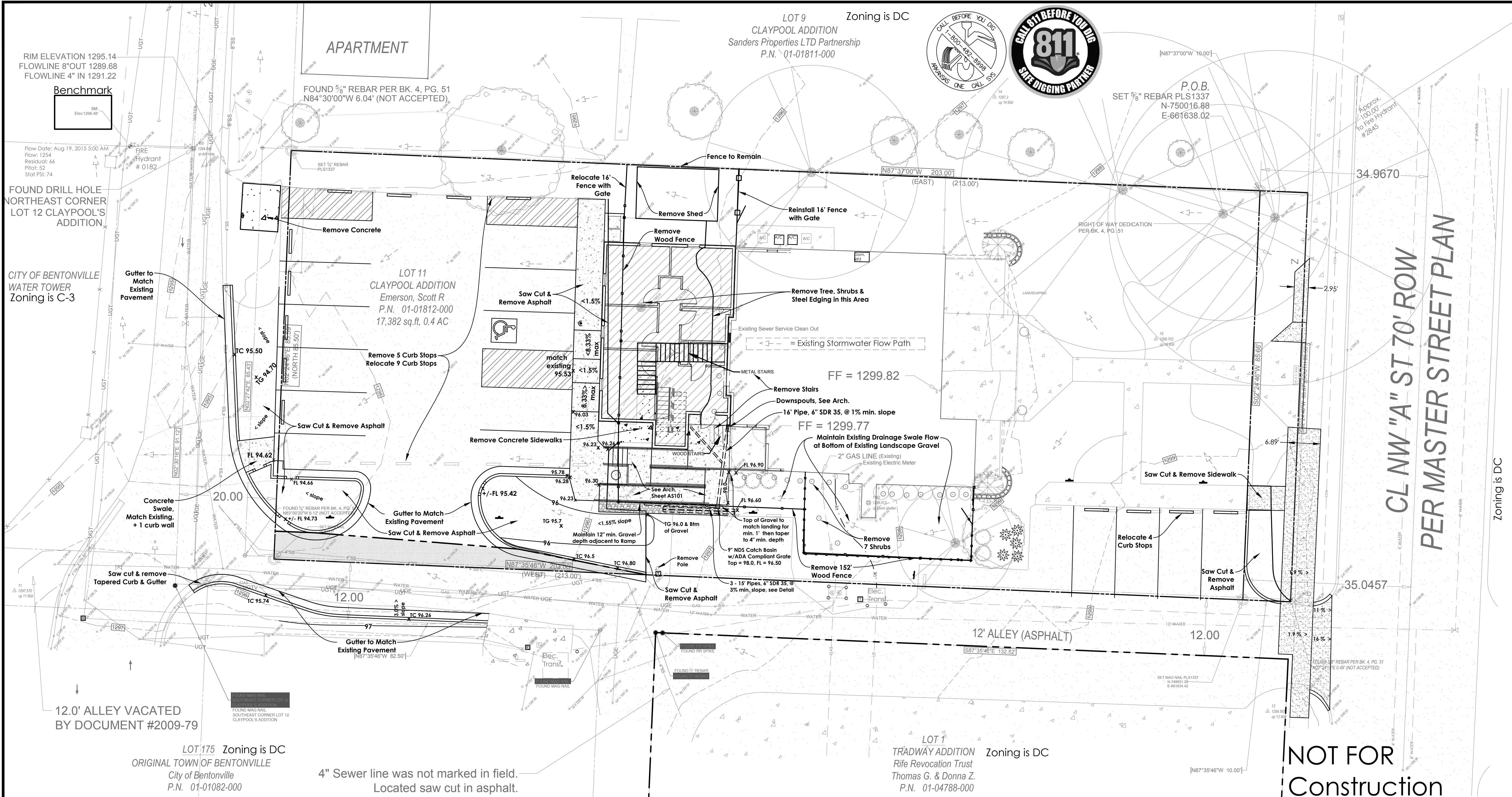
The alternate option of removing the existing curb, gutter, and asphalt on the street so a new curb and gutter could be built at a higher height that which would allow the existing sidewalk grade to continue to the new back of the curb seem excessive. This is very costly and would require the newly overlaid street to be cut and repaired and would result in a narrowed street during construction. The south end of the side path has similar or worse issues with grading in this option. The slopes and grading will not work without grading on Rife property.

Please review this information. If you have any questions or need additional items please do not hesitate to call.

Sincerely,

Lucinda B. Grelle

Lucinda Brunson Grelle, PE



- The City of Bentonville Street Standards, Drainage Criteria Manual, Subdivision Ordinance, Water, Sewer, Electric Utility Specifications, and State Code shall govern these plans. If there are discrepancies in the plans or information contained within, City of Bentonville Ordinances, Standards, and Specifications shall rule, unless, approved in writing by the City Engineer.
- To schedule an inspection or test with the City of Bentonville Engineering Department, inspections must be called in (479-271-3168) by the Engineer of Record 24 hours in advance before 10am for an inspection the following day.
- The Engineer of Record must certify the site and the project must pass a Development Final Site Inspection before requesting a Building Final Inspection.
- Contact BEUD at 479-271-3135 before performing any grading within 5' of existing or proposed power pole.

Grading Notes:

- The contractor shall maintain positive drainage away from the buildings at all times.
- The contractor must include any necessary de-watering activities in the contractor's bid.
- The spot elevations and contour lines on this plan are at the top of the concrete, top of mulch, or top of sod unless otherwise shown. Subgrade shall be graded to allow for material depths.
- The contractor shall refer to the architectural plans for exact number, size and location of the roof drains.
- All trees shown to be preserved on these plans shall be protected during construction with min. 3' high fencing with flagging. Fencing shall be installed prior to the start of any site preparation work and shall be maintained during all phases of construction. Fencing location adjacent to preservation areas shall be approved prior to installation. See Landscape Plan & Erosion Control Plan for location.
- The contractor shall verify the location of all existing underground utilities before commencing work. All utility locations shown on this plan are approximate and are based on survey information, site development plans, utility records, etc. **There may be existing utilities not shown on this plan.** If the contractor discovers discrepancies that interfere with the proposed improvements, the contractor shall notify the design engineer and owner before any work on in question begins.
- The contractor is responsible for the design and implementation of all sheeting, shoring, bracing, and special excavations, measures required to meet OSHA, federal, state, and local regulations pursuant to the installation of the work on this project. Owner, Architects and the design engineer accept NO responsibility for the design(s) to install said items.
- All waste material shall be disposed of off site per regulations.
- This property is not located within any established 100-year flood plain as determined by the National Flood Insurance Program, flood insurance rate map for Benton County, Arkansas. Map Number 0507C0255K. Revised date June 5th, 2012. (By Graphical Plotting only)

TC 96.80_x = Top of Curb

FL 96.60_x = Flow line of water,
(Top of Dirt, Bottom of Gravel)

TG 95.7_x = Top of Grass Sod

<2.0% slope = Percent Grade Slope

1200 Topography Elevation is not shown on proposed spots, grades & contours. All proposed grades shall have 1200 added to them for actual elevation.

City Project # LSD18-0043

G-001 Cover Sheet
TS-101 Topographic Survey
CS-101 Site & Utility Plan
CG-101 Grading & Demo Plan
LP-101 Landscape & Erosion Control Plan
C-501 Details, Site, Grading & Utility
C-502 Details, Landscape & Erosion Control

LLG Engineering & Residential Design
2000 Town West Drive, Rogers, AR 72756-2129
Office: 479-656-9200 Fax: 479-972-4428
E-mail: info@llgdesign.com

Contact Information: Kyden Reeh or Ed Morgan
Office 479-268-6292
Address same as project

COPYRIGHT© 2018:

Emerson Office Expansion
209 NW 'A' Street
Bentonville, AR 72712
Grading & Demo Plan



Scale 1"=10'

REVISIONS:		
No.	Date	Description
01	05.29.18	Planning & Client Rev.
02	06.04.18	Client Rev.
03	07.20.18	1st LSD Submit to City
04	07.20.18	2nd LSD, Rev. per City
05	07.20.18	Side Path Option

PROJECT NO:
EmersonProj18.04.10AC17
DRAWN BY: LG
CHECKED BY: LG

DATE:
04.11.18

SHEET NUMBER
CG-101