



**Planning Commission
Agenda
August 21, 2018**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**

- 1. Lot 3 Elm Tree Center Subdivision** **Property Line Adjustment**
1310 SW Elm Tree Road (*PLA18-0026*)
- 2. Oak Meadows Subdivision** **Final Plat**
1601 Been Road (*FP18-0005*)
- 3. PE Livingston Square Subdivision** **Final Plat**
1111 SW Parnell Drive (*FP18-0006*)
- 4. Coler – Saint** **Large Scale Development**
11782 Peach Orchard Road (*LSD18-0046*)
- 5. Coler – Stanberry** **Large Scale Development**
2702 NW 3rd Street (*LSD18-0047*)

IV. New Business

- 1. McCoy Investments** **Digital Billboard – Conditional Use Permit***
401 SE Walton Boulevard (*DB18-0005*)
- 2. SC Eagle 1, LLC** **Digital Billboard – Conditional Use Permit***
1400 SE Eagle Way (*DB18-0006*)
- 3. Childress** **Sidewalk Waiver**
802 & 804 NW 20th Street (*WAV18-0001*)
- 4. Boulder Creek Homes** **Sidewalk Waiver**
700 NE A Street (*WAV18-0002*)

- V. Other Business**
- VI. Planner's Report**
- VII. Adjournment**

Planning Commission
Minutes
August 7, 2018

Meeting called to order at 5:00 p.m. by Rod Sanders, Chairman.

Present: Scott Eccleston, Rod Sanders, Joe Haynie, Jim Grider, Richard Binns, Dana Davis and Elaine Kerr
Staff: Jon Stanley and Tyler Overstreet

Motion by Mr. Eccleston, seconded by Mr. Kerr to approve the minutes of July 17, 2018 as written
Approved 7-0

Consent Agenda

1. Lots 37-39 Dickson's Addition Lot Split
701 W Central Ave, PLA18-0022
2. Lots 15 and 16, Block 6, Dunn and Davis Addition Property Line Adjustment
Southwest B Street and Southwest 7th Street, PLA18-0024

New Business

Item #1

Inclusion Realty: Rezoning, 502 SE C Street, R-1, Single Family Residential to DN-2, Downtown Medium-Density Residential, RZ18-0023

Tyler Overstreet reads the staff report.

Opened public hearing

Tom Gheen, 505 SE C Street and current address is 612 SW Sims Drive, is curious about the plan of the area. Mr. Stanley addresses his questions.

Jake Newell, representative, addresses the resident and the Commissioners.

Closed public hearing

There is some discussion amongst Mr. Newell and the Commissioners.

Approved 7-0

Item #2

Providence Parking Lot: Conditional Use, 4405 SW Laurel Hill Avenue, CU18-0016

Tyler Overstreet reads the staff report.

Opened public hearing

No public comments

Closed public hearing

Approved 7-0

Item #3

Hershey Parking Lot: Conditional Use, Southeast Plaza Avenue, CU18-0017

Tyler Overstreet reads the staff report.

Opened public hearing

No public comments

Closed public hearing

Approved 7-0

Item #4

Ashby Street Outdoor: Conditional Use, 1109 SW 14th Street, DB18-0001

Tyler Overstreet reads the staff report.

Opened public hearing

No public comments

Closed public hearing

There is some discussion amongst Whit Weeks, representative, and Commissioners.

Approved 7-0

Item #5

Ashby Street Outdoor: Conditional Use, 1080 SE 14th Street, DB18-0004

Tyler Overstreet reads the staff report.

Opened public hearing

No public comments

Closed public hearing

There is some discussion amongst the representative and Commissioners.

Approved 7-0

Item #6

5th & Dickson: Waiver, 5th and Dickson, WAV18-0004

Tyler Overstreet reads the staff report.

Tim Sorey, representative, addresses the Commissioners.

Approved 7-0

Item #7

Home2 Suites: Large Scale Development, Southeast Griffin Drive, LSD18-0039

Tyler Overstreet reads the staff report.

Motion by Mr. Grider, seconded by Mr. Davis to approve the Waiver Request: Perimeter Landscaping & Screening

Approved 7-0

Large Scale Development

Approved 7-0

Item #8

Emerson Group: Large Scale Development, 209 NW A Street, LSD18-0043

Tyler Overstreet reads the staff report.

There is discussion amongst staff and Commissioners.

Motion by Mr. Grider, seconded by Mr. Haynie to approve the Waiver Request: Design Standards

Approved 7-0

Large Scale Development

Approved 7-0

Motion by Mr. Sanders, seconded by Mr. Eccleston to adjourn.

Meeting adjourned

****A copy of this recording can be obtained from the Bentonville Planning Department.**

Ali Worley



Consent Agenda Items

For Planning Commission meeting of August 21, 2018

Reviewer: Tyler Overstreet, Planner

- ❖ At the Technical Review meeting held on August 14, 2018 the Planning Commission requested these items be placed on the Consent agenda. The descriptions below shall serve as the staff report for each of the consent agenda items.

Property Line Adjustment: Lot 3 Elm Tree Center Subdivision, Sky One Property, LLC, 1310 SW Elm Tree Road, R-4, High-Density Residential (PLA18-0026)

Property Line Adjustment of Lots 1 and 2 of Elm Tree Center Subdivision, creating new Lot 3. The plat dedicates a 20' utility easement along SW Elm Tree Road. There is an existing cross-access easement in the northeast corner of the lot. The plat dedicates an additional 9.74' of right-of-way along SW Elm Tree Road.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mqweb/PZpending/>)

Final Plat: Oak Meadows Subdivision, Crestwood Homes, LLC, 1601 Been Road, R-1, Single-Family Residential (FP18-0005)

Final Plat creating a new, 38-lot, single-family subdivision, approximately 9.77 acres in size, known as Oak Meadows Subdivision. The plat dedicates all necessary right-of-way and utility easements. All non-bondable items and guarantees of improvement must be complete by Friday, August 17, 2018 for this item to advance to Planning Commission.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mqweb/PZpending/>)

Final Plat: PE Livingston Square Subdivision, Jamal and Stephanie Parker, 1111 SW Parnell Drive, R-ZL, Zero Lot Line (FP18-0006)

Final Plat creating a new, 34-lot, single-family subdivision, approximately 6.27 acres in size, known as PE Livingston Square Subdivision. The plat dedicates all necessary right-of-way and utility easements. All non-bondable items and guarantees of improvement must be complete by Friday, August 17, 2018 for this item to advance to Planning Commission.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mqweb/PZpending/>)

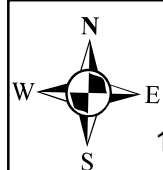
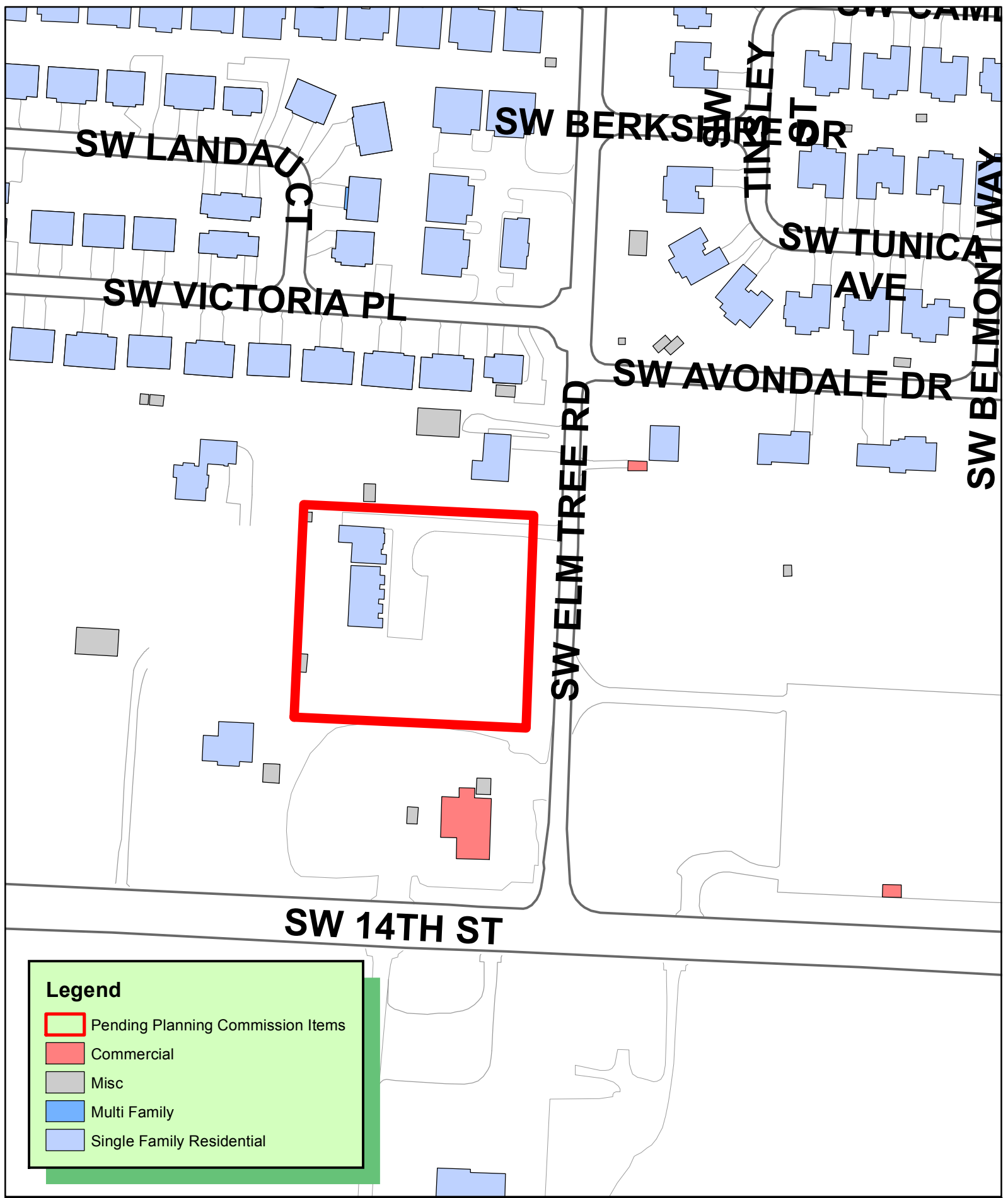
Large Scale Development: Coler - Saint, Bentonville/Bella Vista Trailblazers Association, 11782 Peach Orchard Road, A-1, Agricultural (LSD18-0046)

Project consists of the construction of a camping and recreation area off of Peach Orchard Road. Phase 1 consists of the construction of numerous raised camping structures and a parking area. Phase II will add a manager's office/residence to the site. The development shows adequate landscaping. No waivers requested.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mqweb/PZpending/>)

Large Scale Development: Coler – Stanberry, Bentonville/Bella Vista Trailblazers Association, 2702 NW 3rd Street, A-1, Agricultural (LSD18-0047)

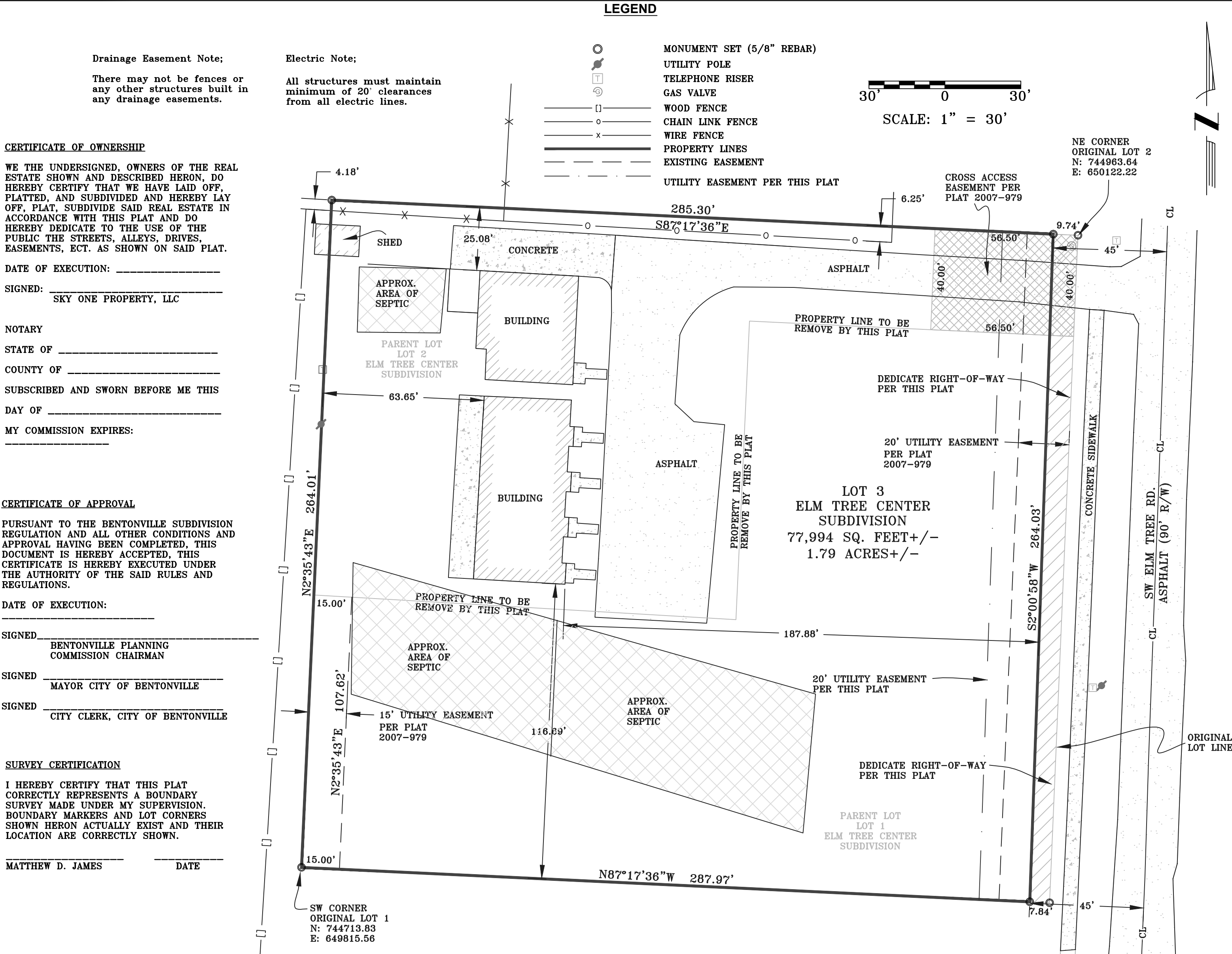
Project consists of the construction of a trailhead with parking areas and an outdoor pavilion. The applicant shows a six-foot sidewalk along NW 3rd Street. This sidewalk will begin at the back of curb and transition to offer a six-foot wide greenspace as grading allows. The development shows adequate landscaping. No waivers requested. *(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mqweb/PZpending/>)*



1 inch = 150 feet

PLA18-0026
PROPERTY LINE ADJUSTMENT
ELM TREE CENTER SUB LOT 3 OLD LOTS 1 & 2





CURRENT ZONING R-4		
Lot and Area Standards	Two-family	All others
Density	24 dwelling units per acre	
Street Frontage	35 ft. min. Min.	
Lot Depth	Min. 100 ft. depth at shallowest point with depth measured at right angles or radial to street right-of-way line.	
Corner Lots		
Min. Lot Area	7,000 sq. ft.	10,000 sq. ft.
Min. Lot Width	65 ft.	
Max. Lot Coverage, Interior Lot	50%	
Max. Lot Coverage, Exterior / Corner Lot	55%	
Max. Height Allowed	40 ft.	
Minimum Setback Standards		
Garage, Street Facing (attached & detached)	30 ft. from the property line the garage faces to street right-of-way line.	
Garage, Side- or Rear-loading (attached & detached)	20 ft. from the front property line	
Front	20 ft.	
Side, Interior	10 ft.	
Side, Exterior	20 ft.	
Rear	25 ft.	
Easements	Where a utility easement extends beyond the required setback, the edge of the utility easement shall be the setback.	

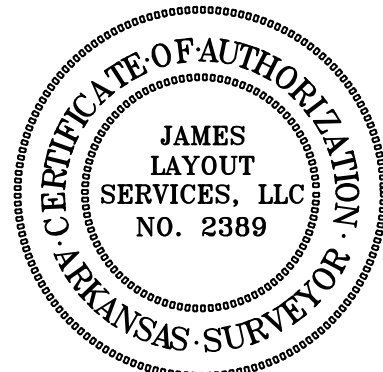
PARENT LOT 1 DESCRIPTION:
LOT 1, ELM TREE CENTER SUBDIVISION, BENTON COUNTY, ARKANSAS AS SHOWN IN PLAT BOOK 2007 AT PAGE 979.

PARENT LOT 2 DESCRIPTION:
LOT 2, ELM TREE CENTER SUBDIVISION, BENTON COUNTY, ARKANSAS AS SHOWN IN PLAT BOOK 2007 AT PAGE 979.

LOT 3 DESCRIPTION:
PART OF LOT 1 AND 2, ELM TREE CENTER SUBDIVISION, BENTON COUNTY, ARKANSAS AS SHOWN IN PLAT BOOK 2007 AT PAGE 979 BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE ORIGINAL LOT 1, ELM TREE SUBDIVISION AS SHOWN IN PLAT BOOK 2007 AT PAGE 979: THENCE NORTH 02°35'43" EAST A DISTANCE OF 264.01 FEET TO A SET 5/8" REBAR BEING THE NORTHWEST CORNER OF THE ORIGINAL LOT 2; THENCE SOUTH 87°17'36" EAST A DISTANCE OF 285.30 FEET TO A SET 5/8" REBAR; THENCE ALONG THE WEST RIGHT-OF-WAY OF SOUTH WEST ELM TREE ROAD SOUTH 02°00'58" WEST A DISTANCE OF 264.03 FEET TO A SET 5/8" REBAR; THENCE NORTH 87°17'36" WEST A DISTANCE OF 287.97 FEET TO THE POINT OF BEGINNING COUNTING 77,994 SQUARE FEET OR 1.79 ACRES MORE OR LESS AND BEING FURTHER SUBJECT TO ANY RIGHTS-OF-WAY, EASEMENTS, LIENS, OR ENCUMBRANCES WHICH MAY OR MAY NOT BE OF RECORD.

Owner/Developer
SKY ONE PROPERTY, LLC



CITY OF BENTONVILLE PROJECT NUMBER: PLA18-0026

LOT LINE ADJUSTMENT OF LOTS 1 & 2
CREATING LOT 3
ELM TREE CENTER SUBDIVISION

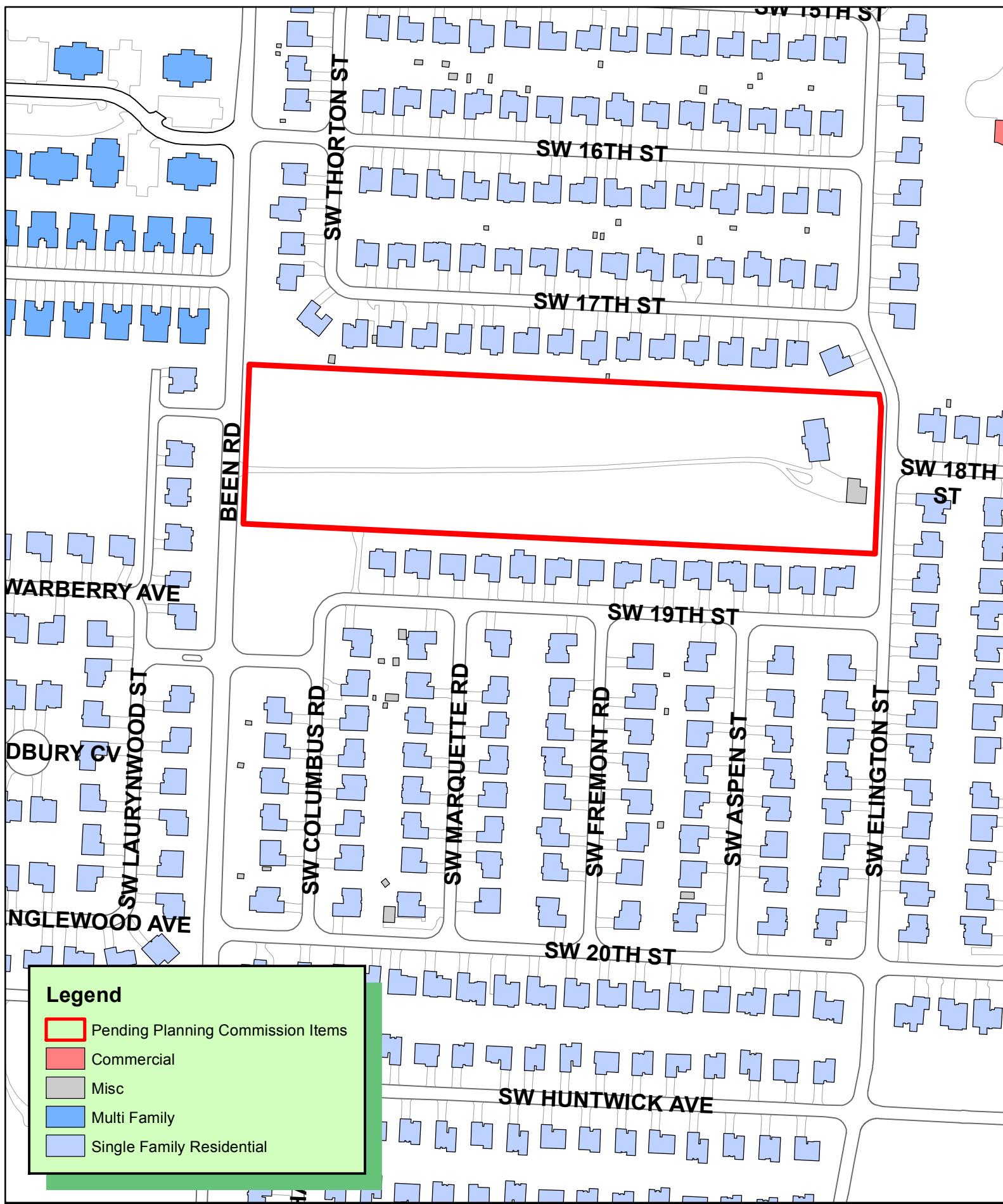
OWNER/DEVELOPER: SKY ONE PROPERTY, LLC
LOCATION: 1310 SW ELM TREE RD.
FILENAME: 18-161LOT LINE ADJ.DWG

DRAWN BY: NR
CHECKED BY: MJ
SCALE: AS SHOWN
DATE: 07/13 2018

James Layout Services, LLC
P.O. Box 611
Farmingington, Arkansas 72730
Telephone: (479) 439-9929
survey@jlsnwa.com

JLS

SHEET NO.
1 OF 1



Legend

-  Pending Planning Commission Items
-  Commercial
-  Misc
-  Multi Family
-  Single Family Residential

N
W E
S

1 inch = 250 feet

PF18-0005
FINAL PLAT
OAK MEADOWS SUBDIVISION

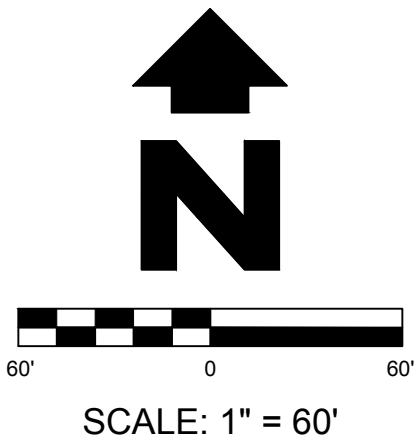




SITE LEGEND

- SET 5/8" REBAR WITH 2 1/2" ALUM. CAP
- SET 5/8" REBAR WITH CAP(J.COLLINS PLS1337)
- MONUMENT FOUND (AS NOTED)
- BENCH MARK SIGN
- PROPERTY LINES
- ADJOINING PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- CURB & GUTTER
- SIDEWALK HATCH

ALL EASEMENTS ARE PER THIS PLAT UNLESS OTHERWISE NOTED.



SCALE: 1" = 60'

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	1.68	225.00	0°25'41"	N87° 29' 48"W	1.68
C2	59.54	225.00	15°09'44"	N85° 05' 13"E	59.37
C3	21.38	14.00	87°28'21"	N48° 04' 35"E	19.36
C4	54.28	175.00	17°46'14"	N83° 49' 55"E	54.06
C5	10.05	225.00	2°33'33"	N76° 13' 35"E	10.05
C6	18.30	13.49	77°42'47"	N48° 26' 26"W	16.93
C7	20.43	13.18	88°46'15"	S48° 54' 55"W	18.44
C8	65.91	225.00	16°47'02"	S83° 53' 50"W	65.68
C9	2.19	225.00	0°33'31"	N75° 13' 34"E	2.19
C10	54.13	175.00	17°43'17"	N83° 48' 27"E	53.91
C12	21.20	14.06	86°22'08"	S43° 12' 34"E	19.24

PARCEL # 01-08652-001

ZONING - R-1

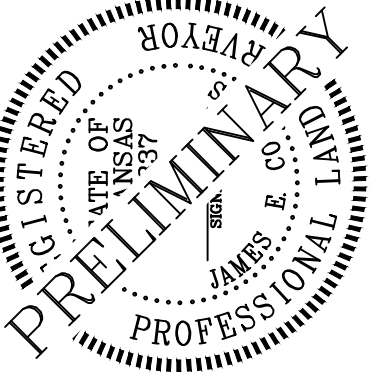
SETBACKS (NOT SHOWN) - FRONT 20'
REAR - 25'
SIDE INTERIOR - 7'
SIDE EXTERIOR - 20'

ACRES: 9.78
TOTAL LOT COUNT: 39 LOTS
BUILDABLE LOTS: 37 LOTS
NON-BUILDABLE LOTS: LOT #: 38 & 39

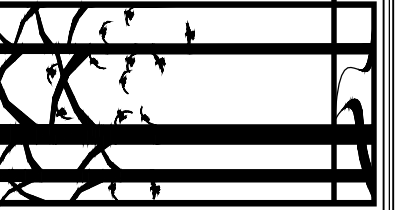
CLIENT:
CRESTWOOD HOMES, LLC.
3103 S.E. MOBERLY LANE
BENTONVILLE, AR 72712
479-254-4504
BARRY COOKSEY

SHEET 1

OAK MEADOWS SUBDIVISION
BEEN ROAD
BENTONVILLE, ARKANSAS

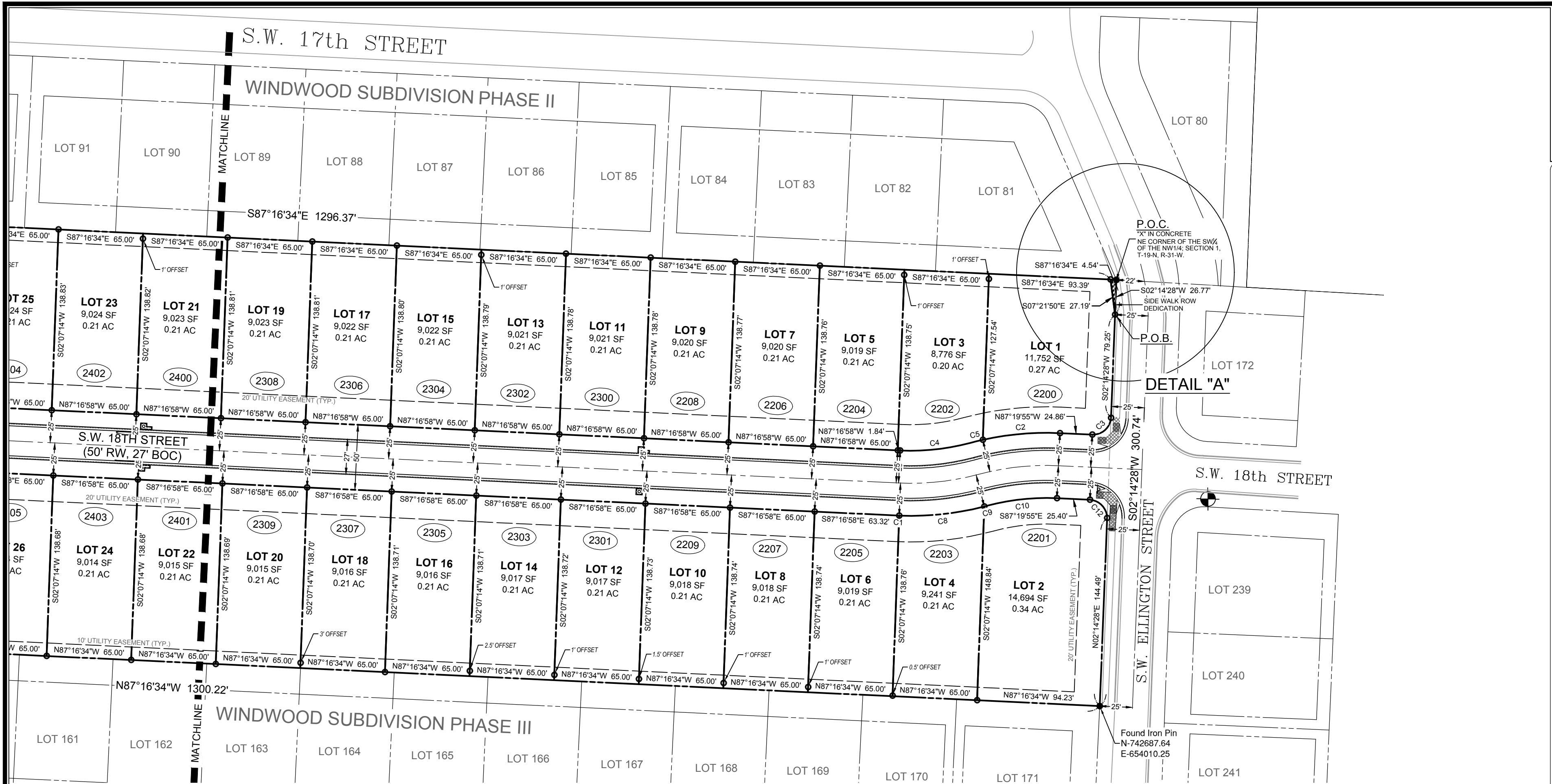


SAND CREEK
Engineering and Land Surveying
Bentonville, Arkansas (479) 464-9282



PLS:	JWI
CAD:	AF
FIELD:	MJH
SCE PROJECT #:	16049
DATE:	8/06/2018
SHEET:	2 OF 3

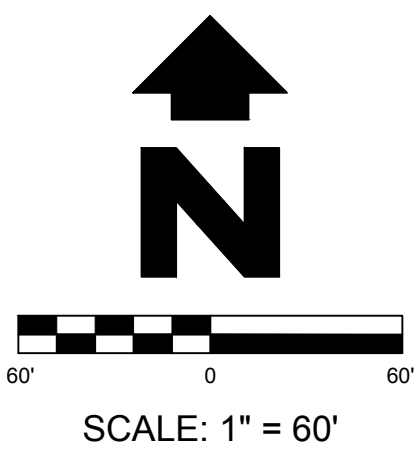
City of Bentonville
Project #
FP18-00005
State Filing Code:
500-19N-31W-0-01-430-04-1337



SITE LEGEND

- SET 5/8" REBAR WITH 2 1/2" ALUM. CAP
- SET 5/8" REBAR WITH CAP(J.COLLINS PLS1337)
- MONUMENT FOUND (AS NOTED)
- BENCH MARK
- SIGN
- PROPERTY LINES
- ADJOINING PROPERTY LINE
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- CURB & GUTTER
- SIDEWALK HATCH

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SCALE: 1" = 60'

PARCEL # 01-08652-001

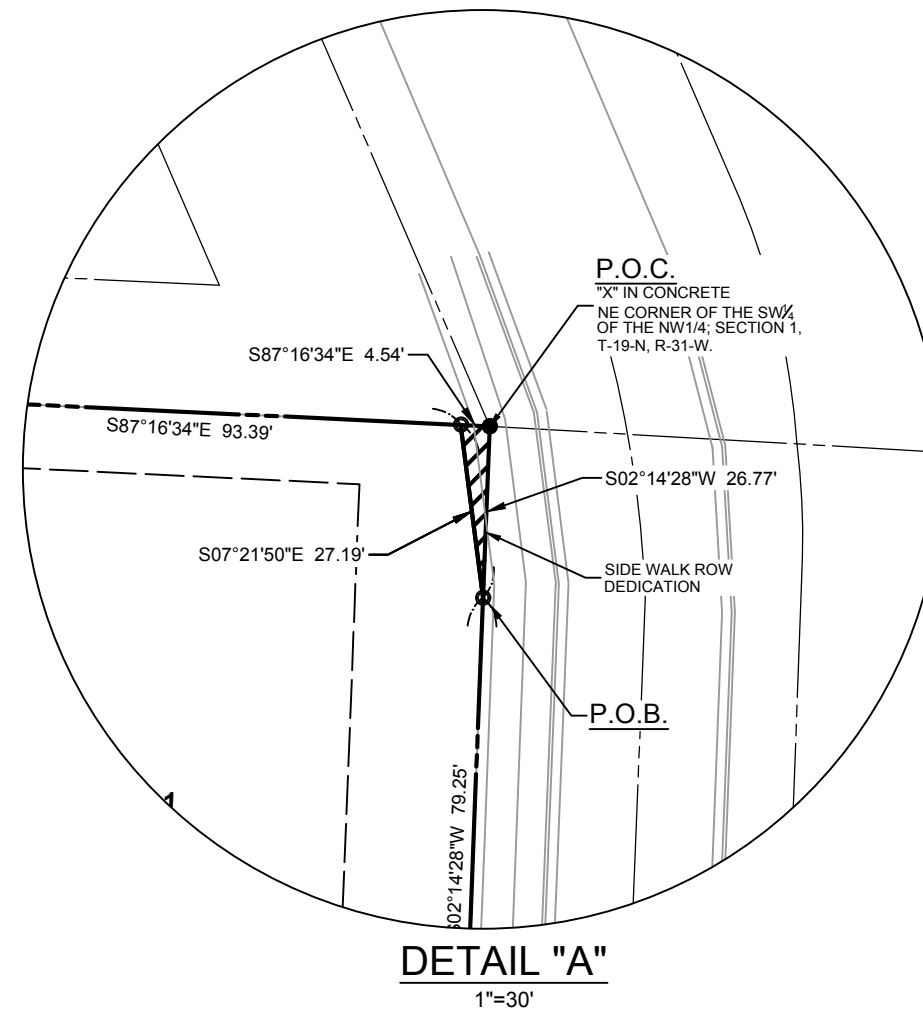
ZONING - R-1

SETBACKS (NOT SHOWN) - FRONT 20'
REAR - 25'
SIDE INTERIOR - 7'
SIDE EXTERIOR - 20'

ACRES: 9.78
TOTAL LOT COUNT: 39 LOTS
BUILDABLE LOTS: 37 LOTS
NON-BUILDABLE LOTS: LOT #: 38 & 39

Curve Table

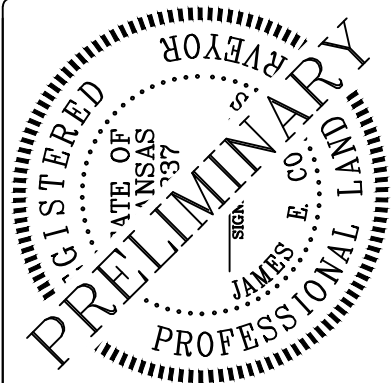
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C6	18.30	13.49	77°42'47"	N48° 26' 26"W	16.93
C7	20.43	13.18	88°46'15"	S48° 54' 55"W	18.44
C8	65.91	225.00	16°47'02"	S83° 53' 50"W	65.68
C9	2.19	225.00	0°33'31"	N75° 13' 34"E	2.19
C10	54.13	175.00	17°43'17"	N83° 48' 27"E	53.91
C12	21.20	14.06	86°22'08"	S43° 12' 34"E	19.24



CLIENT:
CRESTWOOD HOMES, LLC.
3103 S.E. MOBERLY LANE
BENTONVILLE, AR 72712
479-254-4504
BARRY COOKSEY

SHEET 2

OAK MEADOWS SUBDIVISION
BEEN ROAD
BENTONVILLE, ARKANSAS

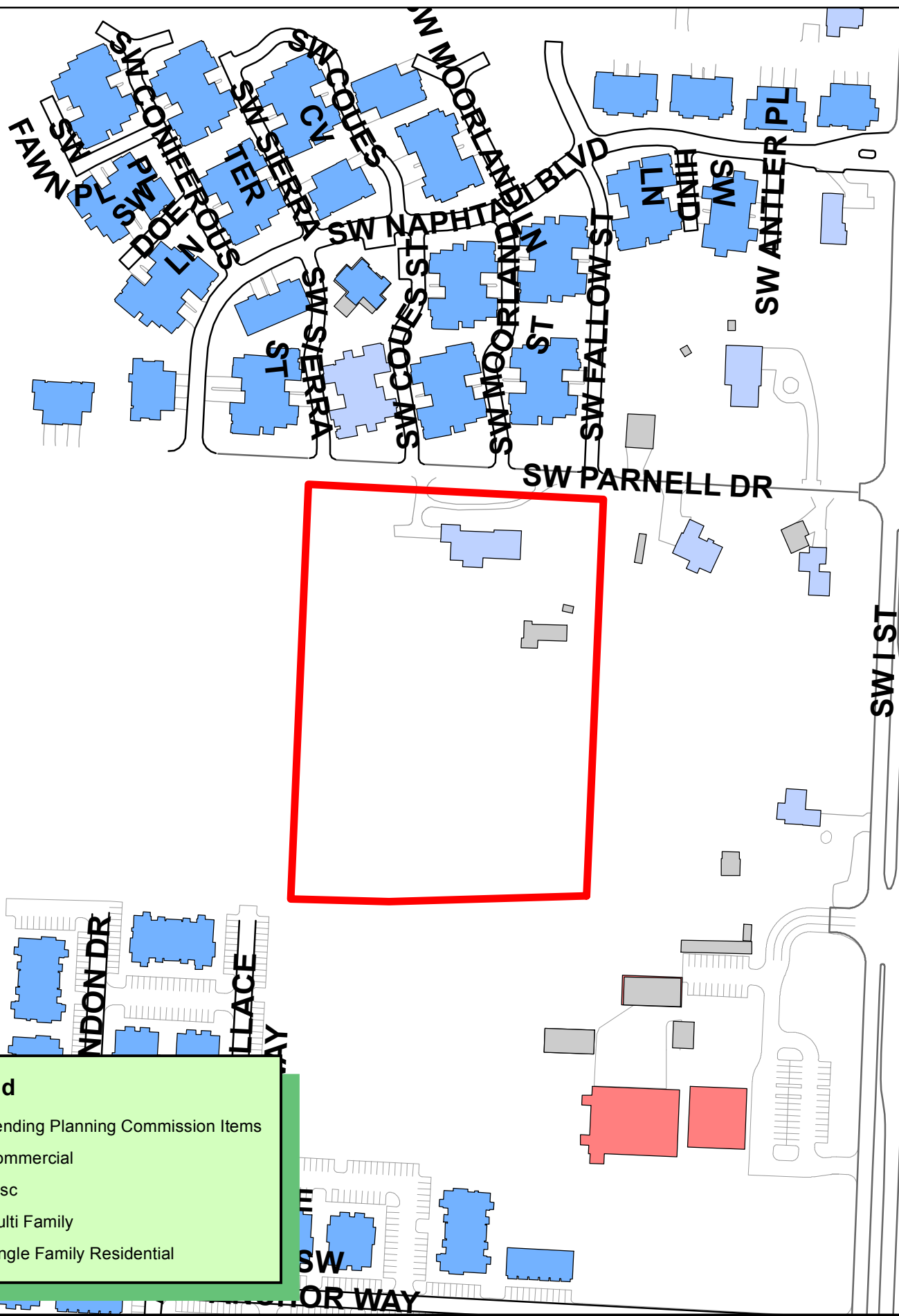


SAND CREEK
Engineering and Land Surveying
Bentonville, Arkansas (479) 464-9262



PLS:	JWI
CAD:	AF
FIELD:	MJH
SCE PROJECT #:	16049
DATE:	8/06/2018
SHEET:	3 OF 3

City of Bentonville
Project #
FP18-00005
State Filing Code:
500-19N-31W-0-01-430-04-1337



Legend

-  Pending Planning Commission Items
-  Commercial
-  Misc
-  Multi Family
-  Single Family Residential



1 inch = 200 feet

FP18-0006
FINAL PLAT
PE LIVINGSTON SQ SUB



Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	62.83	40.00	90°00'00"	S42° 36' 38"E	56.57
C2	62.83	40.00	90°00'00"	N47° 23' 22"E	56.57
C3	23.42	15.00	89°27'10"	N42° 20' 13"W	21.11
C4	23.70	15.00	90°32'50"	S47° 39' 17"W	21.31
C5	18.04	65.00	15°54'09"	S5° 33' 42"E	17.98
C6	24.25	65.00	21°22'34"	S24° 12' 04"E	24.11
C7	42.61	65.00	37°33'36"	S53° 40' 09"E	41.85
C8	17.20	65.00	15°09'41"	S80° 01' 47"E	17.15
C9	23.56	15.00	90°00'00"	S42° 36' 38"E	21.21
C10	23.56	15.00	90°00'00"	N47° 23' 22"E	21.21
C11	3.00	65.00	2°38'43"	S88° 56' 00"E	3.00
C12	99.10	65.00	87°21'17"	N46° 04' 00"E	89.78
C13	23.42	15.00	89°27'10"	N42° 20' 13"W	21.11

Legal Description:

Lots One (1) and Two (2) of Rone Subdivision to the City of Bentonville, Benton County, Arkansas per the plat of said subdivision filed for record in Plat Book 2015 at Page 174 in the Office of the Circuit Clerk and Ex-Officio Recorder for Benton County, Arkansas.

Also, being described by survey as being a part of the Northeast Quarter (NE ¼) of the Southeast Quarter (SE ¼) of Section One (1), Township Nineteen (19) North, Range Thirty-One (31) West, Benton County, Arkansas AS:
Commencing at the Southeast Corner of said section and running thence North 02°25'32" East a distance of 1,394.06 feet to a point; thence South 88°19'45" West a distance of 445.94 feet to the POINT OF BEGINNING; thence continue South 88°19'45" West along said line, a distance of 297.96 feet to a point; thence North 88°21'05" West a distance of 147.78 feet to a point; thence North 02°24'28" East a distance of 624.51 feet to a point; thence South 87°03'48" East a distance of 444.80 feet to a point; thence South 02°23'22" West a distance of 597.25 feet to the POINT OF BEGINNING containing in all 273,121 square feet or 6.27 acres, more or less and being further subject to any rights-of-ways, easements, liens, or encumbrances which may or may not be of record.

NOTES REGARDING PLACEMENT OF UNITS ON ZERO SETBACK LOTS:

1. RESIDENCES BUILT ON LOTS 1 THROUGH 11 SHALL BE PLACED CLOSEST TO THE SOUTHERNMOST PROPERTY LINE OF THESE LOTS.
2. RESIDENCES BUILT ON LOTS 13 THROUGH 17 SHALL BE PLACED CLOSEST TO THE EASTERNMOST PROPERTY LINE OF THESE LOTS.
3. RESIDENCE ON LOT 18 SHALL BE PLACED 20' FROM THE EASTERNMOST PROPERTY LINE OF THAT LOT.
4. RESIDENCES BUILT ON LOTS 19 THROUGH 32 SHALL BE PLACED CLOSEST TO THE NORTHERNMOST PROPERTY LINE OF THOSE LOTS.
5. BUILDERS TO COORDINATE WITH BEUD THE PLACEMENT OF ELECTRIC METERS SO THAT FUTURE EXTERIOR FENCES DO NOT BLOCK ACCESS TO METERS.

Certificate of Ownership

We the undersigned, owners of the real estate shown and described herein, do hereby certify that we have laid off, platted, and subdivided and do hereby lay off, plat, subdivide said real estate in accordance with this plat and do hereby dedicate to the use of the public the streets, alleys, drives, easements, etc. as shown on said plat.

Date of Execution: _____

Signed: _____ Name & Address _____ Name & Address _____

Source of Title: D.R. _____

Page _____

Certificate of Approval

Pursuant to the Bentonville Subdivision Regulations and all other conditions and approval having been completed, this document is hereby accepted. This Certificate is hereby executed under the authority of the said rules and regulations.

Date of Execution: _____

Signed _____ (Bentonville Planning Commission Chairman)

Signed _____ (Mayor City of Bentonville)

Signed _____ (City Clerk, City of Bentonville)

Certificate of Surveying Accuracy

I, _____, hereby certify that this plat correctly represents a boundary survey made by me and boundary markers and lot corners shown hereon actually exist and their location, type and material are correctly shown and all minimum requirements of the Arkansas Minimum Standards for Land Surveyors have been met.

Date of Execution: _____

Signed: _____
Registered Land Surveyor
No. _____
State of Arkansas

SETBACKS FOR RZL ZONE

FRONT 20'
FRONT LOAD GARAGE 30'
SIDE 0'/12'
EXTERNAL SIDE 20'
REAR 25'
RIGHT OF WAY 50'/52'

CURRENT ZONING:
RZL ZONE

PROPOSED USE:
RESIDENTIAL SINGLE FAMILY DETACHED

FLOOD HAZARD CERTIFICATION:

THIS IS TO CERTIFY THAT BY GRAPHIC PLOTTING ONLY, THIS PROPERTY (THE SUBJECT PROPERTY SURVEYED) IS WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS PER FEMA FIRM MAP COMMUNITY MAP NUMBER 05007C0255K, EFFECTIVE DATE, JUNE 5, 2012 BASED UPON OUR INTERPRETATION OF THE LOCATION OF THE FLOOD HAZARD BOUNDARY LIMITS IN RELATION TO THE PROPERTY LINES.

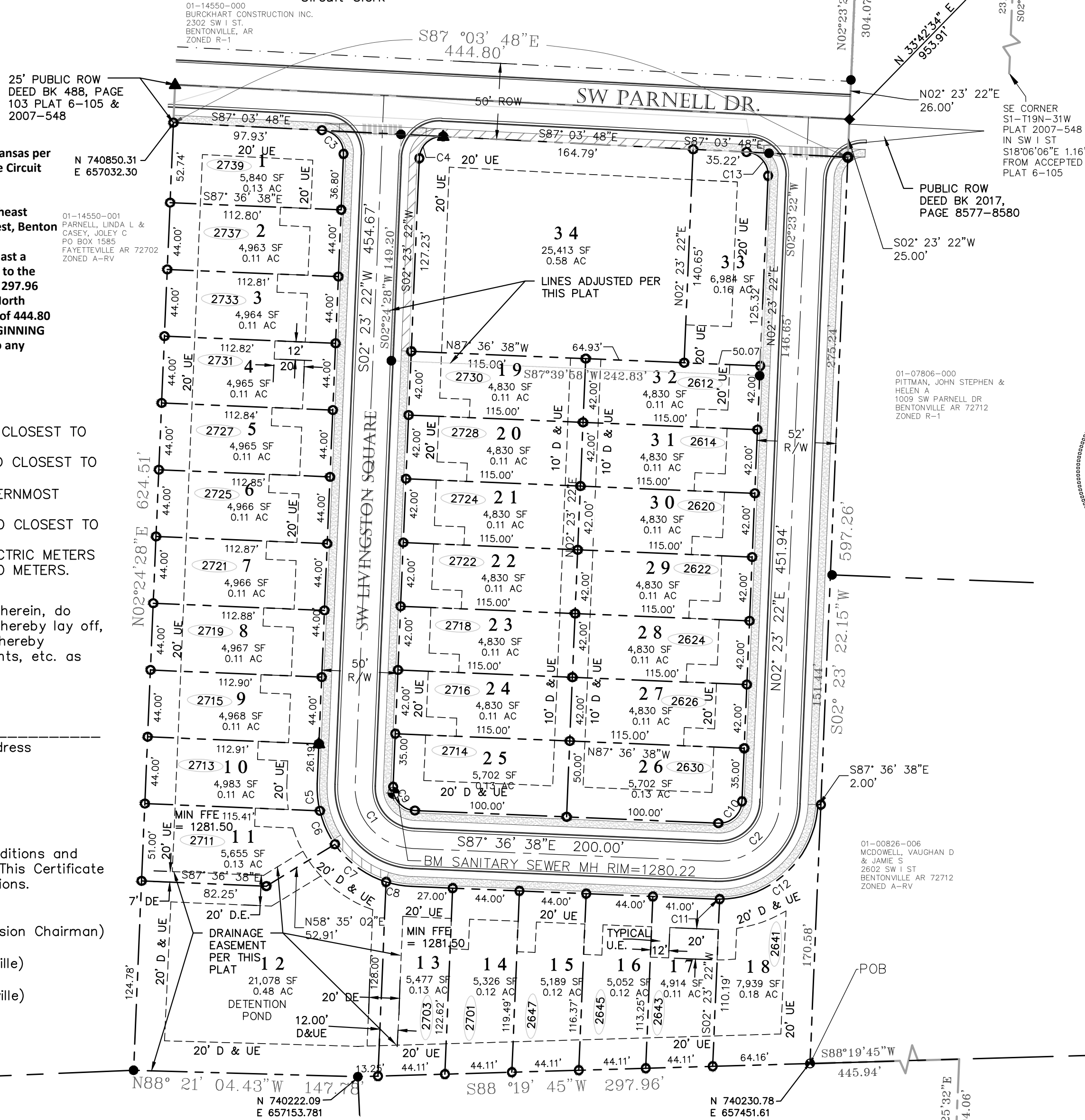
Certificate of Recording

This document filed for record _____ day,

20____ in Plat Book No. _____, page _____

Signed: _____

Circuit Clerk



NOTES:

1. BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND/OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITHIN THE RIGHT-OF-WAY. WORK IN RIGHT-OF-WAY MAY REQUIRE SEPARATE PERMIT.
2. SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE
3. THERE MAY NOT BE FENCES OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENT.
4. OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.

BASIS OF BEARINGS:

ARKANSAS STATE PLAN COORDINATE SYSTEM
ARKANSAS-NORTH: BENTONVILLE GPS #1, CONVERGENCE -01°17'10.54".

COMMONLY HELD AREAS:

LOT 12 WILL BE A COMMON AREA CONTAINING THE DETENTION POND.

ENGINEER

EARTHPLAN DESIGN ALTERNATIVES, PA
James Geurtz (Professional License # 15,162)
134 W. EMMA AVE.
SPRINGDALE, AR 72764
(O) 479-756-1266 (F) 479-755-3570

SURVEYOR

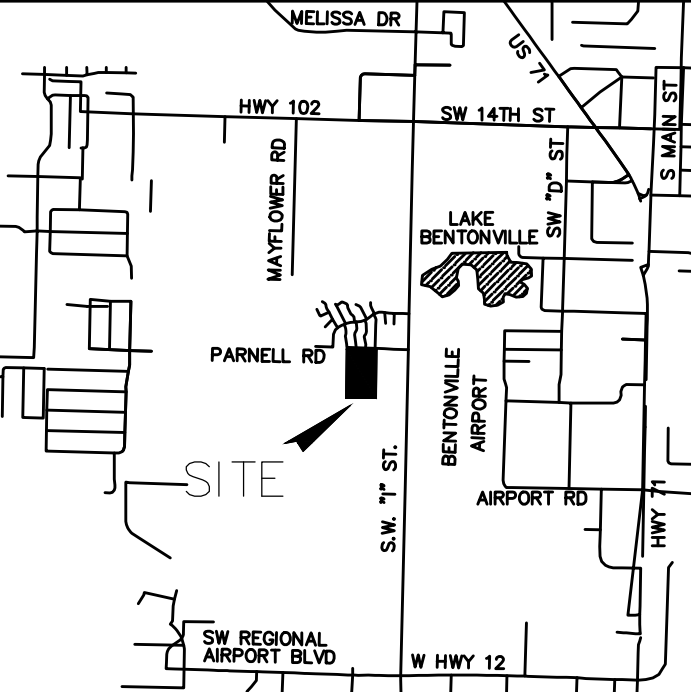
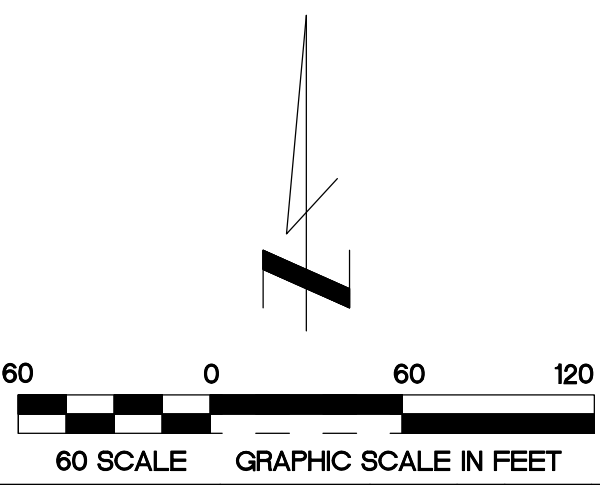
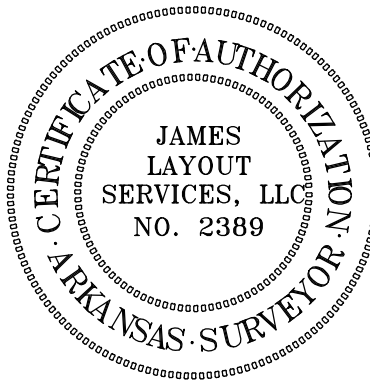
James Layout Services
Matt James, PS
7601 W Wedington Dr
Fayetteville, AR 72704
479-439-9929

OWNER/DEVELOPER

Buildup Development LLC, Parker, Stephanie & Jamal
111 W Parnell Drive
Bentonville, AR 72712
479-657-0945

LEGEND

---	PROPERTY LINE
---	EASEMENT
---	STREET CENERLINE
---	ROW LINE
●	SITE BENCHMARK
▲	MAGNAIL
◆	RR SPIKE
●	5/8" FOUND IRON PIN
○	5/8" SET IRON PIN
●	POB
●	POC
▨	NON-BUILT SIDEWALK
▩	BUILT SIDEWALK



VICINITY
Not to Scale

AR STATE PLAT CODE:
500-19N-31W-0-01-210-04-1845

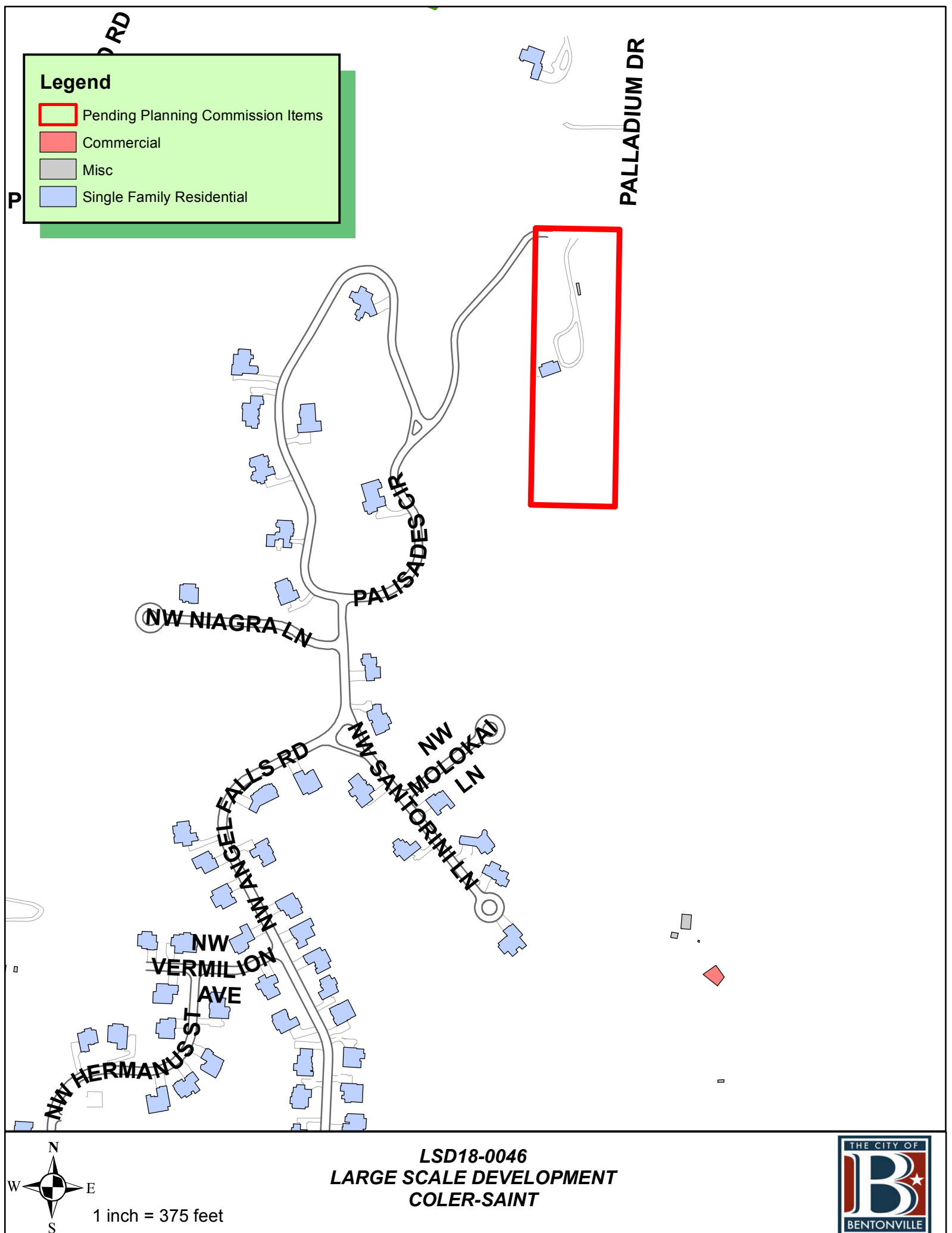
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DATE: 10/17/2017	
SCALE: 1" = 60'	
JOB NUMBER: 1843	
ATLAS PAGE: 443	
FILENAME: 1843 FINAL PLAT.DWG	

SCALE
1" = 60'

FINAL PLAT
PE LIVINGSTON SQUARE SUBDIVISION
BENTONVILLE, AR

James Layout Services, LLC
P.O. Box 611
Farmingington, Arkansas 72730
Telephone: (479) 439-9929
survey@jlsnwa.com

FINAL PLAT



Legend

-  Pending Planning Commission Items
-  Commercial
-  Misc
-  Single Family Residential

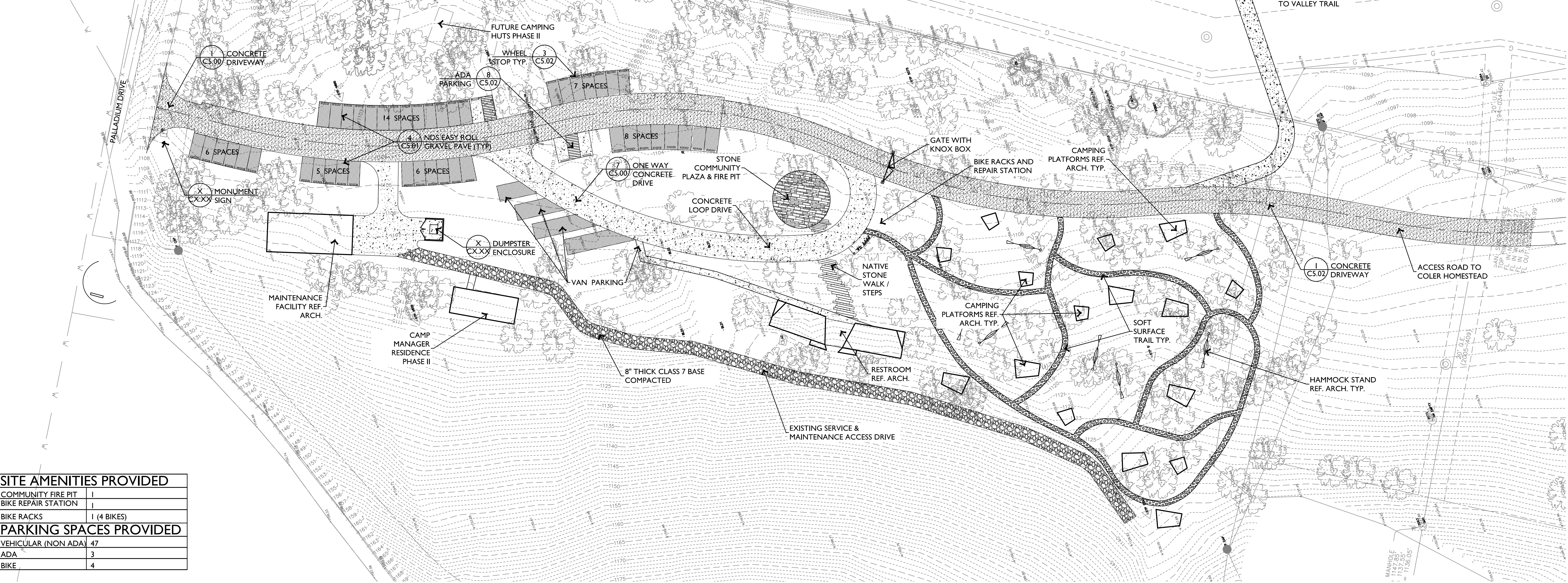
LSD18-0046

LARGE SCALE DEVELOPMENT
COLER-SAINT



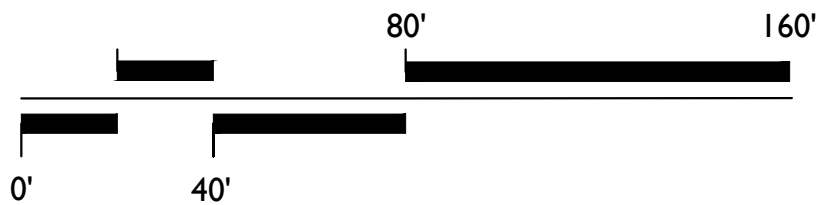
GENERAL NOTES:

- EXISTING SURVEY DATA WAS OBTAINED FROM A TOPOGRAPHIC & BOUNDARY SURVEY PERFORMED BY CASTER & ASSOCIATES LAND SURVEYING, INC. AND DATED JANUARY 4, 2017.
- SURVEY DATA IS BASED UPON NAD 83, STATE PLANE, ARKANSAS NORTH FEET COORDINATE SYSTEM.
- ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, STATE, AND FEDERAL REGULATIONS AND CODES AS WELL AS OSHA STANDARDS. SITE CONTRACTOR SHALL MEET OR EXCEED ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL MEASURES
- THE APPROXIMATE LOCATION OF KNOWN UTILITIES & SUBSURFACE STRUCTURES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND VISIBLE STRUCTURES & RECORD DRAWINGS PROVIDED. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF THESE & ALL OTHER SUBSURFACE AND/OR LATENT FACILITIES PRIOR TO BEGINNING WORK. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE & THE COST OF SUCH REPAIRS NECESSARY SHALL BE BORNE BY THE CONTRACTOR.
- ALL WORK PERFORMED WITHIN THE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE CITY OF BENTONVILLE ENGINEERING DEPARTMENT AND TRAFFIC DEPARTMENT.
- ALL STREETS, DRIVES, WALKS, DRAINAGE STRUCTURES, FENCES, ETC. THAT ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION USING LIKE MATERIALS. COST OF SUCH REPAIRS SHALL BE BORNE BY THE CONTRACTOR UNLESS PROVISION FOR PAYMENT IS MADE IN THE PROPOSAL.
- THE CONTRACTOR IS REQUIRED TO NOTIFY THE ONE CALL CENTER AT 1-800-482-8998 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
- THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN IMPLEMENTED, AND THE SWPPP, EROSION CONTROL PLAN, AND SIGNED AUTOMATIC NOTICE OF COVERAGE IS POSTED ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AS DESCRIBED IN THE SPECIFICATIONS (INCLUDING BUT NOT LIMITED TO COMPACTION DENSITY TESTING, ETC.), AND SHALL PROVIDE RESULTS TO ENGINEER, AND MAINTAIN RECORDS AND RESULTS OF ALL TESTS PERFORMED DURING CONSTRUCTION. TESTING BY THE CONTRACTOR SHALL BE INCLUDED IN THE BID.
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- SLOPES AND GRADES SHOWN ARE IN UNITS OF FT/FT UNLESS OTHERWISE NOTED.
- ALL PAVEMENT AND CURB MEASUREMENTS ARE TAKEN FROM FACE OF CURB OR EDGE OF PAVEMENT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
- ALL MECHANICAL EQUIPMENT (ROOF & GROUND MOUNTED) WILL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS THE BUILDING.
- THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH SIMILAR MATERIALS AS THE BUILDING.



SAINT PROPERTY - SITE PLAN

SCALE: 1" = 40'-0"



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f 501.378.0201
314 South 3rd Street
Rogers, AR 72756
p 479.935.4826
210 E. Merriman Ave.
Wynne, AR 72396
p 870.588.6426
f 870.238.8310

COLER - SAINT
BENTONVILLE, ARKANSAS

contents: SITE PLAN -
SAINT PROPERTY

design: LARGE SCALE
DEVELOPMENT
date: 2018.08.06
project: 16.04
LSD18-0046



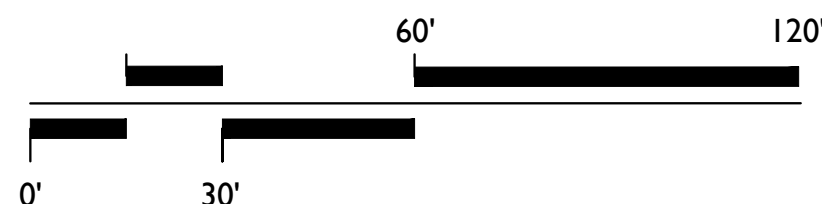
ALL DISTURBED AREAS TO RECEIVE NATIVE GRASS & WILDFLOWER MEADOW SEED MIX. PROVIDE CLEAN, WEED FREE WHEAT OR RICE STRAW AS COVER. PROVIDE BIODEGRADABLE EROSION CONTROL BLANKETS SF-75BN BY NORTH AMERICAN GREEN OR EQUAL. SECURE WITH BIODEGRADABLE ANCHORS ON SLOPES 3:1. NATIVE SEEDING 50 LBS ACRE BETWEEN ON 1/2" COMPOST

IRRIGATION NOTE:
NO IRRIGATION FOR NATIVE GRASS AND SEEDS AREAS. TYPICAL POP UP SPRAY IRRIGATION FOR ALL SODDED AREAS - SINGLE HEAD COVERAGE ONLY NOT DOUBLE

UTILITY NOTE:
WHERE POTENTIAL UTILITY CONFLICTS WITH LANDSCAPING, UTILITY LOCATIONS SHALL BE FIELD VERIFIED.

SAINT PROPERTY - LANDSCAPE PLAN

SCALE: 1" = 30'-0"



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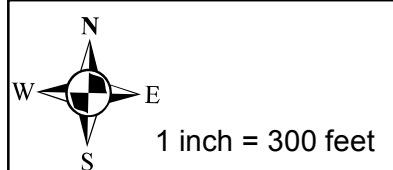
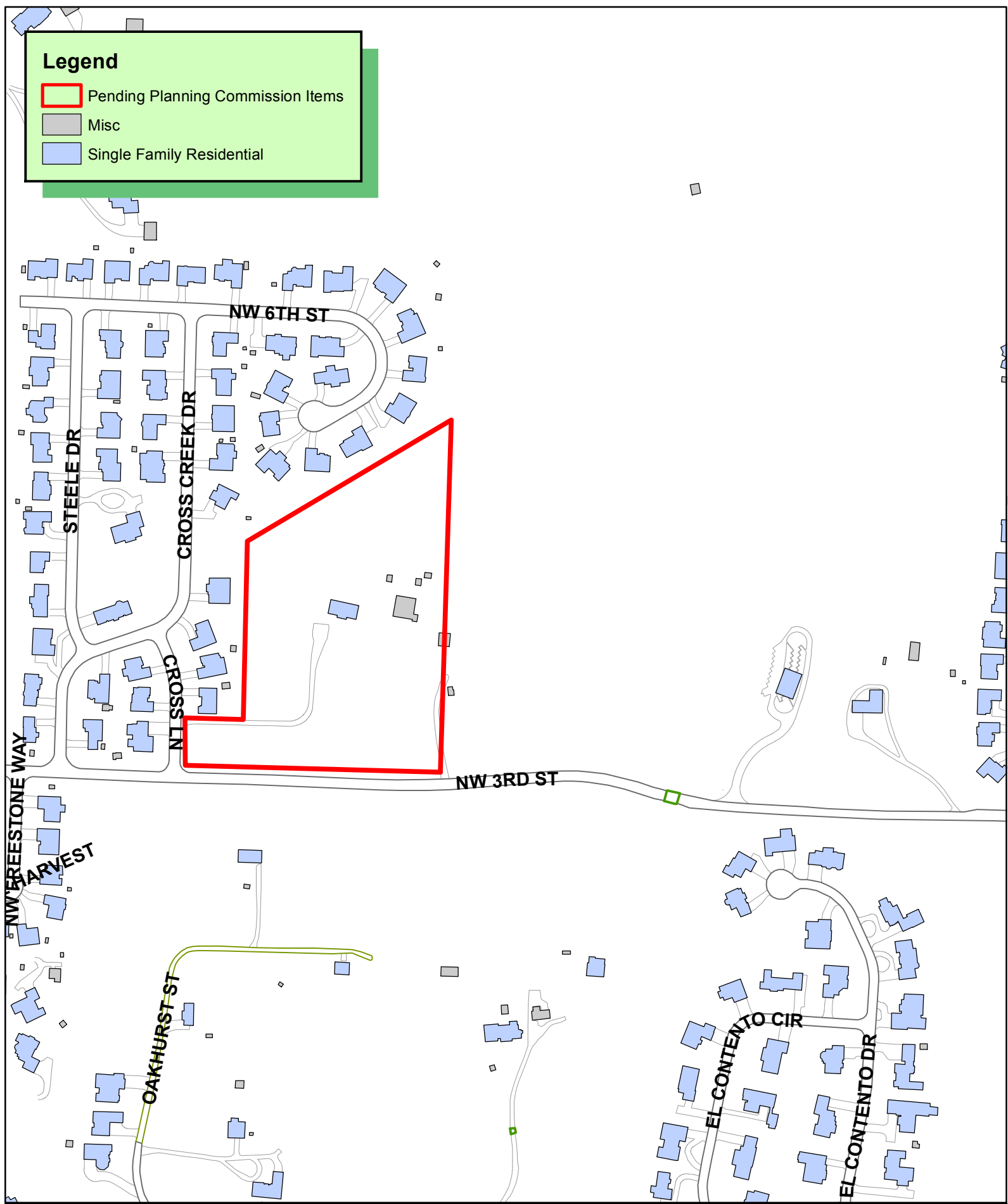
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p 870.588.6
f 870.238.8

COLER - SAINT
BENTONVILLE, ARKANSAS

contents: LANDSCAPE
PLAN
design: LARGE SCALE
DEVELOPMENT
date: 2018.08.06
project: 16.04
LSD18-0046

Legend

-  Pending Planning Commission Items
-  Misc
-  Single Family Residential

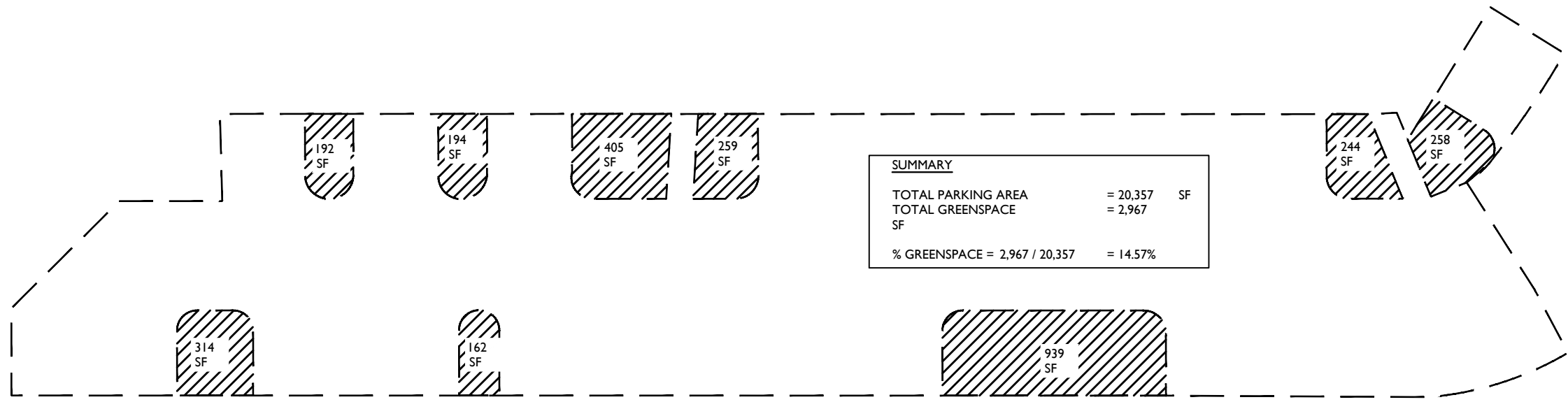


LSD18-0047
LARGE SCALE DEVELOPMENT
COLER-STANBERRY

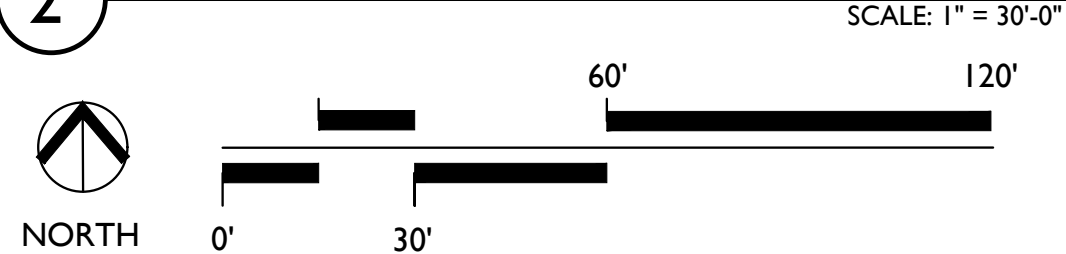


GENERAL NOTES:

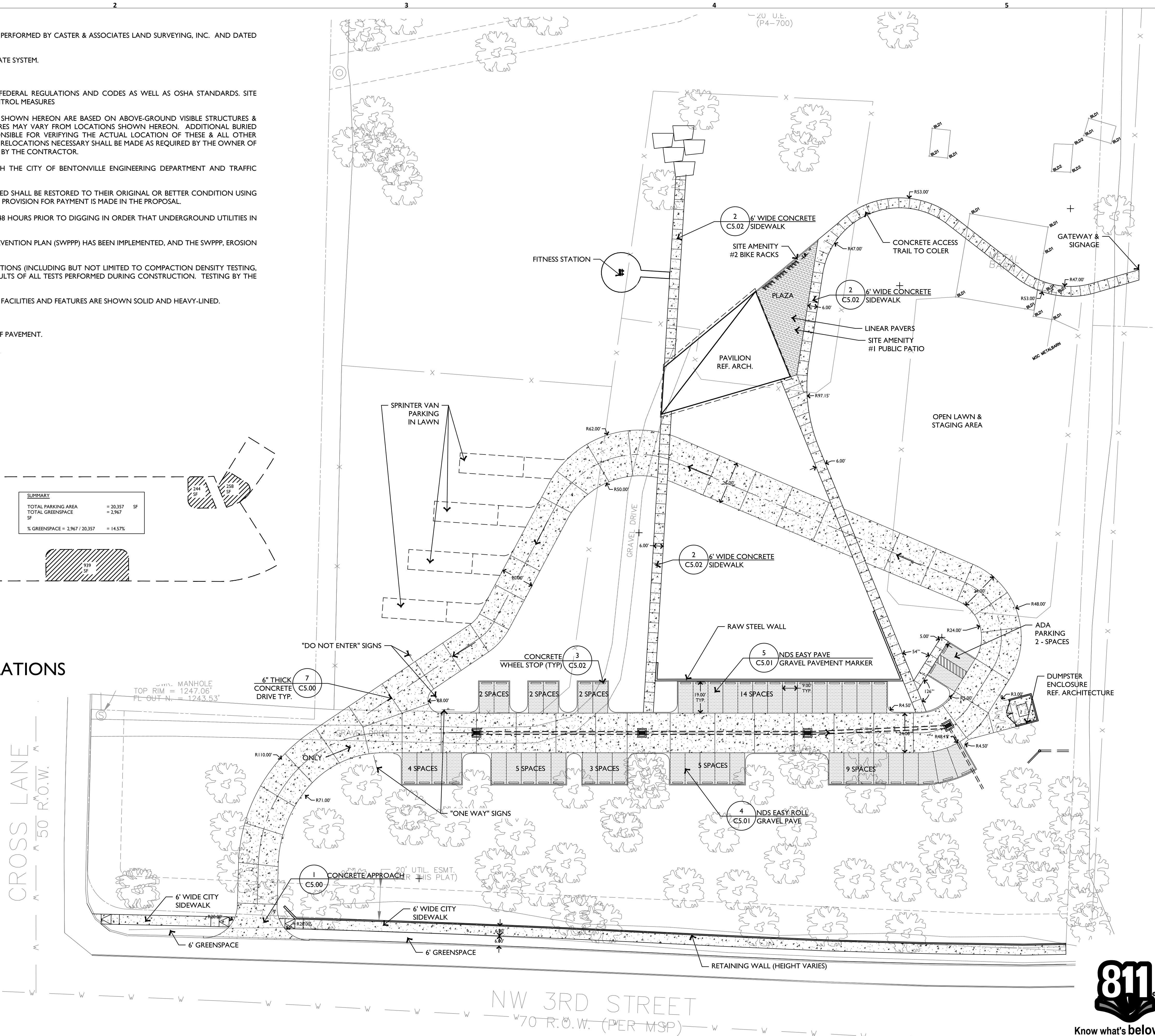
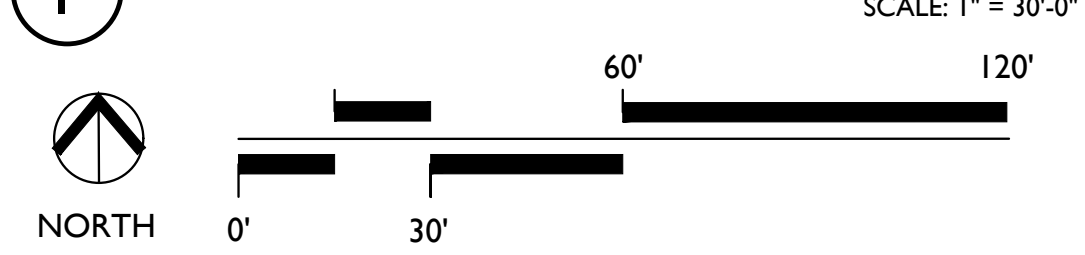
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2 INTERIOR GREEN SPACE CALCULATIONS



1 STANBERRY PROPERTY - SITE PLAN



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COLER - STANBERRY
2500 NW 3RD STREET
BENTONVILLE, ARKANSAS

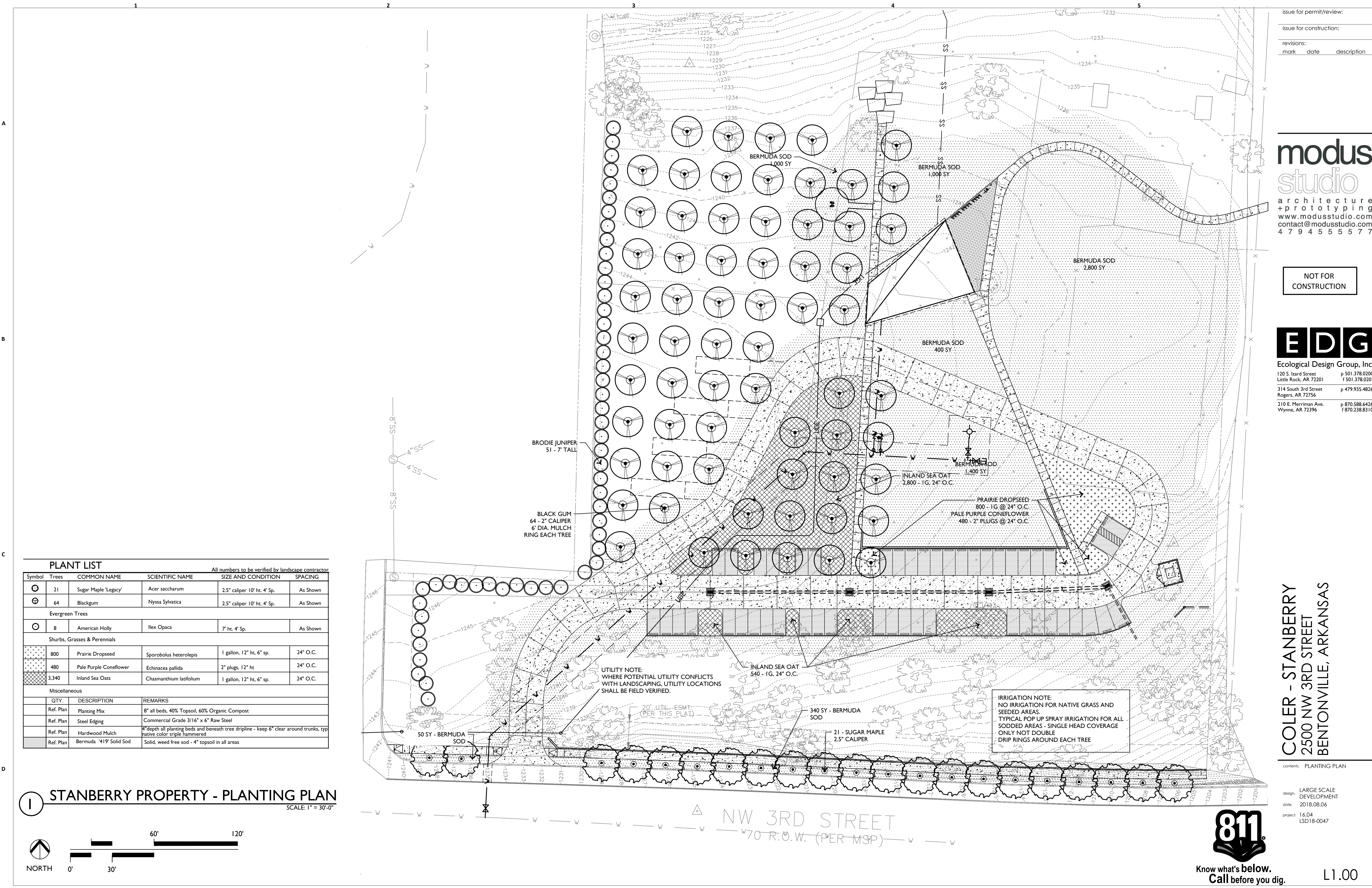
contents: SITE PLAN

design: LARGE SCALE DEVELOPMENT
date: 2018.08.06
project: 16.04
LSD18-0047



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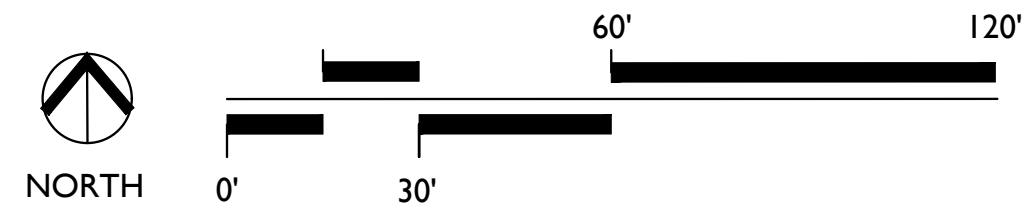
C1.00



PLANT LIST				
Symbol	Trees	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
	21	Sugar Maple 'Legacy'	Acer saccharum	2.5" caliper 10' ht. 4" Sp.
	64	Blackgum	Nyssa Sylvatica	2.5" caliper 10' ht. 4" Sp.
Evergreen Trees				
	8	American Holly	Ilex Opaca	7' ht. 4" Sp.
Shurbs, Grasses & Perennials				
	800	Prairie Dropseed	Sporobolus heterolepis	1 gallon, 12" ht, 6" sp.
	480	Pale Purple Coneflower	Echinacea pallida	2" plugs, 12" ht.
	3,340	Inland Sea Oats	Chasmanthium latifolium	1 gallon, 12" ht, 6" sp.
Miscellaneous				
QTY.	DESCRIPTION	REMARKS		
Ref. Plan	Planting Mix	8" all beds, 40% Topsoil, 60% Organic Compost		
Ref. Plan	Steel Edging	Commercial Grade 3/16" x 6" Raw Steel		
Ref. Plan	Hardwood Mulch	4" depth all planting beds and beneath tree dripline - keep 6" clear around trunks, typ native color triple hammered		
Ref. Plan	Bermuda '419' Solid Sod	Solid, weed free sod - 4" topsoil in all areas		

1 STANBERRY PROPERTY - PLANTING PLAN

SCALE: 1" = 30'-0"



issue for permit/review:		
issue for construction:		
revisions:		
mark	date	description

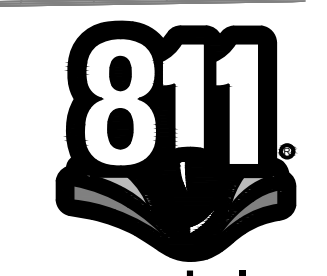
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COLER - STANBERRY
2500 NW 3RD STREET
BENTONVILLE, ARKANSAS

contents:	PLANTING PLAN
design:	LARGE SCALE DEVELOPMENT
date:	2018.08.06
project:	16.04 LSD18-0047



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CONDITIONAL USE STAFF REPORT



McCoy Investments

401 SE Walton Boulevard

PC Date: 8/21/2018

Reviewer: Tyler Overstreet, Planner

Project Number	DB18-0005
Applicant / Current Owner	McCoy Investments, LLC 1111 SE 34 th Street Bentonville, AR 72712
Site Area	N/A
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Requested Use	Digital Billboard
Protective Covenants	N/A

Property Description

This property is located at 401 SE Walton Street, east of SE C Street. The site is currently zoned C-2, General Commercial.

Proposed Use Description

Ashby Street proposes to trade in square footage from the removal of approximately 5,560 square feet of sign area (16 static faces) for the addition of approximately 1,967 square feet of sign area (7 digital faces + 1 sign area increase).

This request is for the removal of an existing double-stack, static billboard and replacement with a new single-stack, digital billboard at 401 SE Walton Boulevard.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

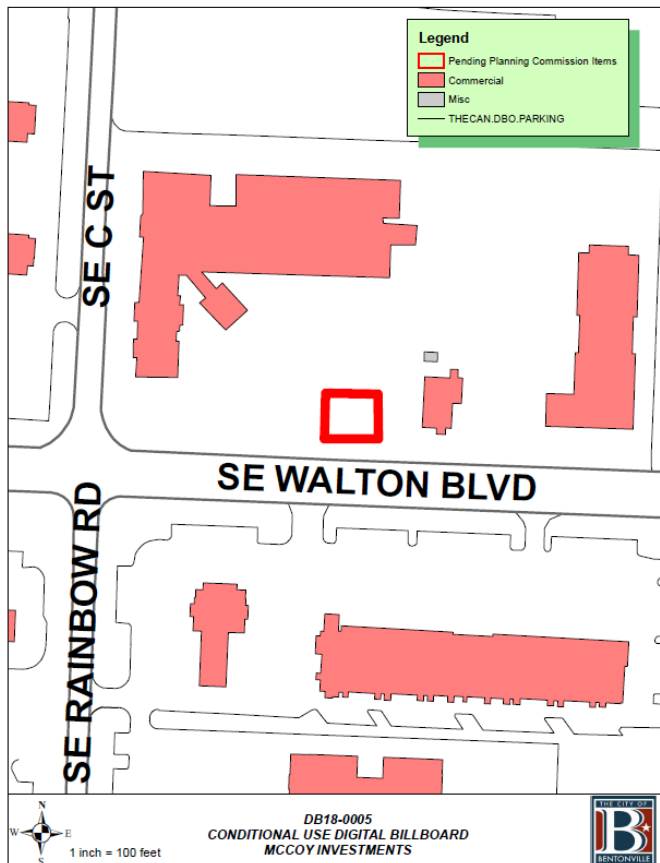
Staff has not been contacted regarding this request.

Conditions of Approval

1. All technical review comments must be addressed before a sign permit will be issued.
2. The digital billboard must not be located in any utility easements and must maintain proper separation from any public utilities.
3. This Conditional Use Permit shall be valid in perpetuity after issuance.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



East Face of Proposed
Removal



West Face of Proposed Removal



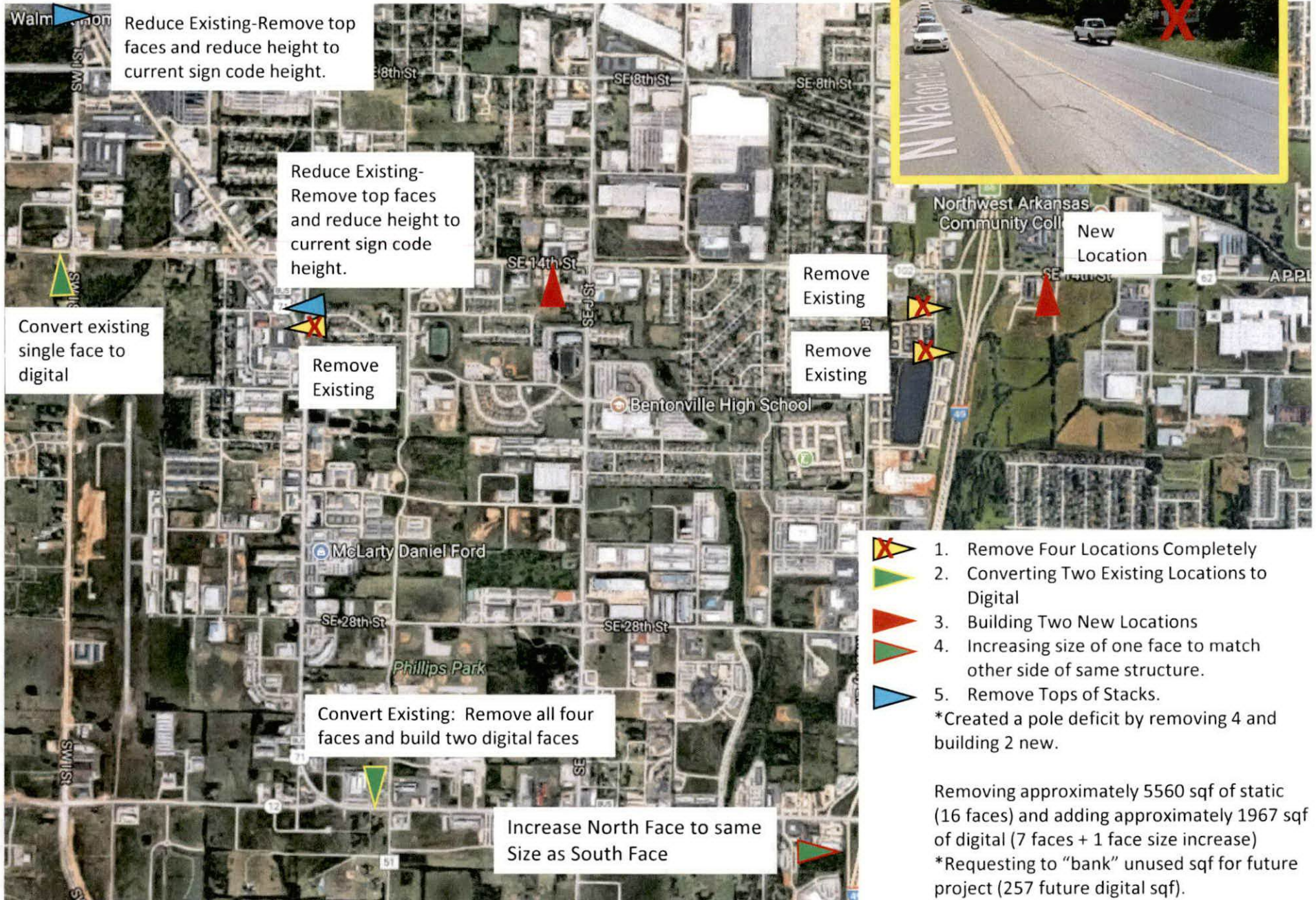


Proposed New Location

© 2013 Google

© 2013 Google

Updated Plan



CONDITIONAL USE STAFF REPORT



SC Eagle 1, LLC

1400 SE Eagle Way

PC Date: 8/21/2018

Reviewer: Tyler Overstreet, Planner

Project Number	DB18-0006
Applicant / Current Owner	SC Eagle 1, LLC 1074 W Industrial Dr Rogers, AR 72756
Site Area	N/A
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Requested Use	Digital Billboard
Protective Covenants	N/A

Property Description

This property is located at 1400 SE Eagle Way, east of I-49 and south of SE 14th Street. The site is currently zoned C-2, General Commercial.

Proposed Use Description

Ashby Street proposes to trade in square footage from the removal of approximately 5,560 square feet of sign area (16 static faces) for the addition of approximately 1,967 square feet of sign area (7 digital faces + 1 sign area increase).

This request is for the construction of a new, digital billboard at 1400 SE Eagle Way.

Projected Traffic Impact

The proposed use will not adversely impact traffic in the area.

Public Notice

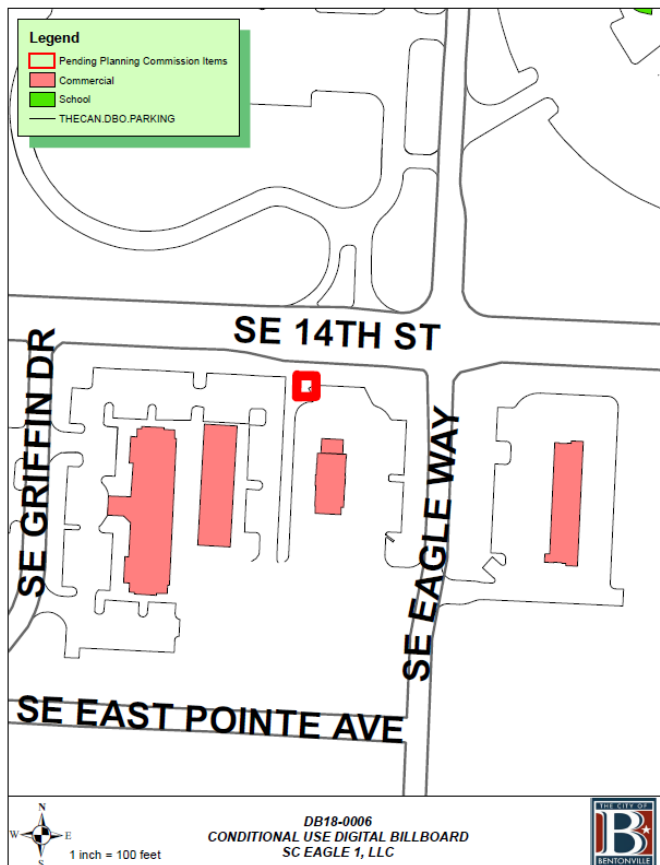
Staff has not been contacted regarding this request.

Conditions of Approval

1. All technical review comments must be addressed before a sign permit will be issued.
2. The digital billboard must not be located in any utility easements and must maintain proper separation from any public utilities.
3. This Conditional Use Permit shall be valid in perpetuity after issuance.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Legend

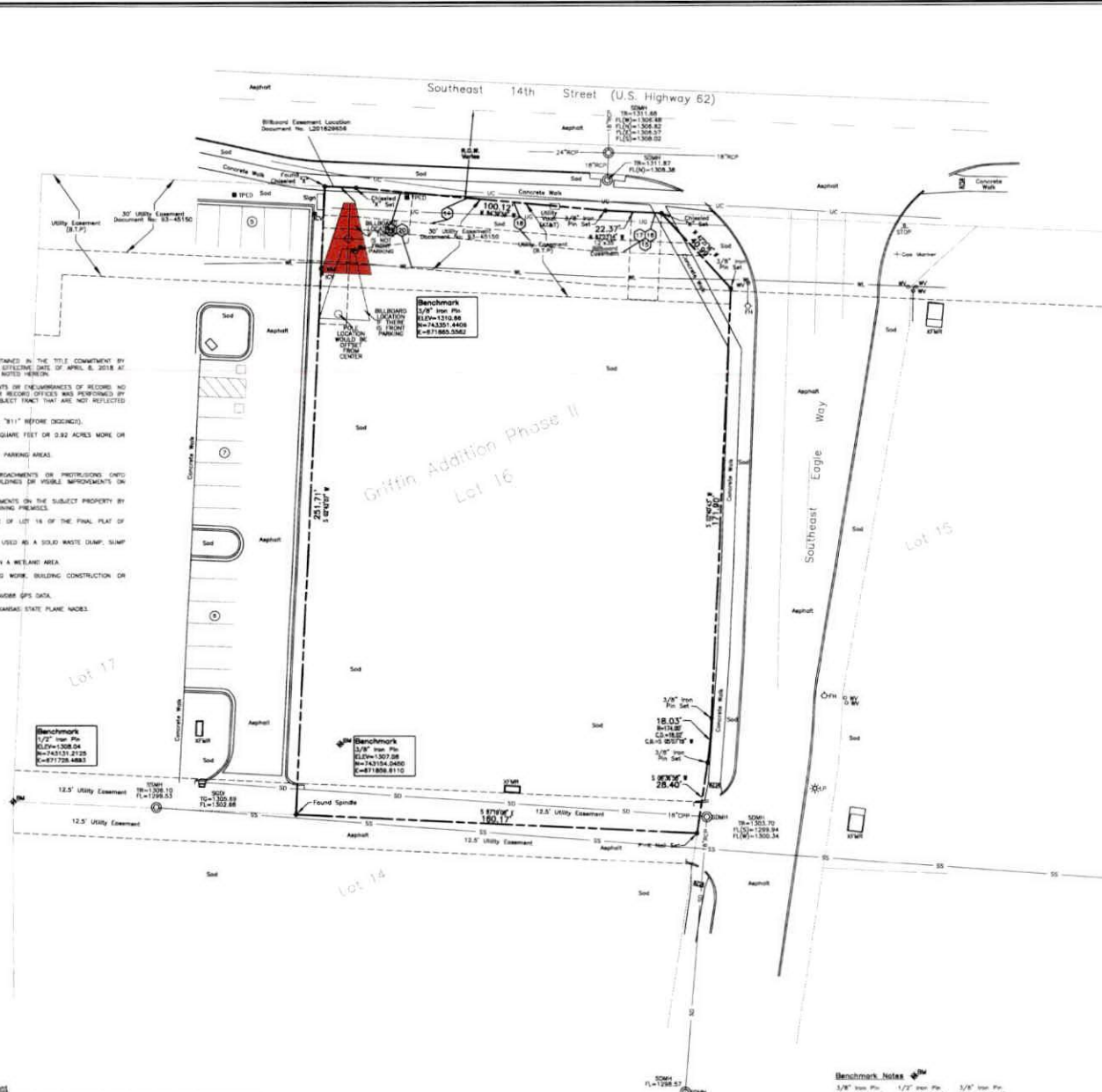
SC BOTTOM OF CURB
BM BENCHMARK
EW BOTTOM OF WALL
FL FLOWLINE (INVERT)
GW GAS WITHIN
GUY GUY WIRE DOWN
GV GAS VALVE
DE OVERHEAD ELECTRIC
PP POWER POLE
RCP REINFORCED CONCRETE PIPE
SD STORM DRAIN
SS STORM DRAIN MANHOLE
SS SANITARY SEWER
SS SANITARY SEWER MANHOLE
TC TOP OF CURB
TSD TELEPHONE DRAINAGE
TLP TRAFFIC LIGHT POLE
TM TOP OF MOUNTAIN
TW TOP OF WALL
UE UNDERGROUND ELECTRIC
UG UNDERGROUND GAS
TNG TANGUARD

Notes

1. ALL EASEMENTS AND RIGHTS OF WAY THAT ARE CONTAINED IN THE TITLE COMMITMENT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF APRIL 8, 2018 AT 7:50 AM, COMMITMENT NO. 171-4911, ARE SHOWN AND NOTED HEREON.
2. THIS FIRM WAS NOT CONTRACTED TO RESEARCH EASEMENTS OR ENCUMBRANCES OF RECORD, NO ATTEMPT TO RESEARCH THE COUNTY RECORDS OR OTHER RECORD OFFICES WAS PERFORMED BY THIS FIRM. THEREFORE, EASEMENTS MAY AFFECT THE SUBJECT TRACT THAT ARE NOT REFLECTED BY THIS PLAN.
3. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. (CALL "811" BEFORE DIGGING).
4. THE PROPERTY DESCRIBED HEREON CONTAINS 42.95 SQUARE FEET OR 0.92 ACRES MORE OR LESS.
5. THE PROPERTY DESCRIBED HEREON CONTAINS 0 STRIPED PARKING AREAS.
6. EXCEPT AS SHOWN HEREON, THERE ARE NO ENCUMBRANCES OR PROTRUSIONS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDING OR IMPROVEMENTS ON THE SUBJECT PROPERTY.
7. EXCEPT AS SHOWN HEREON, THERE ARE NO ENCUMBRANCES ON THE SUBJECT PROPERTY BY BUILDINGS OR VISIBLE IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
8. THE BASIS OF BEARING IS BASED ON THE WEST LINE OF LOT 16 OF THE FINAL PLAT OF GRIFFIN ADDITION AS BEING S27°42'00"W.
9. THERE IS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
10. THERE IS NO OBSERVED EVIDENCE OF THE SITE BEING IN A WETLAND AREA.
11. THERE IS NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
12. THE VERTICAL DATUM FOR THIS SURVEY IS BASED ON NAVD83 GPS DATA.
13. THE HORIZONTAL DATUM FOR THIS SURVEY IS BASED ON ARKANSAS STATE PLANE COORDINATES.

Utility Statement

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING CHARTERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES.



Exceptions

11. MATTERS AS SET FORTH ON PLAT FILED FOR RECORD IN PLAT BOOK 6 AT PAGE 203, PLAT BOOK 11 AT PAGE 173, PLAT BOOK 18 AT PAGE 103, PLAT BOOK 18 AT PAGE 182 AND PLAT BOOK 2011 AT PAGE 311 OF THE RECORDS OF BENTON COUNTY, ARKANSAS, RELATING BUT NOT LIMITED TO RESERVATIONS, RESTRICTIONS, EASEMENTS, COLOCATIONS, RIGHTS OF WAY AND STRUCK LINES. (AFFECTS SUBJECT PROPERTY AS SHOWN)
12. RIGHT OF WAY AND EASEMENT IN FAVOR OF ARKANSAS WESTERN GAS COMPANY, DATED SEPTEMBER 23, 1929 AND FILED FOR RECORD JANUARY 2, 1930, IN BOOK 188 AT PAGE 370 OF THE RECORDS OF BENTON COUNTY, ARKANSAS. (DOES NOT AFFECT SUBJECT PROPERTY)
13. RIGHT OF WAY AND EASEMENT IN FAVOR OF ARKANSAS WESTERN GAS COMPANY, DATED MAY 5, 1938 AND FILED FOR RECORD JUNE 12, 1938, IN BOOK 231 AT PAGE 342 OF THE RECORDS OF BENTON COUNTY, ARKANSAS. (DOES NOT AFFECT SUBJECT PROPERTY)
14. RIGHT OF WAY AND EASEMENT IN FAVOR OF ARKANSAS WESTERN GAS COMPANY, DATED APRIL 20, 1949 AND FILED FOR RECORD JUNE 5, 1949, IN BOOK 238 AT PAGE 353 OF THE RECORDS OF BENTON COUNTY, ARKANSAS. (AFFECTS SUBJECT PROPERTY AS SHOWN)
15. EASEMENT IN FAVOR OF SOUTHWESTERN BELL TELEPHONE COMPANY, A MISSOURI CORPORATION, DATED MAY 18, 1978 AND FILED FOR RECORD MAY 23, 1978, IN BOOK 527 AT PAGE 439, OF THE RECORDS OF BENTON COUNTY, ARKANSAS. (AFFECTS SUBJECT PROPERTY AS SHOWN)
16. EASEMENT IN FAVOR OF CONTEL OF ARKANSAS, INC., DATED AUGUST 23, 1985 AND FILED FOR RECORD AUGUST 25, 1986, IN BOOK 683 AT PAGE 220, AS AMENDED BY (1) CORRECTED EASEMENT FILED FOR RECORD NOVEMBER 15, 1986, IN BOOK 688 AT PAGE 639, (2) SUTCLIFF ASSIGNMENT AGREEMENT FILED FOR RECORD AUGUST 22, 2003, IN BOOK 2003 AT PAGE 1874(1), (3) ASSIGNMENT AGREEMENT FILED FOR RECORD AUGUST 28, 2003, IN BOOK 2003 AT PAGE 2009, AND (4) ASSIGNMENT AGREEMENT FILED FOR RECORD FEBRUARY 16, 2004, IN BOOK 2004 AT PAGE 3198, OF THE RECORDS OF BENTON COUNTY, ARKANSAS. (AFFECTS SUBJECT PROPERTY AS SHOWN)
17. EASEMENT FOR UNDERGROUND FACILITIES IN FAVOR OF SOUTHWESTERN BELL TELEPHONE COMPANY, DATED APRIL 11, 1981 AND FILED FOR RECORD APRIL 18, 1991, AS DOCUMENT NO. 81-1504, OF THE RECORDS OF BENTON COUNTY, ARKANSAS. (AFFECTS SUBJECT PROPERTY AS SHOWN)
18. RIGHT OF WAY GRANT IN FAVOR OF ARKANSAS WESTERN GAS COMPANY, DATED JUNE 3, 1982 AND FILED FOR RECORD SEPTEMBER 4, 1982, AS DOCUMENT NO. 82-344, OF THE RECORDS OF BENTON COUNTY, ARKANSAS. (AFFECTS SUBJECT PROPERTY AS SHOWN)
19. UTILITY EASEMENT IN FAVOR OF THE CITY OF BENTONVILLE, ARKANSAS, DATED JUNE 25, 1983 AND FILED FOR RECORD JULY 14, 1983, AS DOCUMENT NO. 83-45136, OF THE RECORDS OF BENTON COUNTY, ARKANSAS. (AFFECTS SUBJECT PROPERTY AS SHOWN)
20. UTILITY EASEMENT IN FAVOR OF THE CITY OF BENTONVILLE, ARKANSAS, DATED JUNE 25, 1983 AND FILED FOR RECORD MAY 28, 1994, AS DOCUMENT NO. 84-03006, OF THE RECORDS OF BENTON COUNTY, ARKANSAS. (AFFECTS SUBJECT PROPERTY AS SHOWN)
21. SANITARY SEWER EASEMENT IN FAVOR OF THE CITY OF BENTONVILLE, ARKANSAS, DATED NOVEMBER 20, 1984 AND FILED FOR RECORD JANUARY 31, 1995, AS DOCUMENT NO. 85-00288, OF THE RECORDS OF BENTON COUNTY, ARKANSAS. (DOES NOT AFFECT SUBJECT PROPERTY)

Legal Description

LOT 16 OF THE FINAL PLAT OF GRIFFIN ADDITION, PHASE II, BEING A REPLAT OF LOT 1 OF GRIFFIN ADDITION AND A REPLAT OF LOTS 1 AND 8 OF THE REPLAT OF LOT 2 OF GRIFFIN ADDITION TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AS SHOWN IN PLAT BOOK 2011 AT PAGE 311.

BILLBOARD EXHIBIT
of
Lot 16
Griffin Addition Phase II
Benton County, Arkansas
Surveyor's Certification

BENNETT SURVEYING, INC.

BY:

D. WESLEY BENNETT
REGISTERED PROFESSIONAL LAND SURVEYOR
ARKANSAS NO. 1505

REVISION	BY	DATE
BILLBOARD EXHIBIT	DS	8-11-18
FILED	17432.04	SURVEY BY: 11/29/17
ORDER	17432.04	3RD BY: CSH
CHECKED BY: CSH	DATE: 11/29/17	SCALE: 1"=20'
		1 OF 1

Benchmark Notes

3/8" Iron Pin
Elev=1308.84
N=74330.4408
E=71728.4983

3/8" Iron Pin
Elev=1307.08
N=74331.2128
E=71728.4983

3/8" Iron Pin
Elev=1307.08
N=74331.2128
E=71728.4983

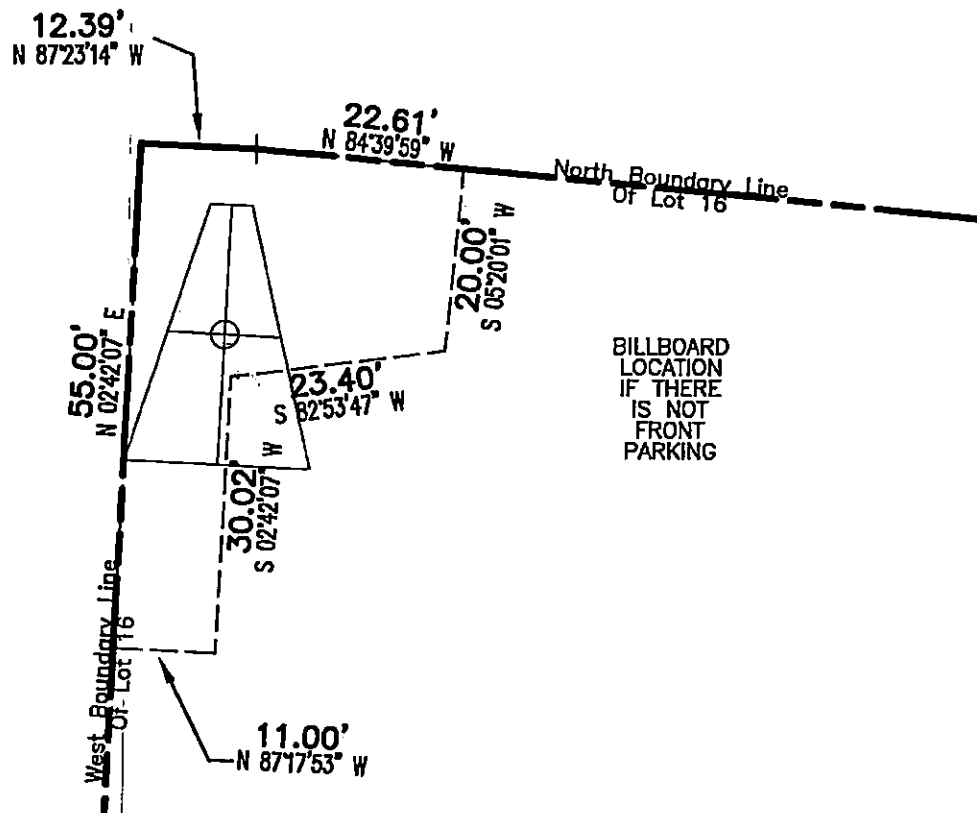
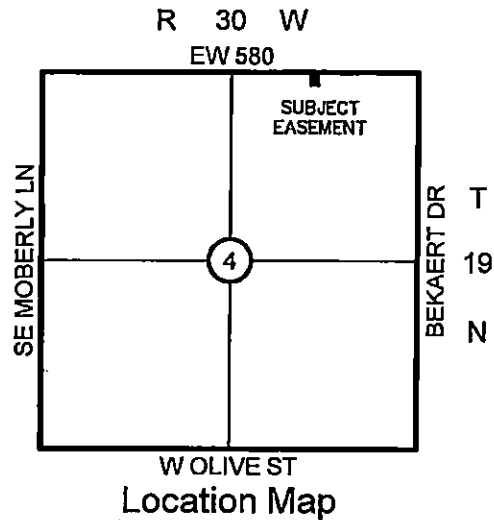
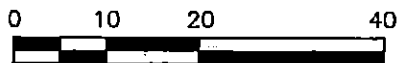
BILLBOARD EASEMENT (No Front Parking)

EXHIBIT

Page 1 of 1



Scale: 1"=20'



FILE: 174031 LG1

Notes

1. THE BEARING BASE FOR THIS EXHIBIT IS BASED ON THE NORTH LINE OF LOT 16 OF GRIFFIN ADDITION PHASE II IN THE NORTHEAST QUARTER OF SECTION 4 T-19-N, R-30-W AS S87°23'14"E.
2. SEE BILLBOARD EXHIBIT PAGE 1 THRU 2 FOR LEGAL DESCRIPTION AND SURVEYOR'S CERTIFICATE.



BENNETT
SURVEYING, INC.

P.O. BOX 848, CHOUTEAU, OK 74337
PHONE: (918) 476-7484 FAX: (918) 476-7485
C.A. NO.: 1646 EXP. DATE: 12/31/16

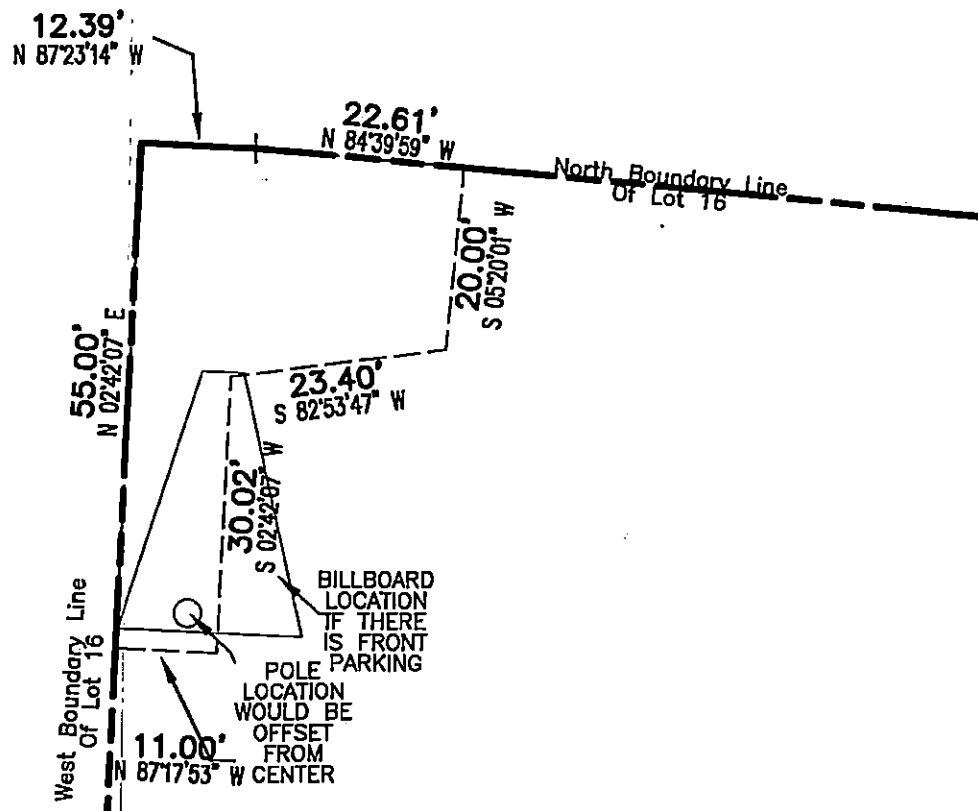
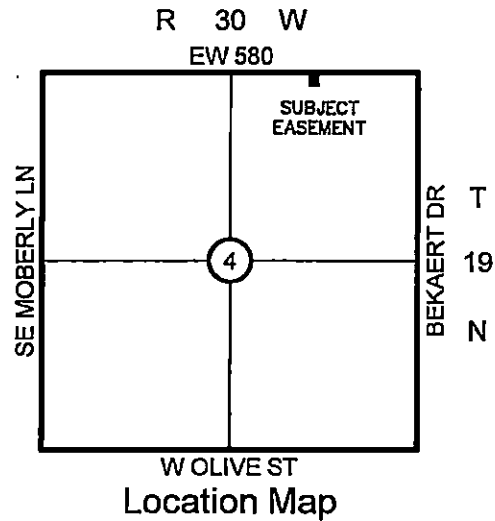
BILLBOARD EASEMENT (With Front Parking)

EXHIBIT

Page 1 of 1



Scale: 1"=20'



FILE: 174031 LG1

Notes

1. THE BEARING BASE FOR THIS EXHIBIT IS BASED ON THE NORTH LINE OF LOT 16 OF GRIFFIN ADDITION PHASE II IN THE NORTHEAST QUARTER OF SECTION 4 T-19-N, R-30-W AS S87°23'14"E.
2. SEE BILLBOARD EXHIBIT PAGE 1 THRU 2 FOR LEGAL DESCRIPTION AND SURVEYOR'S CERTIFICATE.



P.O. BOX 848, CHOUTEAU, OK 74337
PHONE: (918) 476-7484 FAX: (918) 476-7485
C.A. NO.: 1646 EXP. DATE: 12/31/18

WAIVER REQUEST STAFF REPORT



Childress

802 & 804 NW 20th Street

PC Date: 8/21/2018

Reviewer: Tyler Overstreet, Planner

Project Number	WAV18-0001
Applicant / Current Owner	Aaron Childress P.O. Box 2008 Bentonville, AR 72712
Site Area	+/- .5 acres
Current Zoning	R-1, Single Family Residential
Future Land Use Map Designation	Low Density Residential (LDR)
Waiver Request	Sidewalk Waiver Sub. Code. Sec. 1100.6

Property Description

This property is located at 802 & 804 NW 20th Street. The site is currently a two-family home, but the applicant hopes to convert it to single-family.

Waiver Request

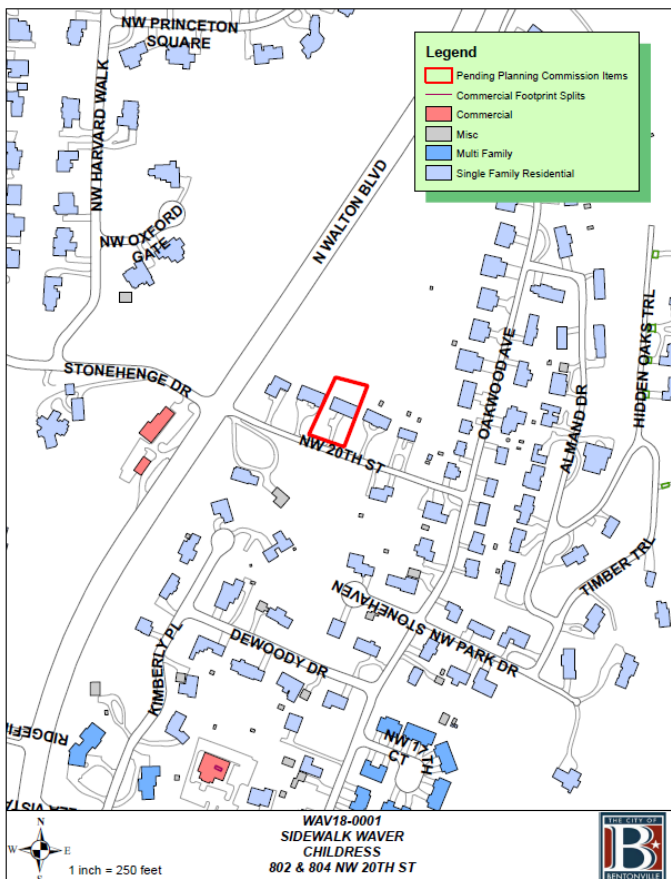
The applicant is requesting a waiver from Article 1100, Section 1100.6, Sidewalks, of the Subdivision Code which requires all new construction projects to construct a sidewalk that meets the requirements of the Master Street Plan. Specifically, the applicant requests a waiver from providing a sidewalk along their southern property line.

Analysis

If the applicant constructed the required sidewalk, it would not connect to any existing adjacent sidewalk network. In addition, at this point in time, it is unlikely for future development to occur on adjacent parcels.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Aaron Childress
802/804 NW 20th St
Bentonville, Arkansas
72712

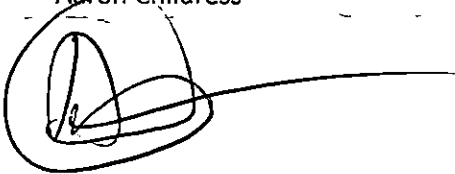
July 15, 2018

Jon Stanley
Planner, City of Bentonville
305 SW A Street
Bentonville, Arkansas

Dear Mr. Stanley,

I am requesting a waiver to **Article 1100, Design Standards, Section 1100.6, Sidewalks** of the subdivision code for a residence in the Braithwaite Park subdivision. The residence will be accessed by an existing drive from NW 20th street on the south border of the property. The reason for the waiver request is the lack of connectivity and or future of potential connectivity to an existing sidewalk system. Such potential connectivity would be highly unlikely due to the location and the lack of an existing sidewalk system anywhere near or around the surrounding subdivision of Braithwaite Park.
Thank you for your consideration of this request.

Respectfully,
Aaron Childress

A handwritten signature in black ink, consisting of a large, stylized 'A' followed by a horizontal line extending to the right.

WAIVER REQUEST STAFF REPORT



Boulder Creek Homes

700 NE A Street

PC Date: 8/21/2018

Reviewer: Tyler Overstreet, Planner

Project Number	WAV18-0002
Applicant / Current Owner	Boulder Creek Homes 4508 NE Birchgrove Place Bentonville, AR 72712
Site Area	+/- .17 acres
Current Zoning	DN-2, Downtown Medium-Density Residential
Future Land Use Map Designation	Downtown Medium-Density Residential (D-MDR)
Waiver Request	Sidewalk Waiver Sub. Code. Sec. 1100.6

Property Description

This property is located at 700 NE A Street. The site is located on the northeast corner of NE A Street and NE 7th Street.

Waiver Request

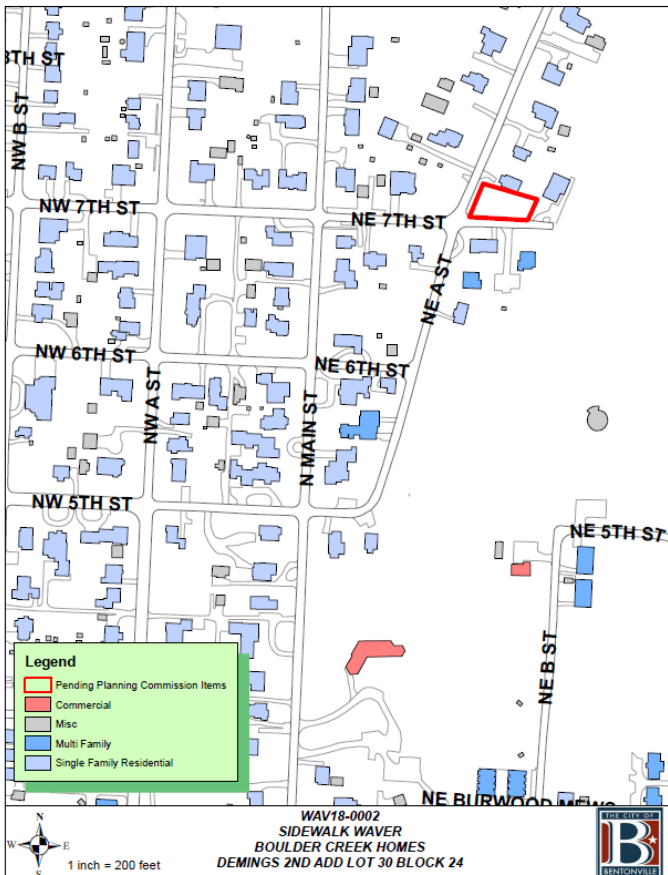
The applicant is requesting a waiver from Article 1100, Section 1100.6, Sidewalks, of the Subdivision Code which requires all new construction projects to construct a sidewalk that meets the requirements of the Master Street Plan. Specifically, the applicant requests a waiver from providing a sidewalk along their southern property line.

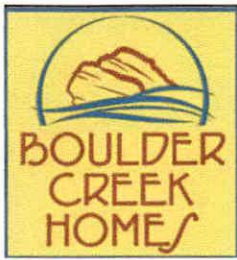
Analysis

If the applicant constructed the required sidewalk, it would not connect to any existing adjacent sidewalk network. In addition, at this point in time, it is unlikely for future development to occur on adjacent parcels. The applicant is building the required sidewalk along NE A Street.

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map





4508 NE Birchgrove Place
Bentonville AR 72712
Ph: 479-685-3063

July 16, 2018

Jon Stanley
Senior Planner
City of Bentonville Current Planning Department
305 SW A Street
Bentonville, AR 72712

Dear Mr. Stanley,

We are requesting a waiver to Article 1100, Design Standards, Section 1100.6, Sidewalks of the Subdivision Code for a new residence to be located at the corner of NE A Street and NE 7th Street. We will be building a sidewalk per City standards on NE A street, but are requesting a waiver to not build the sidewalk along the north side of NE 7th Street.

The reason for our request is that 7th Street is a short dead end street that serves only one other home along the north side of the street. Since there is likely to be no further development along this section of NE 7th Street, the sidewalk along our property would likely stop at our rear lot line and not continue to the end of NE 7th Street, therefore not serving much purpose. There is also minimal traffic along this block of NE 7th Street. As mentioned above, we will be building a sidewalk along NE A Street. There is currently no sidewalk adjacent to our property, but as future development of properties along NE A Street occurs and additional sidewalk segments are built, the sidewalk will become an integral component to the City's sidewalk system.

I've included two pictures. The first picture shows the length of the property along NE 7th Street. It is taken from NE A street looking east along NE 7th Street. The second picture is a close up taken towards the back of the subject property also looking east along NE 7th Street. The driveway and mail box in the second picture are of the home adjacent to our property and is the last house along NE 7th Street before the street dead ends.

Thank you for your consideration.

Sincerely,

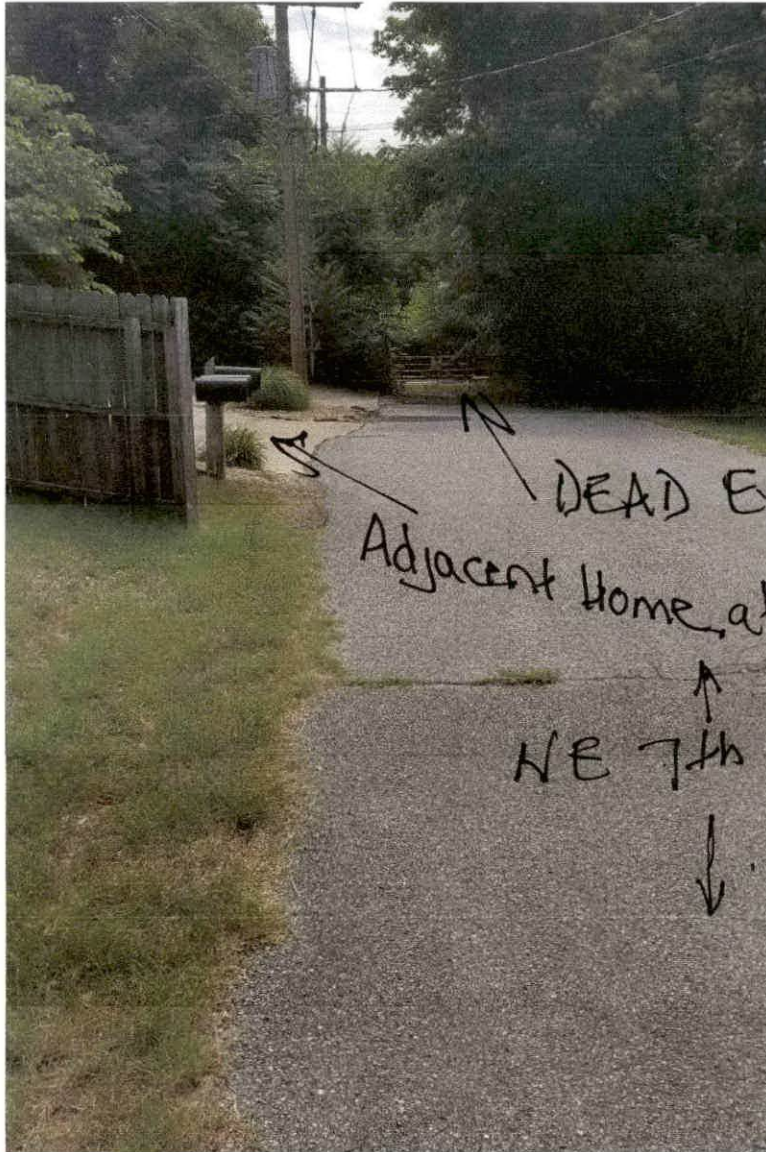
Ali Phillips
Boulder Creek Homes

Picture 1



NE A Street

PICTURE 2



700 NE
A Street

NE A Street