Planning Commission
Agenda
February 19th, 2019

I. **Call to Order**
II. **Approval of Minutes**
III. **Consent Agenda**

1. **Coler – Saint** **Large Scale Development Extension**
   11782 Peach Orchard Road *(LSD18-0046)*

2. **Coler – Stanberry** **Large Scale Development Extension**
   2702 NW 3rd Street *(LSD18-0047)*

3. **Thaden Barn** **Large Scale Development Extension**
   901 SE C Street *(LSD18-0054)*

4. **Off the Leash** **Large Scale Development**
   SW 24th Street *(LSD18-0081)*

IV. **New Business**

1. **BOS Park, LLC** **Rezoning***
   (R-2, Duplex and Patio Home Residential & PUD, Planned Unit Development, to C-2, General Commercial)
   SW Regional Airport Boulevard & SW Featherston Road *(RZ19-0001)*

2. **Lots 1-3, BOS Park Subdivision** **Lot Split**
   SW Regional Airport Boulevard and SW Featherston Road *(LS19-0001)*

4. **The Lofts on Elm Tree** **Large Scale Development**
   1304 SW Elm Tree Road *(LSD18-0078)*

5. **Cubesmart Self Storage** **Large Scale Development**
   SW Regional Airport Boulevard and SW Featherston Road *(LSD19-0001)*

V. **Other Business**
VI. **Planner's Report**
VII. **Adjournment**

*Denotes Public Hearing

Planning Commission
Minutes
February 5, 2019

Meeting called to order at 5:00 p.m. by Richard Binns, Chairman.

Present: Richard Binns, Dana Davis, Scott Eccleston, Jim Grider, Joe Haynie, Elaine Kerr, and Rod Sanders
Staff: Jon Stanley and Tyler Overstreet

Motion by Mr. Grider, seconded by Mr. Haynie to approve the minutes of January 15, 2019 as written
Approved 7-0

Consent Agenda

1. Lots 15 & 16 of W.A. Burks Addition — Property Line Adjustment
   Fillmore Street, PLA17-0021
2. Lot 1 of Straube Business Park Phase 3 — Property Line Adjustment
   5118 SW Runway Drive, PLA18-0043
3. Lot 11 of McAndrew & Jackson Add. & Lot 32 of Pritchard Add. — Property Line Adjustment
   801 NW 7th Street & 720 NW 6th Street, PLA17-0022
4. Lot 30, Block 3 of Clark's 2nd Addition — Property Line Adjustment
   202 SW C Street, PLA18-0048

Approved 7-0

New Business

Item #1
J&M Investments, LLC: Rezoning, R-3, Medium Density Residential to R-ZL, Residential Zero Lot Line, 3800 SW Post Loop, RZ18-0039
Tyler Overstreet reads the staff report.
Opened public hearing
No public comments
Closed public hearing
Approved 7-0

Item #2
Terrell: General Plan Amendment, Commercial and Low Density Residential to Mixed-Use, 1409 Bella Vista Road, GPA18-0006
Tyler Overstreet reads the staff report.
Opened public hearing
Heather Wegner, 802 Kings Drive, speaks in favor.
Closed public hearing
There is some discussion amongst staff and the Commissioners.
Approved 7-0

Item #3
Oldham: General Plan Amendment, Residential Estate to Commercial, 3308 SW 14th Street, GPA18-0007
Tyler Overstreet reads the staff report.
Opened public hearing
No public comments
Closed public hearing
Approved 7-0

Item #4
7 Brew Coffee: Access Requirements Waiver, 1111 S Walton Boulevard, WAV19-0001
Tyler Overstreet reads the staff report.
Approved 7-0

Item #5
Woodlands Crossing: Preliminary Plat, 8936 S Morningstar Road, PP18-0008
Tyler Overstreet reads the staff report.
Approved 7-0

Other Business

Staff reports that Ellen Norvell is the new Community Development Interim Director.

Motion by Mr. Haynie, seconded by Mr. Davis to adjourn.
Meeting adjourned

**A copy of this recording can be obtained from the Bentonville Planning Department.

Ali Worley

Consent Agenda Items

For Planning Commission meeting of February 19, 2019

Reviewer: Tyler Overstreet, Planner

- At the Technical Review meeting held on February 12, 2019 the Planning Commission requested these items be placed on the consent agenda. The descriptions below shall serve as the staff report for each of the consent agenda items.

Large Scale Development Extension: Coler-Saint, Bentonville/Bella Vista Trails, LLC, 11782 Peach Orchard Road, A-1, Agricultural *(LSD18-0046)*

The Planning Commission originally approved this item on August 21, 2018. The original staff report and site plan are included for reference.

(Please click on this link to access the vicinity map for this item: http://geo.bentonvillear.com/mgweb/PZpending/)

Large Scale Development Extension: Coler-Stanberry, Bentonville/Bella Vista Trails, LLC, 2702 NW 3rd Street, A-1, Agricultural *(LSD18-0047)*

The Planning Commission originally approved this item on August 21, 2018. The original staff report and site plan are included for reference.

(Please click on this link to access the vicinity map for this item: http://geo.bentonvillear.com/mgweb/PZpending/)

Large Scale Development Extension: Thaden Barn, Thaden School, 901 SE C Street, A-1, Agricultural *(LSD18-0054)*

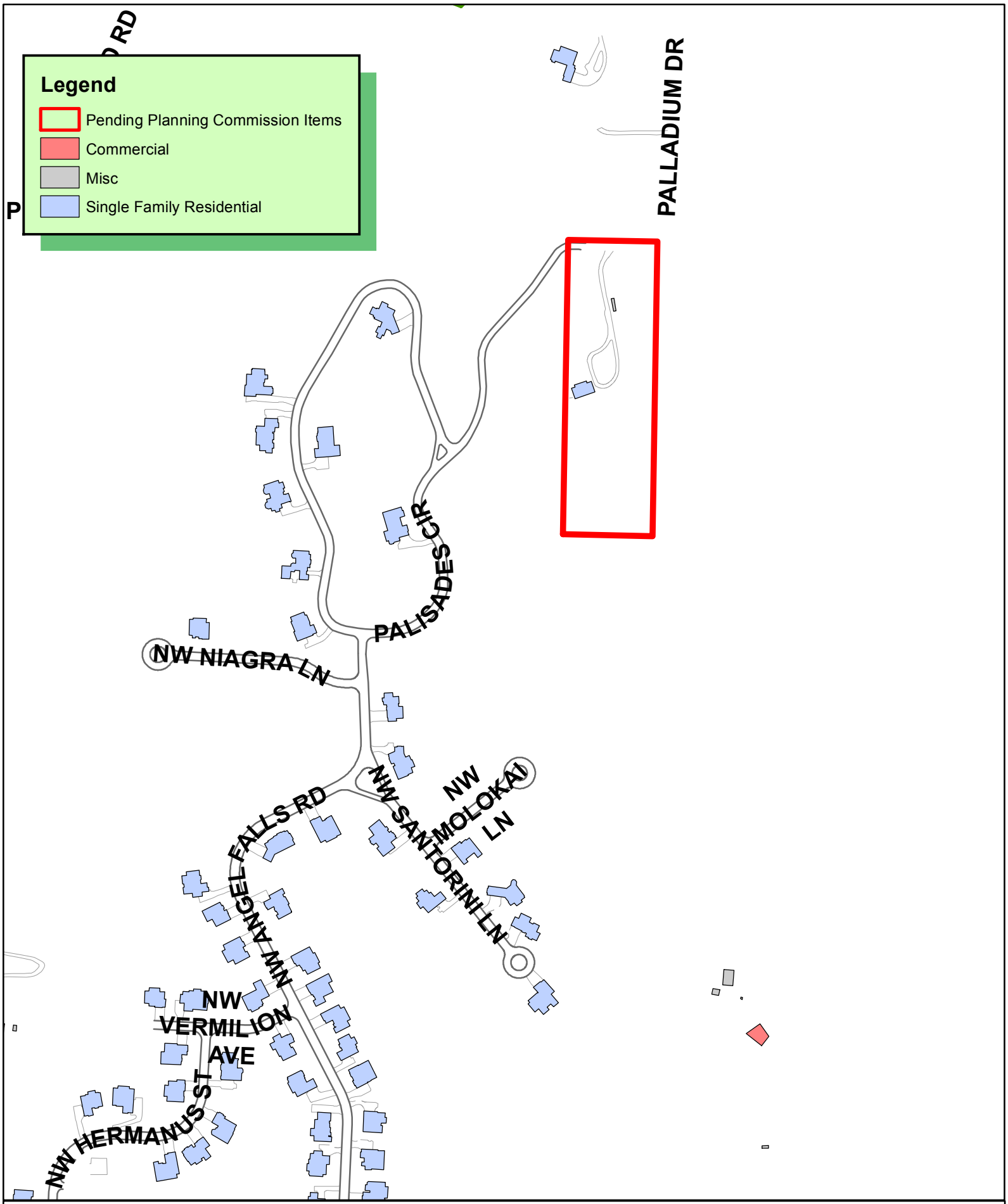
The Planning Commission originally approved this item on September 4, 2018. The original staff report and site plan are included for reference.

(Please click on this link to access the vicinity map for this item: http://geo.bentonvillear.com/mgweb/PZpending/)

Large Scale Development: Off the Leash, Lani Cathryn Durbin, Trustee, SW 24th Street, C-2, General Commercial *(LSD18-0081)*

Project consists of the construction of an approximately 15,000 square foot dog kennel facility. The development provides 27 parking spaces. The applicant shall construct sidewalk along the development's public frontage. The applicant shall improve both streets adjacent to their development, SW 24th Street and SW Aviation. The exterior elevations depict brick and cement panels as the primary materials of the building.

(Please click on this link to access the vicinity map for this item: http://geo.bentonvillear.com/mgweb/PZpending/)



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1 inch = 375 feet

LSD18-0046
LARGE SCALE DEVELOPMENT
COLER-SAINT

THE CITY OF BENTONVILLE

ECOLOGICAL DESIGN GROUP, INC.
314 S. 3rd Street
Rogers, AR 72756

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
ENVIRONMENTAL PLANNING

February 4, 2019

Planning Commission
City of Bentonville
305 SW A Street
Bentonville, Arkansas 72712

Re: Request for LSD Extension – Saint LSD #18-0046

Dear Planning Commissioners:

On behalf of Bentonville/Bella Vista Trailblazers, Ecological Design Group, Inc. is requesting an extension for the Large Scale Development approval as allowed in the City of Bentonville Subdivision Code and further defined in *Article 700.7(B): Large Scale Developments; Expiration of Large Scale Development Approval; Extension*. The design team requires the additional 6 months to finish the detailed design of the site.

Please let us know if you need any additional information in regard to the extension request. We appreciate your review and consideration of this project. If you need any additional information or have any questions, please do not hesitate to contact me at 479-935-4826 or via email at bdriver@ecologicaldg.com.

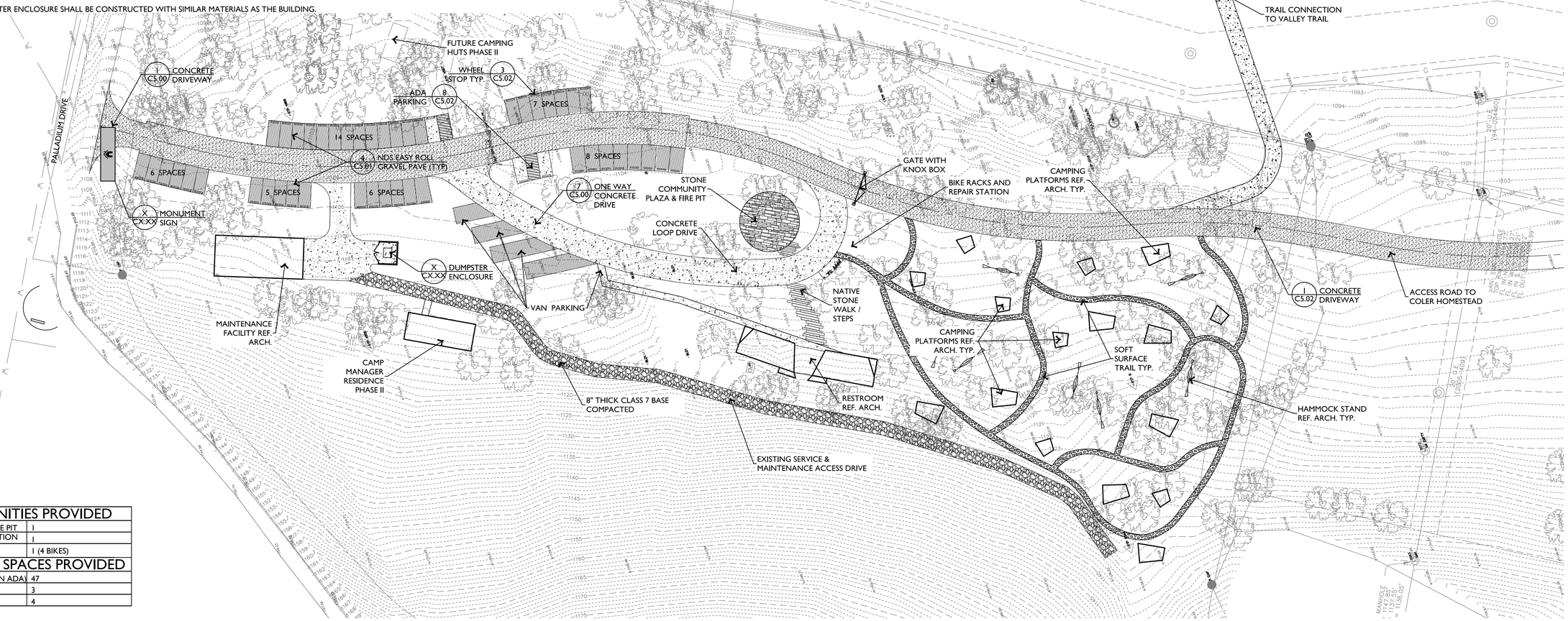
Sincerely,

ECOLOGICAL DESIGN GROUP, INC

Brahm Driver, PE
Civil Engineer

GENERAL NOTES:

1. EXISTING SURVEY DATA WAS OBTAINED FROM A TOPOGRAPHIC & BOUNDARY SURVEY PERFORMED BY CASTER & ASSOCIATES LAND SURVEYING, INC. AND DATED JANUARY 4, 2017.
2. SURVEY DATA IS BASED UPON NAD 83, STATE PLANE, ARKANSAS NORTH FEET COORDINATE SYSTEM.
3. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM.
4. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, STATE, AND FEDERAL REGULATIONS AND CODES AS WELL AS OSHA STANDARDS. SITE CONTRACTOR SHALL MEET OR EXCEED ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL MEASURES
5. THE APPROXIMATE LOCATION OF KNOWN UTILITIES & SUBSURFACE STRUCTURES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND VISIBLE STRUCTURES & RECORD DRAWINGS PROVIDED. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF THESE & ALL OTHER SUBSURFACE AND/OR LATENT FACILITIES PRIOR TO BEGINNING WORK. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE & THE COST OF SUCH REPAIRS NECESSARY SHALL BE BORNE BY THE CONTRACTOR.
6. ALL WORK PERFORMED WITHIN THE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE CITY OF BENTONVILLE ENGINEERING DEPARTMENT AND TRAFFIC DEPARTMENT.
7. ALL STREETS, DRIVES, WALKS, DRAINAGE STRUCTURES, FENCES, ETC. THAT ARE DISTURBED SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION USING LIKE MATERIALS. COST OF SUCH REPAIRS SHALL BE BORNE BY THE CONTRACTOR UNLESS PROVISION FOR PAYMENT IS MADE IN THE PROPOSAL.
8. THE CONTRACTOR IS REQUIRED TO NOTIFY THE ONE CALL CENTER AT 1-800-482-8998 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
9. THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN IMPLEMENTED, AND THE SWPPP, EROSION CONTROL PLAN, AND SIGNED AUTOMATIC NOTICE OF COVERAGE IS POSTED ON SITE..
10. CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AS DESCRIBED IN THE SPECIFICATIONS (INCLUDING BUT NOT LIMITED TO COMPACTION DENSITY TESTING, ETC.), AND SHALL PROVIDE RESULTS TO ENGINEER, AND MAINTAIN RECORDS AND RESULTS OF ALL TESTS PERFORMED DURING CONSTRUCTION. TESTING BY THE CONTRACTOR SHALL BE INCLUDED IN THE BID.
11. EXISTING FACILITIES AND FEATURES ARE SHOWN LIGHT-LINED AND/OR SCREENED. NEW FACILITIES AND FEATURES ARE SHOWN SOLID AND HEAVY-LINED.
12. SLOPES AND GRADES SHOWN ARE IN UNITS OF FT/FT UNLESS OTHERWISE NOTED.
13. ALL PAVEMENT AND CURB MEASUREMENTS ARE TAKEN FROM FACE OF CURB OR EDGE OF PAVEMENT.
14. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
15. ALL PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
16. ALL MECHANICAL EQUIPMENT (ROOF & GROUND MOUNTED) WILL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS THE BUILDING.
17. THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH SIMILAR MATERIALS AS THE BUILDING.



SITE AMENITIES PROVIDED	
COMMUNITY FIRE PIT	1
BIKE REPAIR STATION	1
BIKE RACKS	1 (4 BIKES)
PARKING SPACES PROVIDED	
VEHICULAR (NON ADA)	47
ADA	3
BIKE	4

1 SAINT PROPERTY - SITE PLAN

SCALE: 1" = 40'-0"

NORTH 0' 40' 80' 160'

Know what's below. Call before you dig.

issue for permit/review:

issue for construction:

revisions:

mark	date	description

modus studio
architecture + prototyping
www.modusstudio.com
contact@modusstudio.com
4 7 9 4 5 5 5 5 7 7

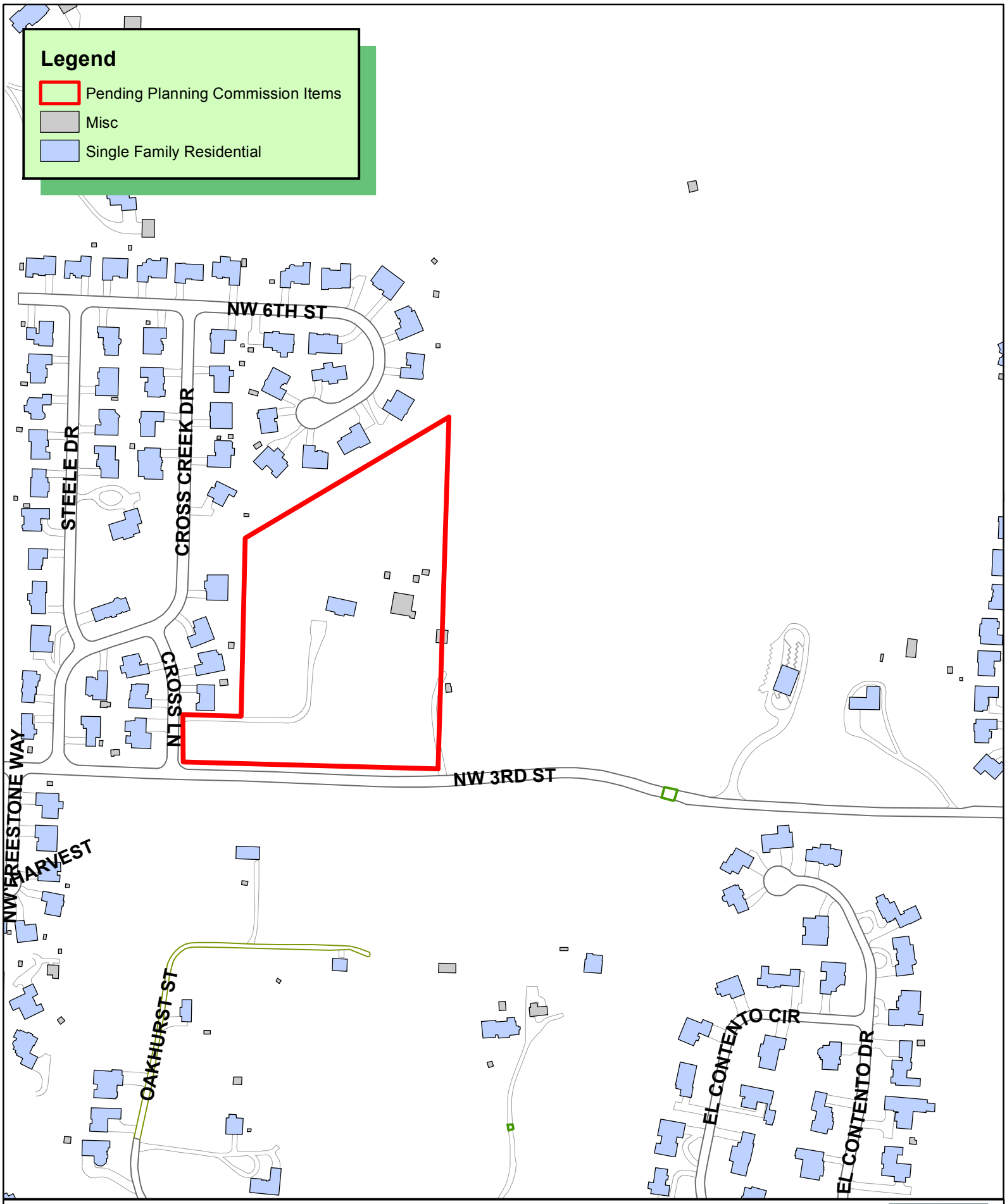
NOT FOR CONSTRUCTION

EDG
Ecological Design Group, Inc.
120 S. Izard Street, Little Rock, AR 72201 — p 501.378.0200, f 501.378.0201
314 South 3rd Street, Rogers, AR 72756 — p 479.935.4826
210 E. Merriman Ave., Wynne, AR 72396 — p 870.588.6426, f 870.238.8310

COLER - SAINT
BENTONVILLE, ARKANSAS

contents. SITE PLAN - SAINT PROPERTY
design. LARGE SCALE DEVELOPMENT
date. 2018.08.06
project. 16.04 LSD18-0046

C1.00



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1 inch = 300 feet

LSD18-0047
LARGE SCALE DEVELOPMENT
COLER-STANBERRY

THE CITY OF BENTONVILLE

ECOLOGICAL DESIGN GROUP, INC.
314 S. 3rd Street
Rogers, AR 72756

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
ENVIRONMENTAL PLANNING

February 4, 2019

Planning Commission
City of Bentonville
305 SW A Street
Bentonville, Arkansas 72712

Re: Request for LSD Extension – Stanberry LSD #18-0047

Dear Planning Commissioners:

On behalf of Bentonville/Bella Vista Trailblazers, Ecological Design Group, Inc. is requesting an extension for the Large Scale Development approval for the aforementioned project as allowed in the City of Bentonville Subdivision Code and further defined in *Article 700.7(B): Large Scale Developments; Expiration of Large Scale Development Approval; Extension*. The design team requires the additional 6 months to finish the detailed design of the site.

Please let us know if you need any additional information in regard to the extension request. We appreciate your review and consideration of this project. If you need any additional information or have any questions, please do not hesitate to contact me at 479-935-4826 or via email at bdriver@ecologicaldg.com.

Sincerely,

ECOLOGICAL DESIGN GROUP, INC

Brahm Driver, PE
Civil Engineer

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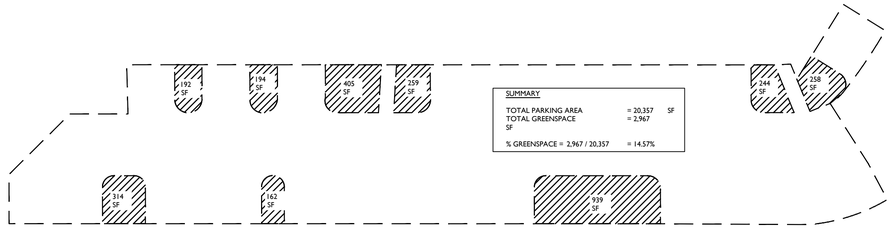


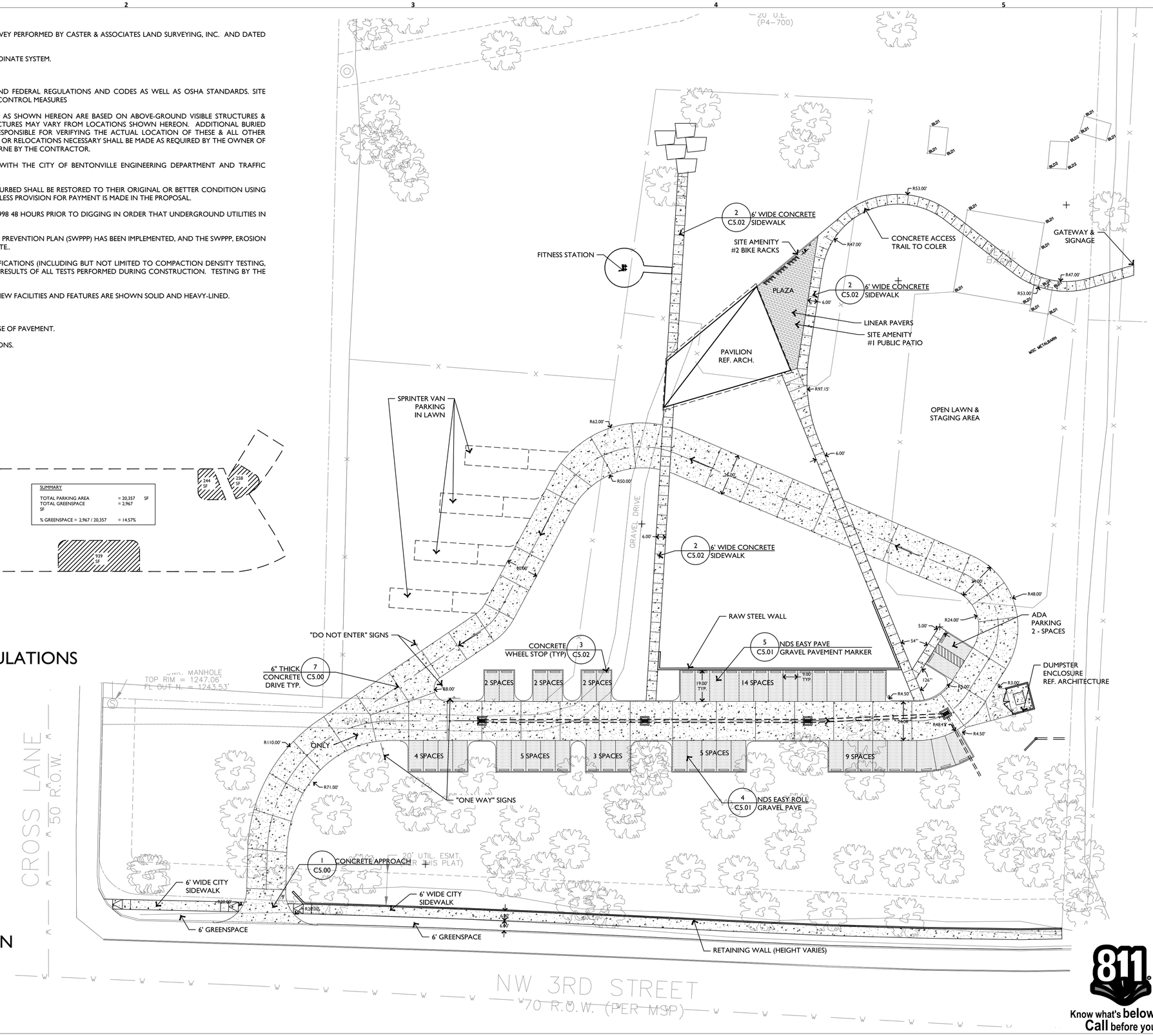
SUMMARY

TOTAL PARKING AREA	= 20,357	SF
TOTAL GREENSPACE	= 2,967	
SF		
% GREENSPACE = 2,967 / 20,357	= 14.57%	

2 INTERIOR GREEN SPACE CALCULATIONS

SCALE: 1" = 30'-0"

NORTH 0' 30' 60' 120'



1 STANBERRY PROPERTY - SITE PLAN

SCALE: 1" = 30'-0"

NORTH 0' 30' 60' 120'

issue for permit/review:

issue for construction:

revisions:

mark	date	description

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4 7 9 4 5 5 5 5 7 7

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COLER - STANBERRY
2500 NW 3RD STREET
BENTONVILLE, ARKANSAS

contents. SITE PLAN
design. LARGE SCALE DEVELOPMENT
date. 2018.08.06
project. 16.04 LSD18-0047

811 Know what's below. Call before you dig.

C1.00

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1 inch = 200 feet

LSD18-0054
LARGE SCALE DEVELOPMENT
THADEN BARN
506 SE STAGGERWING LN

THE CITY OF BENTONVILLE

ECOLOGICAL DESIGN GROUP, INC.
314 S. 3rd Street
Rogers, AR 72756

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
ENVIRONMENTAL PLANNING

February 4, 2019

Planning Commission
City of Bentonville
305 SW A Street
Bentonville, Arkansas 72712

Re: Request for LSD Extension – Thaden Barn LSD #18-0054

Dear Planning Commissioners:

On behalf of Thaden School, Ecological Design Group, Inc. is requesting an extension for the Large Scale Development approval for the aforementioned project as allowed in the City of Bentonville Subdivision Code and further defined in *Article 700.7(B): Large Scale Developments; Expiration of Large Scale Development Approval; Extension*. The design team requires the additional 6 months to finish the detailed design of the project.

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ECOLOGICAL DESIGN GROUP, INC

Brahm Driver, PE
Civil Engineer

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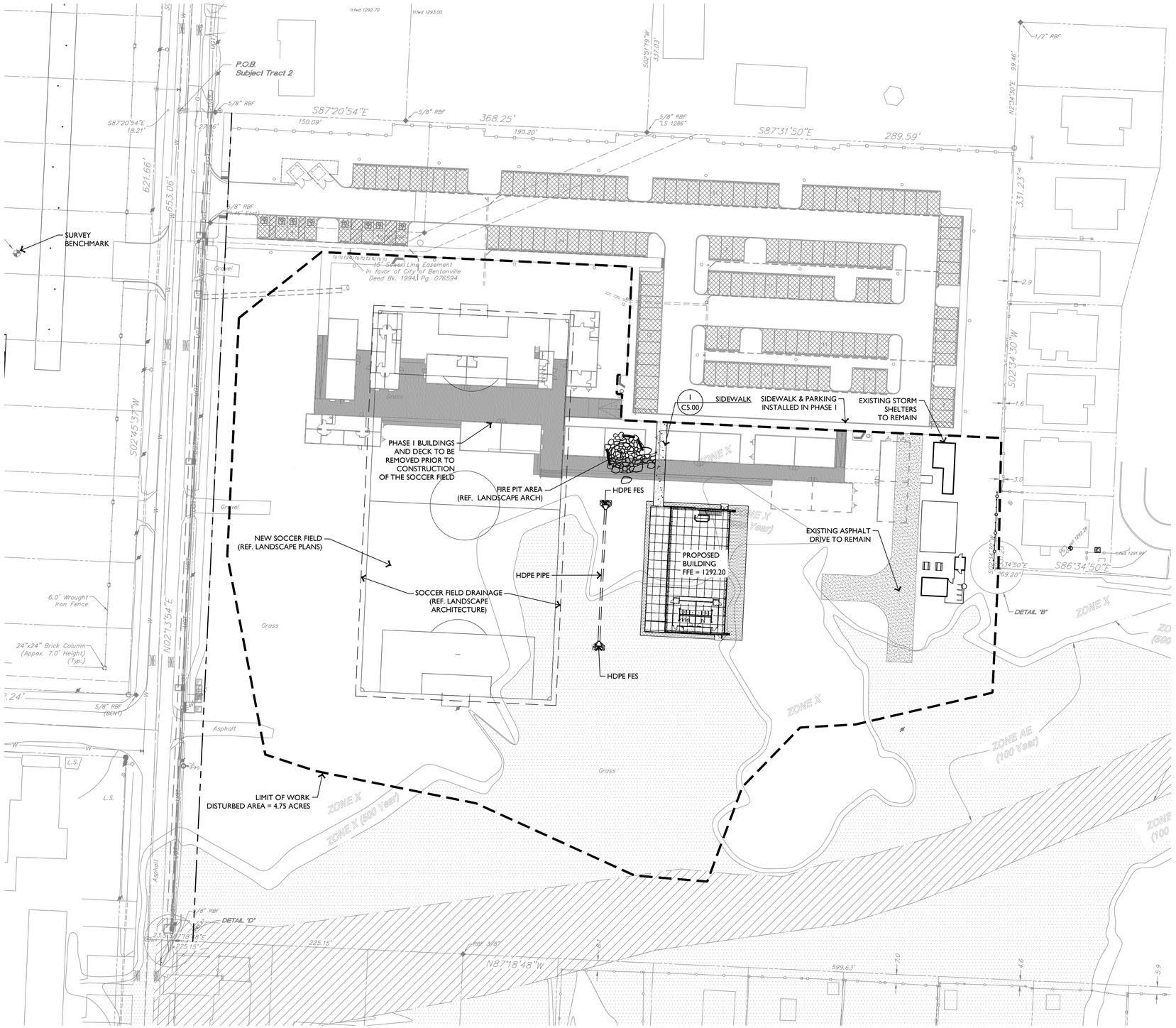
14. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

BEUD NOTES:

1. CONTRACTOR SHALL CONTACT BEUD AT (479) 271-3135 BEFORE PERFORMING ANY GRADING WITHIN 5-FEET OF EXISTING OR PROPOSED POWER POLES.
2. BEUD DESIGN LAYOUT DRAWING TAKES PRECEDENCE OVER ANY ELECTRIC INFORMATION SHOWN ON THE SITE UTILITY PLAN.
3. ELECTRIC FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE ELECTRIC SPECIFICATIONS FOUND ON THE BEUD WEBSITE. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THIS DOCUMENT.



1 SITE PLAN

SCALE: 1" = 40'-0"

NORTH

0' 40' 80' 160'

Know what's below. Call before you dig.

ESKEW+DUMEZ+RIPPLE
365 CANAL STREET, SUITE 3150
NEW ORLEANS, LOUISIANA 70130
(504) 561-8686

ECOLOGICAL DESIGN GROUP, INC.
314 S 3RD STREET
ROGERS, AR 72756
(479) 935-4826

CERTIFICATE OF AUTHORIZATION Ecological Design Group, Inc. No. 2511 ARKANSAS

STATE OF ARKANSAS LICENSED PROFESSIONAL ENGINEER No. 14694 BRAHM M. DRIVER

THADEN BIKE BARN
LARGE SCALE DEVELOPMENT

506 SE STAGGERWING, Bentonville, AR 72712

EDR PROJET NO. | 16052

PROJECT ISSUE DATE | 4 SEPTEMBER 2018

© Eskew+Dumez+Ripple 2017
A Professional Corporation

The intent of the Contract Documents is to include all items necessary for proper execution and completion of the work by Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

REVISIONS

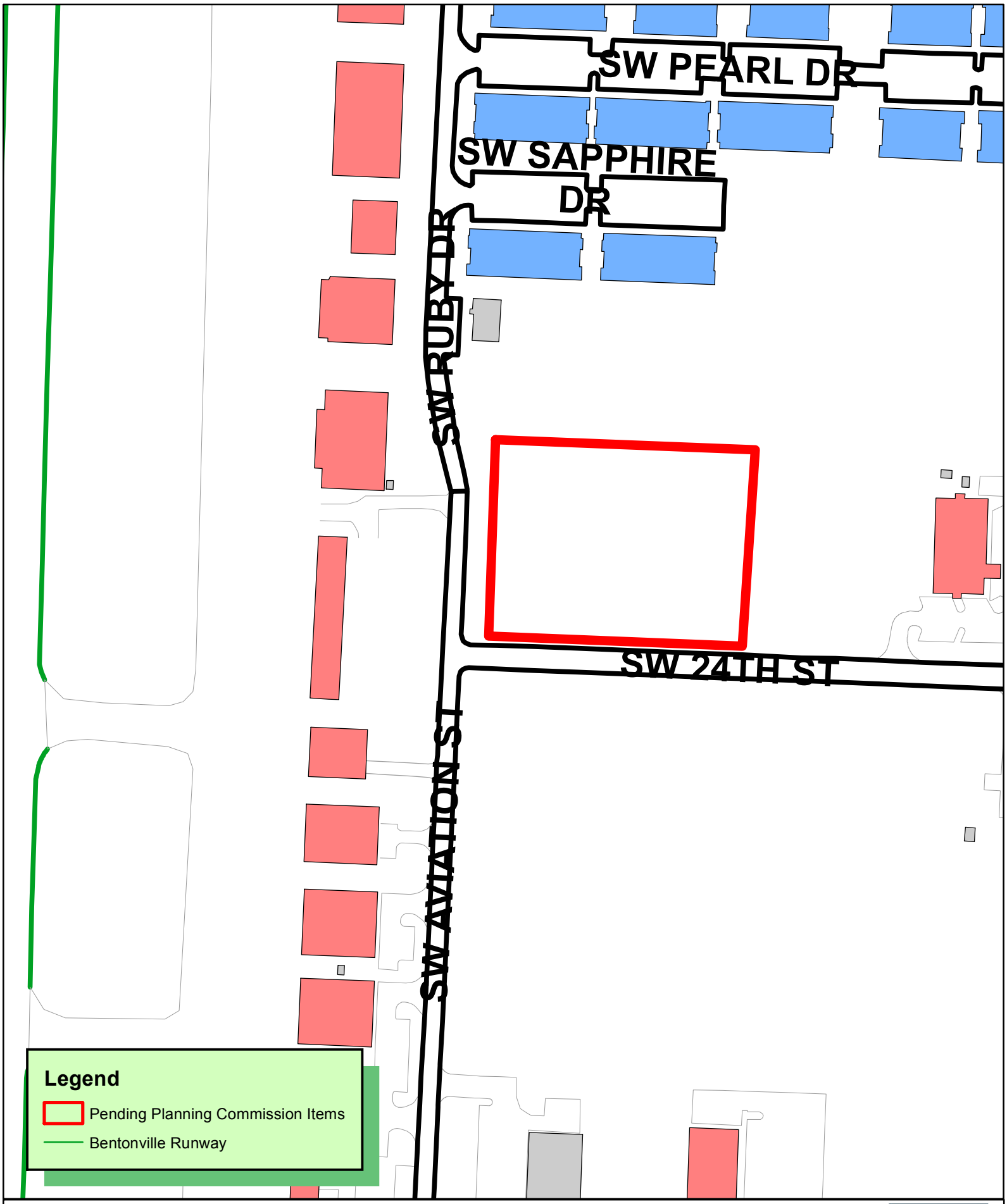
NOT FOR CONSTRUCTION

Site Plan

C1.00B

DRAWN BY | EDG

BENTONVILLE PROJECT NO. | LSD18-0054



N
W E
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1 inch = 150 feet

LSD18-0081
LARGE SCALE DEVELOPMENT
OFF THE LEASH
408 SW 24TH ST

THE CITY OF BENTONVILLE

LARGE SCALE DEVELOPMENT PLANS

OFF THE LEASH

408 SW 24TH STREET

BENTONVILLE, ARKANSAS

GENERAL NOTES:

A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:

TOPOGRAPHY: CEI ENGINEERING ASSOCIATES, INC.
3108 SW REGENCY PARKWAY, SUITE 2
BENTONVILLE, AR 72712
(479) 273-9472

B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.

C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.

D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.

E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

F. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.

G. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.

I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

FLOOD CERTIFICATION:

BY SCALED MAP LOCATION AND GRAPHICAL PLOTTING ONLY. THIS PROPERTY IS DETERMINED TO BE LOCATED WITHIN ZONE 'X', OR AREAS OUTSIDE THE 0.2% ANNUAL CHANCE 100-YR FLOODPLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM.
FLOOD INSURANCE MAP FOR CITY OF BENTONVILLE, ARKANSAS, 050012.
MAP NUMBER: 05007C0255K
MAP REVISED: 06/05/2012

CITY OF BENTONVILLE GENERAL NOTES:

A. THE CITY OF BENTONVILLE STREET STANDARDS, DRAINAGE CRITERIA MANUAL, SUBDIVISION ORDINANCE, WATER, SEWER, ELECTRIC UTILITY SPECIFICATIONS, AND STATE CODE SHALL GOVERN THESE PLANS. IF THERE ARE DISCREPANCIES IN THE PLANS OR INFORMATION CONTAINED WITHIN, CITY OF BENTONVILLE ORDINANCES, STANDARDS, AND SPECIFICATIONS SHALL RULE, UNLESS APPROVED IN WRITING BY THE CITY ENGINEER.

B. TO SCHEDULE AN INSPECTION OR TEST WITH THE CITY OF BENTONVILLE ENGINEERING DEPARTMENT, INSPECTIONS MUST BE CALLED IN (479-271-3168) BY THE ENGINEER OF RECORD 24 HOURS IN ADVANCE BEFORE 10AM FOR AN INSPECTION THE FOLLOWING DAY.

C. THE ENGINEER OF RECORD MUST CERTIFY THE SITE AND THE PROJECT MUST PASS A DEVELOPMENT FINAL INSPECTION BEFORE REQUESTING A FINAL INSPECTION.

D. BEUD DESIGN LAYOUT DRAWING TAKES PRECEDENCE OVER ANY INFORMATION SHOWN ON THE SITE UTILITY PLAN. CONTRACTOR SHALL FOLLOW DESIGN ON BEUD'S DRAWING WHEN INSTALLING FACILITIES.

E. ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) SHALL BE SCREENED ON ALL EXPOSED TO VIEW SIDES BY SIMILAR MATERIALS AS THE BUILDING.

F. ANY NEW LIGHTING WILL REQUIRE THAT IT BE CUTOFF OR B-U-G (WITH A 'U' RATING OF 0 AND APPROVED BY THE PLANNING DEPARTMENT).

LSD18-0081

CURRENT ZONING	C-2
PROPOSED ZONING	C-2
CONSTRUCTION TYPE	2B
SPRINKLED	YES

Vicinity Map

Not to Scale

CEI CONTACT:

NAME: JACOB SHY
EMAIL: JSHY@CEIENG.COM
PHONE: (479) 273-9472

CLIENT CONTACT:

NAME: LANI GUILMETTE
EMAIL: LANI@OFFTHELEASHNWA.COM

PLAN INDEX:

C0 COVER SHEET
C1 SITE PLAN
C2 GRADING PLAN
C3 EROSION CONTROL PLAN
C4 UTILITY PLAN
C5 LANDSCAPE PLAN
C5.1 LANDSCAPE NOTES
C6 DETAIL SHEET 1
C7 DETAIL SHEET 2
C8 DETAIL SHEET 3

ASSOCIATED PLANS:

1. SURVEY
2. BEUD ELECTRIC DETAILS 1
2. BEUD ELECTRIC DETAILS 2
2. BEUD ELECTRIC DETAILS 3
3. BEUD WATER & SEWER DETAILS 1
4. BEUD WATER & SEWER DETAILS 2
5. BEUD WATER DETAILS 1
6. BEUD WATER DETAILS 2

RESOURCE LIST:

CITY OF BENTONVILLE
PARKS & RECREATION
DAVID WRIGHT
215 SW A ST
BENTONVILLE, AR 72712
PHONE: (479) 464-7275

CITY OF BENTONVILLE
CITY ENGINEER
ELLEN NORVILL
3200 SW MUNICIPAL DR
BENTONVILLE, AR 72712
PHONE: (479) 271-5993

PLANNING DEPARTMENT
BRIAN BAHR
305 S.W. A STREET
BENTONVILLE, AR 72712
PHONE: (479) 271-3122

WATER DEPARTMENT
PRESTON NEWBILL
3200 SW MUNICIPAL DR
BENTONVILLE, AR 72712
PHONE: (479) 271-3140

WASTEWATER DEPARTMENT
NANCY BUSEN
1901 N.E. A STREET
BENTONVILLE, AR 72712
PHONE: (479) 271-3160

ELECTRIC DEPARTMENT
CHARLIE BARNES
3200 SW MUNICIPAL DR
BENTONVILLE, AR 72712
PHONE: (479) 271-3159

STORMWATER
JANET PAITH
3200 SW MUNICIPAL DR
BENTONVILLE, AR
PHONE: (479) 271-5002

FIRE DEPARTMENT
BRENT BOYDSTON,
FIRE CHIEF
800 S.W. A STREET
BENTONVILLE, AR 72712
PHONE: (479) 271-5927

STREET DEPARTMENT
TONY DAVIS
3200 SW MUNICIPAL DR
BENTONVILLE, AR 72712
PHONE: (479) 271-3130

NATURAL GAS
BLACK HILLS ENERGY
JOSHUA KNIGHT
1301 FEDERAL WAY
LOWELL, AR 72745
PHONE: (479) 333-7005

TELEPHONE
AT&T
627 WHITE ROAD
SPRINGDALE, AR 72766
SCOTT SEAMAN
PHONE: (479) 442-1967
LAYNE RHODES
PHONE: (479) 442-1977

CABLE
COX COMMUNICATIONS
KIP SMITH
4901 S. 48TH STREET
SPRINGDALE, AR 72762
PHONE: (479) 717-3796

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Bentonville, AR 72712 FAX (479)273-0844

CERTIFICATE OF AUTHORIZATION
CEI Engineering Associates, Inc.
No. 118
ARKANSAS ENGINEER

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No.6672
THOMAS C. OPPENHEIMER
02/10/2019

Arkansas * California * Minnesota * Pennsylvania * Texas

JOB NO.: 30957	
DWG NAME: 30957-CS	
DATE	SHEET NO.
2/8/19 3:15 PM REV-1	C0

LSD18-0081

PROJECT: OFF THE LEASH 408 SW 24TH STREET BENTONVILLE, ARKANSAS

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SITE DATA		
SITE AREA	1.67 ACRES (72,847 ± SF)	
ZONING	C-2	
BUILDING AREA	14,953 SF	
STOREFRONT/ RETAIL AREA	1,631 SF	1/250 = 7 SPACES REQUIRED
OFFICE AREA	825 SF	1/300 = 3 SPACES REQUIRED
TOTAL PARKING REQUIRED		10 SPACES
TOTAL PARKING PROVIDED		30 SPACES

CONTACT BEUD AT 479-271-3135 BEFORE PERFORMING ANY GRADING WITHIN 5' OF EXISTING OR PROPOSED POWER POLES.
ELECTRIC FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE ELECTRIC SPECIFICATIONS FOUND ON THE WEBSITE. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THIS DOCUMENT.

BEUD DESIGN LAYOUT TAKES PRECEDENCE OVER ANY ELECTRIC INFORMATION SHOWN ON THE SITE/UTILITY PLAN.

ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) WILL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS THE BUILDING

SITE BENCHMARK

BENCHMARK #1: MAGNAIL IN CURB ON SOUTH SIDE OF SW 24TH ST. APROXIMATELY 119' EAST OF A DRAINAGE MANHOLE ON THE SOUTH SIDE OF SW 24TH ST. AND APPROXIMATELY 67.0' SOUTHEAST OF A UTILITY POLE ON THE NORTH SIDE OF SW 24TH ST. ELEV=1290.57.
BENCHMARK #2: MAGNAIL IN CURB ON SOUTH SIDE OF SW 24TH ST. APPROXIMATELY 59.0' SOUTH OF A SANITARY SEWER MANHOLE ON THE NORTH SIDE OF SW 24TH ST. APPROXIMATELY 109.5' SOUTHWEST OF A UTILITY POLE ON THE NORTH SIDE OF SW 24TH ST. ELEV. 1291.20.

NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

N

0 20' 30' 40'
SCALE IN FEET

811
Know what's below.
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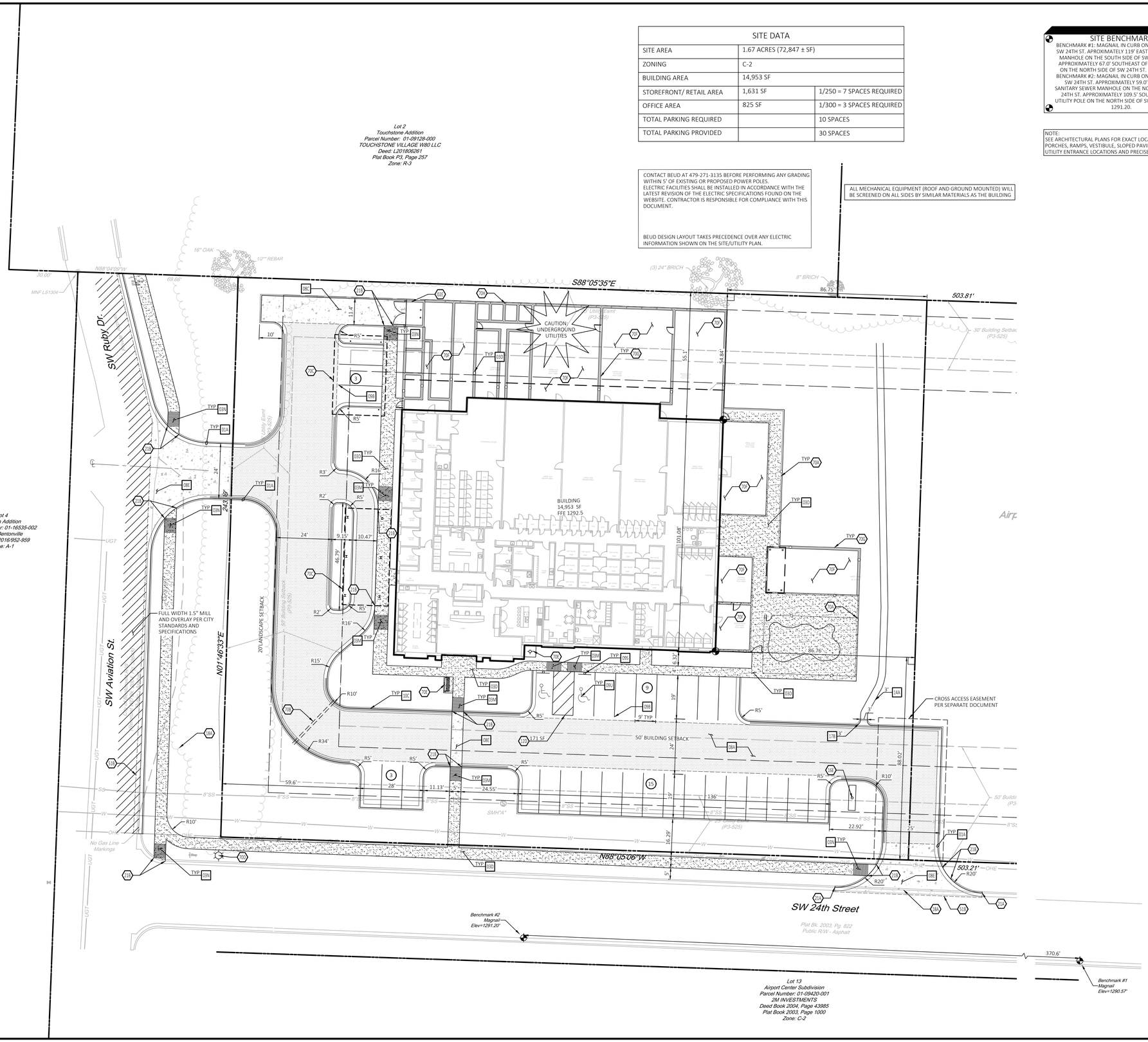

EXISTING LEGEND

	Boundary Line		Water Valve
	Adjoiner Boundary Line		Traffic Sign (type of sign)
	Right-of-Way Line		Telephone Sign
	Easement Line	eg	Existing Ground
	Setback Line	gb	Grade Break
	Overhead Electric Line	bb	Bottom Bank
	Sanitary Sewer Line	tb	Top Bank
(SITE)	Storm Drain Pipe	fl	Flow Line (Ditch)
	Underground Telephone Line	flp	Flow Line Pipe
	Water Line	tbc	Top Back Curb
	Water Line	gut	Gutter
	Barb Wire Fence Line	ea	Edge of Asphalt
	Chainlink Fence Line	cr	Crown of Road
	Wood Fence Line	ec	Edge of Concrete
	Benchmark	eog	Edge of Gravel
	Found Monument (as noted)	sw	Concrete Sidewalk
	Found Magnail #1304	SMH	Sanitary Sewer Manhole
	Found Chiseled "X"	DMH	Storm Drain Manhole
	Water Meter	ohe	Overhead Electric Line
	Drainage Manhole	cif	Curb Inlet Flow
	Fire Hydrant	CPP	Corrugated Polyethylene Pipe
	Sewer Manhole	RCP	Reinforced Concrete Pipe
	Sewer Cleanout	R/W	Right-of-Way
	Guy Wire/Anchor	b/b	Back to Back of Curb
	Utility Pole	(XXXX)	Record Bearing & Distance per Plat Bk. 2004, Pg. 1431

PROPOSED LEGEND

	PROPERTY LINE/RIGHT OF WAY LINE		CURB INLET
	CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.		BUILDING CONTROL POINT
	LIMITS OF STANDARD DUTY ASPHALT	#	PROPOSED PARKING SPACES
	LIMITS OF HEAVY DUTY CONCRETE		
	LIMITS OF SIDEWALKS AND CONCRETE APRONS		

GENERAL SITE NOTES

A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

B. ALL CURB RETURN RADII SHALL BE 3', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.

C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 08A OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 09N.

D. ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.

E. ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.

SITE NOTES

- 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS); THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH SIMILAR MATERIALS AS THE BUILDING.
- 12D 4 INCH WIDE PAINTED YELLOW STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
- 16E POLE MOUNT SIGN.
- 18A EXISTING TO BE REMOVED.
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET.
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- 70A FENCE PER ARCH. PLANS.
- 70B CONDUIT SLEEVE.
- 70C OVERHEAD CANOPY PER ARCH PLANS.
- 70D LIGHTING POLE PER CITY OF BENTONVILLE DETAILS. SEE DS-1416
- 70E SITE AMENITIES 1 & 2. A 6' VICTOR STANLEY "CLASSIC" SERIES BENCH -MODEL #C-10 (OR APPROVED EQUAL) AND A FIRE HYDRANT FOUNTAIN. INSTALL PER MANUFACTURER DETAILS AND SPECIFICATIONS.
- 70F ALL OUTDOOR PLAY YARDS SHALL BE SYN LAWN; INSTALL PER MANUFACTURER SPECIFICATIONS AND DETAILS.
- 70G ALL CONCRETE RIBBON SHALL BE 3 1/2".
- 70H 6' HIGH WHITE VINYL FENCE SECTION PER ARCH. PLANS.

SITE DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER
- 03D CONCRETE SIDEWALK
- 03M WHEELCHAIR RAMP IN SIDEWALK
- 03N WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY CURB RETURN)
- 08A STANDARD DUTY ASPHALT PAVING
- 08C HEAVY DUTY CONCRETE PAVING
- 08E STANDARD DUTY CONCRETE PAVING
- 09B NINETY DEGREE PARKING SPACE STRIPING
- 09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
- 09U ACCESSIBLE PARKING SYMBOL
- 10C FIRE LANE MARKING
- 14A CONCRETE SWALE
- 17B CONCRETE FLUME
- 70A LIGHT DUTY ASPHALT PAVING
- 70B FENCE POST SHALL BE 8' ON CENTER

30957	2/7/19	TCO	JPS	FBH	FBH
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

LSD18-0081

STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER No.6672 THOMAS C. OPPENHEIMER 02/10/2019

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FAX (479)273-0844

OFF THE LEASH
408 SW 24TH STREET
BENTONVILLE ARKANSAS

SITE PLAN

REV DATE	SHEET NO.
2/8/19 REV-1	C1

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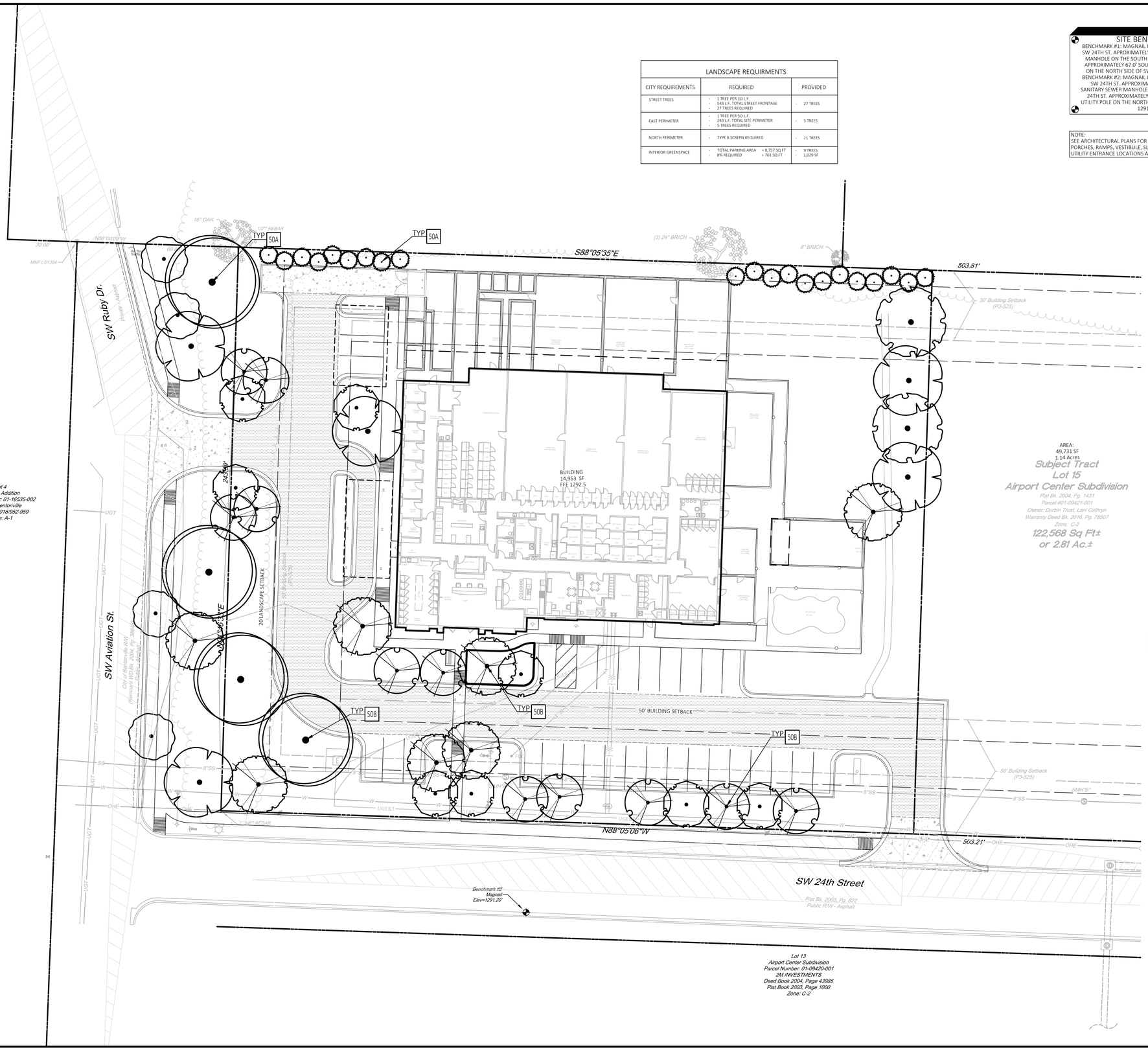

LANDSCAPE REQUIRMENTS		
CITY REQUIREMENTS	REQUIRED	PROVIDED
STREET TREES	- 1 TREE PER 20 L.F. - 543 L.F. TOTAL STREET FRONTAGE - 27 TREES REQUIRED	- 27 TREES
EAST PERIMETER	- 1 TREE PER 50 L.F. - 243 L.F. TOTAL SITE PERIMETER - 5 TREES REQUIRED	- 5 TREES
NORTH PERIMETER	- TYPE B SCREEN REQUIRED	- 21 TREES
INTERIOR GREENSPACE	- TOTAL PARKING AREA = 8,757 SQ.FT - 8% REQUIRED = 701 SQ.FT	- 9 TREES - 1,029 SF

SITE BENCHMARK

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N

0 20' 30' 40'
SCALE IN FEET

811
Know what's **below.**
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EXISTING LEGEND

e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
	PROPERTY LINE	X"W	WATER
	RIGHT OF WAY LINE	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	STORM DRAIN		
X"G	GAS		
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED LEGEND

BOUNDARY LINE
STORM DRAIN

GENERAL NOTES

A. SEE LANDSCAPE NOTES (SHEET C5.1) FOR LANDSCAPE NOTES AND DETAILS.

SITE DETAILS

50A TREE PLANTING

SITE NOTES

77A ALL OUTDOOR PLAY YARDS SHALL BE SYN LAWN; INSTALL PER MANUFACTURER SPECIFICATIONS AND DETAILS.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	TRUNK HEIGHT
	4	Acer buergerianum / Trident Maple	B & B	2.5"Cal	
	8	Carpinus caroliniana / American Hornbeam	B & B		10' trunk ht.
	4	Acer saccharum `Legacy` / Legacy Sugar Maple	B & B	2.5"Cal	
	11	Acer truncatum / Shantung Maple	B & B	2.5"Cal	
	7	Carpinus caroliniana / American Hornbeam	B & B	2.5"Cal	
	5	Nyssa sylvatica / Sour Gum	B & B	2.5"Cal	
	2	Taxodium distichum / Bald Cypress	B & B	2.5"Cal	
	21	Thuja standishii x plicata `Green Giant` / Green Giant Arborvitae	B & B		10' trunk ht.

30957	2/8/19	TCO	JPS	FBH	FBH
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

LSD18-0081

Licensed Landscape Architect
RICHARD W. ROGERS
4987
Arkansas
2/11/19

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OFF THE LEASH

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BENTONVILLE ARKANSAS

LANDSCAPE PLAN

REV DATE	SHEET NO.
2/11/19 REV-1	C5

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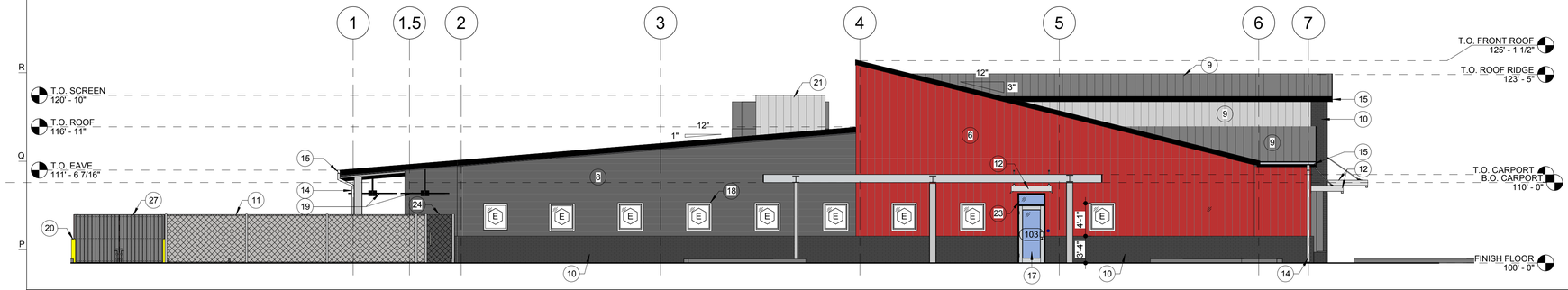
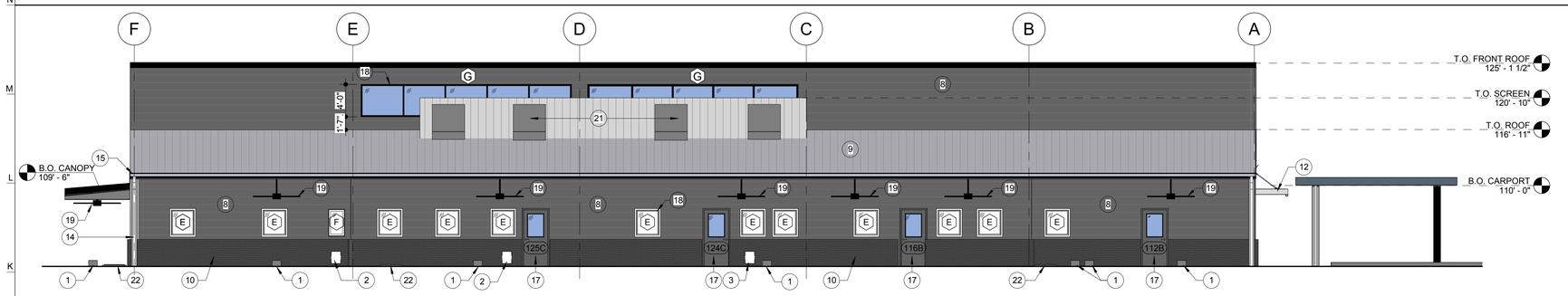


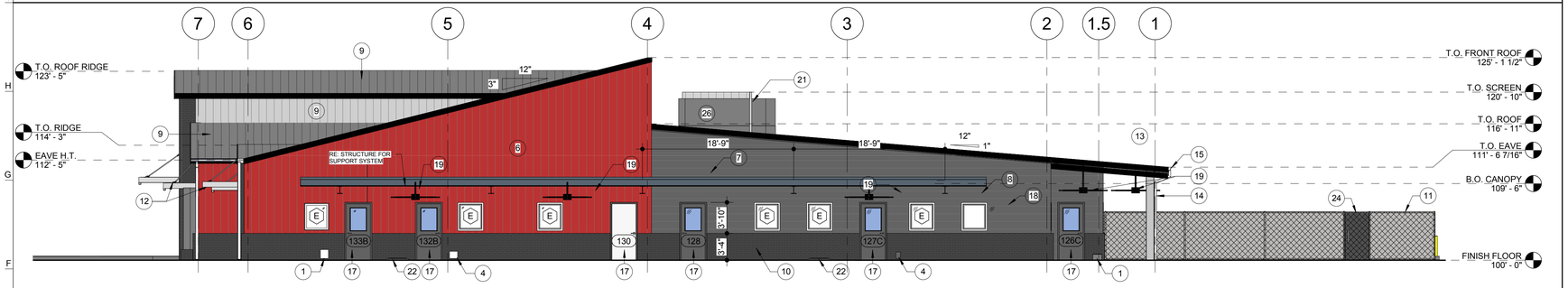
WEST ELEVATION N5

1/8" = 1'-0"



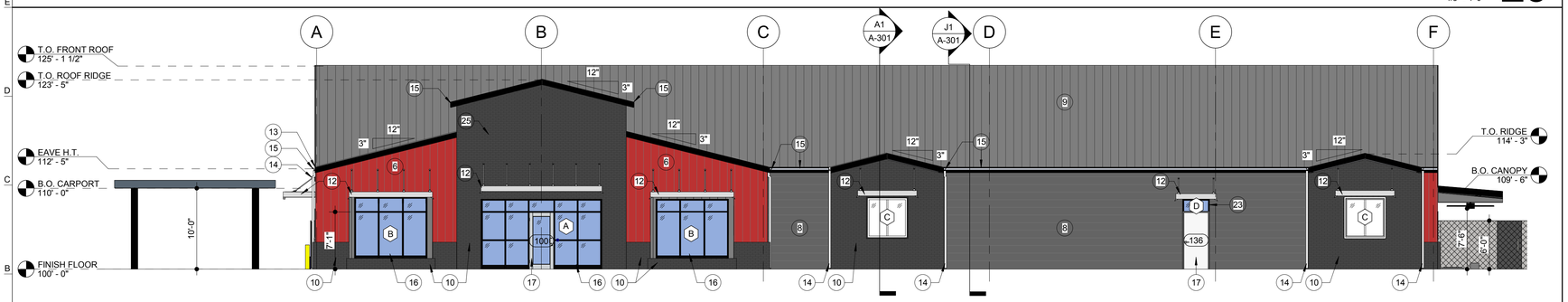
NORTH ELEVATION J5

1/8" = 1'-0"



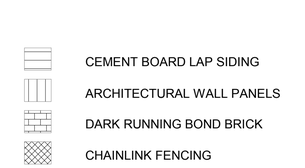
EAST ELEVATION E5

1/8" = 1'-0"



SOUTH ELEVATION A5

1/8" = 1'-0"



MATERIAL LEGENDS N1

N.T.S.

ELEVATION NOTES

1 DOG WATER STATION
2 LARGE DOG DOOR ____ X____
3 MEDIUM DOG DOOR ___X___
4 SMALL DOG DOOR ____ X____
6 ARCHITECTURAL METAL WALL PANEL
7 METAL CANOPY
8 8" CEMENT BOARD LAP SIDING
9 STANDING SEAM METAL ROOF
10 BRICK WAINSCOT
11 6'-0" H ____ COATED CHAIN LINK FENCE
12 METAL CANTILEVERED SHADE CANOPY AT WINDOW/ENTRY
13 EAVE TRIM AND FLASHING
14 ____" DOWNSPOUT
15 ____" GUTTER
16 ALUMINUM STOREFRONT SYSTEM
17 METAL DOOR, RE: DOOR SCHEDULE
18 WINDOW, RE: WINDOW SCHEDULE
19 CEILING FAN WITH WATER MISTER, RE: ELECTRICAL
20 BOLLARD
21 RTU SCREEN
22 POWERLOO DOG WASTE DISPOSAL SYSTEM. RE: PLUMBING
23 TRANSOM, RE: WINDOW SCHEDULE
24 __ x ___ METAL LOUVERED GATES
25 SIGNAGE
26 RTU, RE: ELECTRICAL
27 TRASH ENCLOSOURE DOOR

ELEVATION NOTES A1

N.T.S.

TEVIS ARCHITECTS
www.tevisarchitects.com

SHAWNEE OFFICE:
10820 SHAWNEE MISSION PKWY
SUITE # 201
SHAWNEE, KS 66203
P: 913.599.3003

TOPEKA OFFICE:
1250 SW OAKLEY STE 200
TOPEKA, KS 66604
P: 785.234.6664

STRUCTURAL ENGINEER
STAND STRUCTURAL
8234 ROBINSON ST,
OVERLAND PARK, KS 66204
P: 913.214.2169
C: 913.424.9115

MECHANICAL ENGINEER
HOSS & BROWN
11205 W. 79TH, SUITE 102
LENEXA, KS 66214
P: 913.362.9090

CIVIL ENGINEER
CEI ENGINEERING ASSOC, INC.
3108 SW REGENCY PKWY, STE 2
BENTONVILLE, AR 72712
P: 479.273.9472
F: 479.273.0844

NOT FOR CONSTRUCTION

OFF THE LEASH

S/W 24TH STREET
BENTONVILLE, AR 72712

PN:	18070
ISSUE DATE:	1/25/2019
DRAWN BY:	KK
CHECKED BY:	SI/TT

NO.	ISSUE/REVISION	DATE

EXTERIOR ELEVATION

A-201

PROJECT STATUS

© 2018 TEVIS ARCHITECTURAL GROUP PA

1/25/2019 1:58:30 PM
C:\Users\kaspar\Documents\Off The Leash_Central_kkaspar28@gmail.com.rvt

REZONING STAFF REPORT

BOS Park, LLC

SW Regional Airport Blvd & SW Featherston Rd

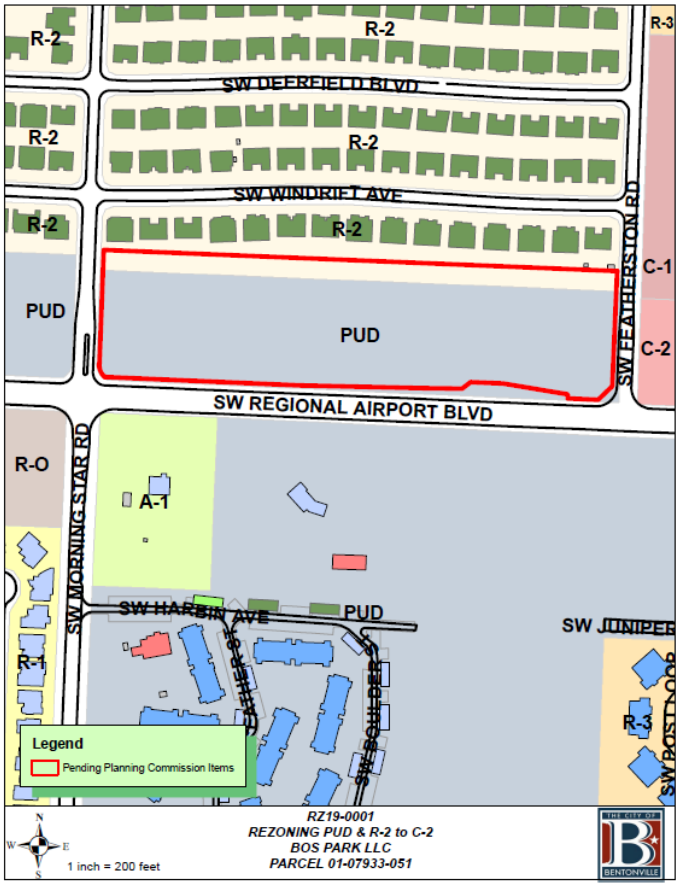
PC Date: 2/19/2019

Reviewer: Ali Worley, Planning Technician

Project Number	RZ19-0001
Applicant / Current Owner	BOS Park, LLC 5311 W Village Pkwy Rogers, AR 72758
Site Area	+/- 8.9 acres
Current Zoning	R-2, Duplex and Patio Home Residential & PUD, Planning Unit Development
Requested Zoning	C-2, General Commercial
Future Land Use Map Designation	General Commercial

http://geo.bentonvillear.com/mgweb/PZpending/

Location Map



Property Description

This property is located north of SW Regional Airport Boulevard, east of SW Morning Star Road, and west of SW Featherston Road. The property is currently zoned R-2, Duplex and Patio Home Residential and PUD, Planned Unit Development. Adjacent zonings are R-2 to the north, C-2 to the east, and PUD to the south and west.

Projected Traffic Impact

The proposed rezoning does have the potential to impact traffic in the area. However, any future developments on the subject tract would be required to improve adjacent streets and meet the Access Management Standards of the Subdivision Code. Therefore, any increases in traffic caused by the rezoning should be accommodated through future development review processes.

Relationship to the General Plan

The Future Land Use Plan currently depicts this property as General Commercial. General Commercial areas include uses that serve both nearby residents and the larger community and region. In addition, the site is adjacent to two Collector Streets (SW Featherston Road and SW Morningstar Road) and a Major Arterial (SW Regional Airport Boulevard), which may suggest a more intensive use.

Analysis

The site's adjacency to a major arterial road, surrounding uses, and general compatibility with the Future Land Use Plan may justify a rezoning to C-2, General Commercial.

Rezoning Application Package
Narrative

Provide typed statement addressing each of the following.

- State the current zoning designation and proposed zoning designation. Explanation of the proposed zoning change including current owner information and any proposed sales.
    a. Existing zoning: PUD
    b. Proposed zoning: C-2

- Reason (need) for requesting the zoning change.
    a. PUD has expired
    b. Intended use is commercial

- Statement of how the property will relate to surrounding properties.
    a. Out of the 10 acres, 3 acres are planned to be developed at this time. The other two parcels will remain vacant.
    b. The middle parcel will have a two-story brick and masonry building which will house storage units. The building will lay along Highway 12. There will be a wide grass area along the north side, and trees will be planted along the fence on the north.

- Use.
    a. Out of the 10 acres, 3 acres are planned to be developed at this time. The other two parcels will remain vacant.
    b. The middle parcel will have a two-story brick and masonry building which will house storage units.

- Traffic.
    a. Vehicle flow is expected to be low and intermittent. The proposed use is not retail, restaurant or other kind that lends itself to creating traffic.

- Signage.
    a. Three sign/s will be mounted on the building, facing east, west and front.

- Appearance.
    a. The middle parcel will have a two-story brick and masonry building which will house storage units. The other two parcels will remain vacant.

- Availability of water and sewer (state size of lines). If direct water and/or sewer is not available, state how lines will be accessed and connected.
    a. Both water and sanitary sewer are available immediately adjacent to site.
    b. 8” water main will be installed along SW Morning Star Rd, and along Hwy 12.
    c. 8” sanitary sewer main will be installed at the northwest corner to tie into the proposed storage.

Lots 1-3, BOS Park Subdivision

SW Regional Airport Boulevard & SW Featherston Road

PC Date: 2/19/2019

Reviewer: Tyler Overstreet, Planner

Project Number	LS19-0001
Applicant / Current Owner	BOS Park, LLC 5311 W Village Pkwy Rogers, AR 72758
Site Area	+/- .2 acres
Current Zoning	C-2, General Commercial (pending)
Future Land Use Map Designation	General Commercial

http://geo.bentonvillear.com/mgweb/PZpending/

Location Map

Property Description

This property is located north of SW Regional Airport Boulevard, west of SW Featherston Road, and East of SW Morningstar Road. The site is currently pending rezoning to C-2, General Commercial.

Project Details

A Lot Split of a tract of previously unplatted land, creating Lots 1, 2, and 3 of BOS Park Subdivision. The plat dedicates multiple utility easements of varying widths per the plat. The plat dedicates 5-feet of additional right-of-way along SW Featherston Road. In addition, private, shared access easements shall be dedicated along the shared lot lines fronting SW Regional Airport Boulevard.

Projected Traffic Impact

The proposed rezoning does have the potential to impact traffic in the area. However, any future developments on the subject tract would be required to improve adjacent streets and meet the Access Management Standards of the Subdivision Code. Therefore, any increases in traffic caused by the lot split should be accommodated through future development review processes.

Waivers

No waivers requested

Conclusion

This lot split does meet the minimum requirements of the subdivision regulations.

Standard Conditions of Approval

1. Provide a digital copy of the plat.
2. Address all technical review comments before requesting a building permit.

NOTES

- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.

CERTIFICATE OF RECORDING

THIS DOCUMENT FILED FOR RECORD

_____ DAY, 200_____ IN PLAT

BOOK NO. _____, PAGE _____.

SIGNED: _____

CERTIFICATE OF APPROVAL

PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

SIGNED _____
BENTONVILLE PLANNING
COMMISSION CHAIRMAN

SIGNED_____
MAYOR CITY OF BENTONVILLE

SIGNED _____
CITY CLERK, CITY OF BENTONVILLE

CERTIFICATE OF OWNERSHIP

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____

SIGNED :_____
BOS PARK LLC
6301 CLIFF DR
FORT SMITH AR 72903-4975

SOURCE OF TITLE: DEED BK. 2015, PG. 14973

ENGINEER / SURVEYOR
ANDERSON ENGINEERING, INC.
5311 W VILLAGE PKWY.
ROGERS, AR 72758
(479) 286-8181

DEVELOPER
HOLYFIELD CONSTRUCTION, INC.
2371 TOWER DR.
MONROE, LA 71201
(318) 388-2492

OWNER
BOS PARK LLC
6301 CLIFF DR
FORT SMITH, AR 72903
(479) 845-1518

GRAPHIC SCALE

80 0 40 80

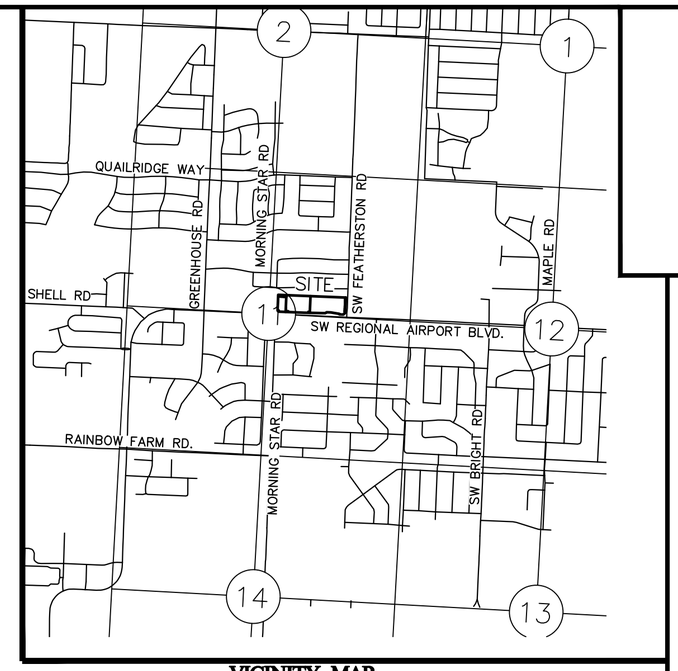
(IN FEET)
1 inch = 80 ft.

GRID

CONVERGENCE=-1°18'23"
COMBINED SCALE FACTOR=0.999965553
COMPUTED AT A FOUND ALUMINUM CAP
AT THE SOUTHEAST CORNER
SW1/4,NE1/4, SECTION 11
T19N, R31W
LAT=36° 20' 09.95615952"N
LON=94° 14' 41.99040133"W
ELEVATION=1270.89'

LEGEND

- IPS — SET 5/8" REBAR WITH CAP PLS 1759
- FOUND MONUMENT AS NOTED
- PP GY — POWER POLE W/ GUY
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- SIGN / WITNESS POST
- FH — FIRE HYDRANT
- WV — WATER VALVE
- GM — GAS METER
- GV — GAS VALVE
- TR — TELEPHONE RISER
- GUARD POST
- LP — LIGHT POLE
- WATER METER
- PROPERTY LINE
- PARCEL/DEED LINE
- EASEMENT LINE
- RIGHT OF WAY LINE
- CENTERLINE
- X — FENCE
- PUBLIC UTILITY EASEMENT BY THIS PLAT



VICINITY MAP
T9N, R31W

CERTIFICATE OF SURVEYING ACCURACY

I, NIKOLAY NEDKOV, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION: _____

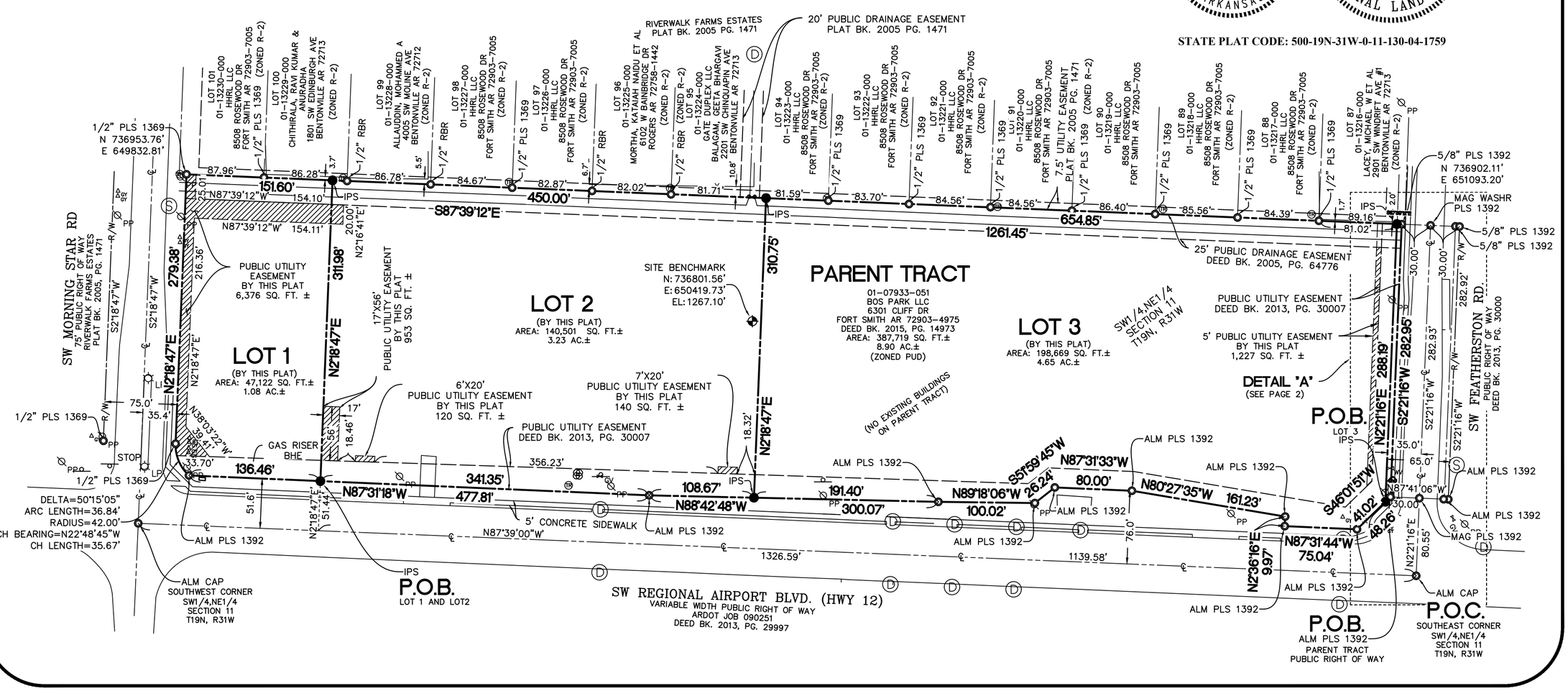
SIGNED: _____
REGISTERED LAND SURVEYOR
NO. 1759
STATE OF ARKANSAS

CERTIFICATE OF AUTHORIZATION NO. 335 ARKANSAS

REGISTERED STATE OF ARKANSAS NIKOLAY NEDKOV PROFESSIONAL LAND SURVEYOR

PRELIMINARY

STATE PLAT CODE: 500-19N-31W-0-11-130-04-1759



REVISIONS			
NO.	DESCRIPTION	BY	DATE

DRAWING INFO.	
FIELD BY:	JM
DRAWN BY:	NKN
CHECK BY:	JLH
DATE:	12-31-18
FIELD BOOK:	
JOB NUMBER:	18AR10015

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EMPLOYEE OWNED
ENGINEERS • SURVEYORS • LABORATORIES • DRILLING • GIS
811 E. 3RD STREET•JOPLIN, MISSOURI 64801•PHONE (417) 782-7399

BOS PARK LLC

LOT SPLIT BOS PARK
CREATING LOTS 1, 2 AND 3
BOS PARK SUBDIVISION

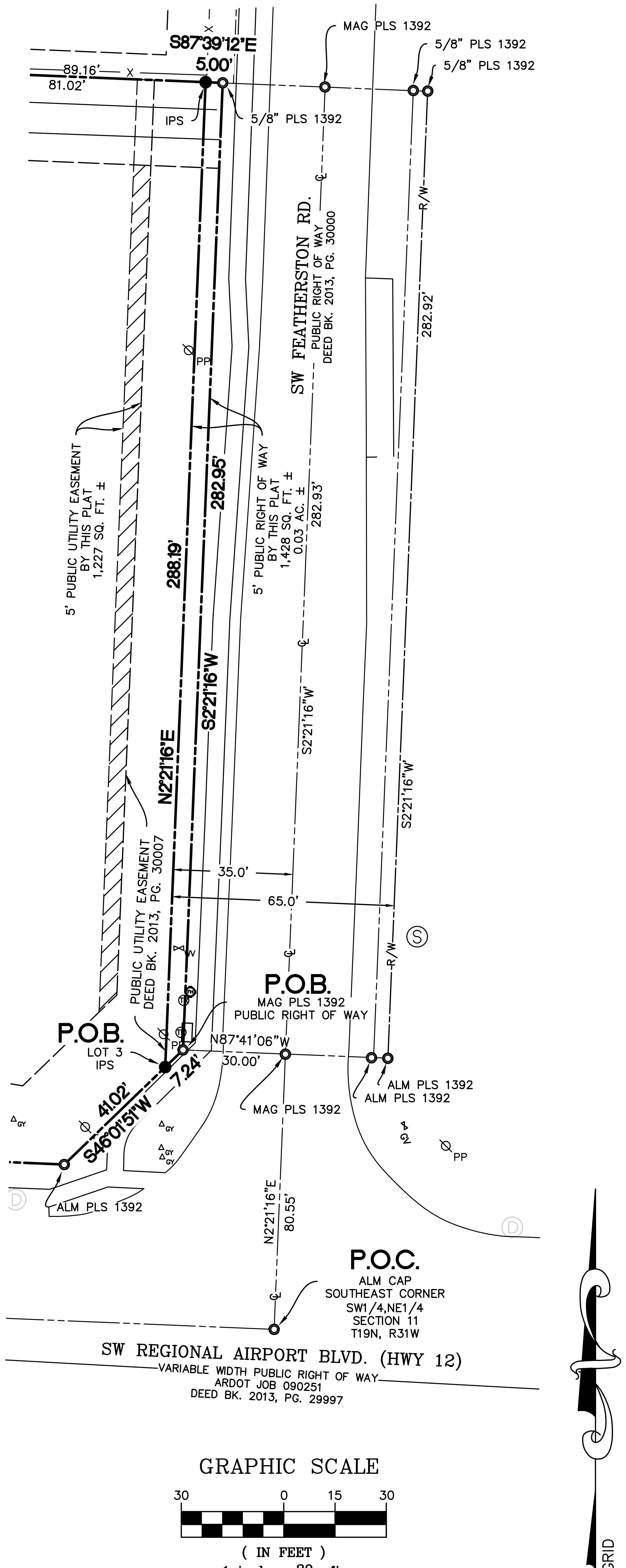
SW REGIONAL AIRPORT BLVD.
CITY OF BENTONVILLE
BENTON COUNTY, ARKANSAS

DRAWING NO. NWA-100-0022

SHEET NUMBER 1 OF 2

PROJECT NO. LS19-0001

DETAIL "A"



LOT 1 LEGAL DESCRIPTION

PART OF THE SW1/4, NE1/4, SECTION 11, TOWNSHIP 19 NORTH, RANGE 31 WEST, CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND ALUMINUM CAP AT THE SOUTHEAST CORNER OF SAID SW1/4, NE1/4; THENCE N87°39'00"W 1139.58 FEET; THENCE N02°18'47"E 51.44 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759 ON THE NORTH RIGHT OF WAY OF SW REGIONAL AIRPORT BLVD (WHY 12), DEED BK. 2013, PG. 29997 FOR THE POINT OF BEGINNING;

THENCE ALONG SAID NORTH RIGHT OF WAY, N87°31'18"W 136.46 FEET A FOUND ALUMINUM CAP PLS 1392; THENCE 36.84 FEET ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 50°15'05", A RADIUS OF 42.00 FEET, A LONG CHORD THAT BEARS N22°48'45"W, 35.67 FEET TO A FOUND 1/2-INCH REBAR WITH CAP PLS 1369 ON THE EAST RIGHT OF WAY OF SW MORNING STAR RD, PLAT BK. 2005, PG. 1471; THENCE ALONG SAID EAST RIGHT OF WAY, N02°18'47"E 279.38 FEET TO A FOUND 1/2-INCH REBAR WITH CAP PLS 1369 ON THE SOUTH LINE OF LOT 101, RIVERWALK FARMS ESTATE PLAT BK. 2005, PG. 1471; THENCE S87°39'12"E 151.60 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759 IN THE SOUTH LINE OF LOT 100 OF SAID RIVERWALK FARMS ESTATE; THENCE DEPARTING SAID SOUTH LINE, S02°18'47"W 311.98 FEET TO THE POINT OF BEGINNING, CONTAINING 47,122 SQUARE FEET OR 1.08 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

LOT 2 LEGAL DESCRIPTION

PART OF THE SW1/4, NE1/4, SECTION 11, TOWNSHIP 19 NORTH, RANGE 31 WEST, CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND ALUMINUM CAP AT THE SOUTHEAST CORNER OF SAID SW1/4, NE1/4; THENCE N87°39'00"W 1139.58 FEET; THENCE N02°18'47"E 51.44 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759 ON THE NORTH RIGHT OF WAY OF SW REGIONAL AIRPORT BLVD (WHY 12), DEED BK. 2013, PG. 29997 FOR THE POINT OF BEGINNING;

THENCE DEPARTING SAID NORTH RIGHT OF WAY, N02°18'47"E 311.98 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759 ON THE SOUTH LINE OF LOT 100, RIVERWALK FARMS ESTATE PLAT BK. 2005, PG. 1471; THENCE S87°39'12"E 450.00 FEET TO A SET 5/8-INCH REBAR ON THE SOUTH LINE OF LOT 94 OF SAID RIVERWALK FARMS ESTATE; THENCE DEPARTING SAID SOUTH LINE, S02°18'47"W 310.75 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759 ON THE NORTH RIGHT OF WAY OF SW REGIONAL AIRPORT BLVD (WHY 12);
THENCE ALONG SAID NORTH RIGHT OF WAY THE FOLLOWING TWO COURSES:
1.) N88°42'48"W 108.67 FEET TO A FOUND ALUMINUM CAP PLS 1392;
2.) N87°31'18"W 341.35 FEET TO THE POINT OF BEGINNING, CONTAINING 140,501 SQUARE FEET OR 3.23 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

LOT 3 LEGAL DESCRIPTION

PART OF THE SW1/4, NE1/4, SECTION 11, TOWNSHIP 19 NORTH, RANGE 31 WEST, CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT A FOUND ALUMINUM CAP AT THE SOUTHEAST CORNER OF SAID SW1/4, NE1/4; THENCE N02°21'16"E 80.55 FEET TO A FOUND A MAG NAIL WITH WASHER PLS1392; THENCE N87°41'06"W 30.00 FEET TO A FOUND ALUMINUM CAP PLS 1392 ON THE INTERSECTION OF THE WEST RIGHT OF WAY OF SW FEATHERSTON RD., DEED BK. 2013, PG. 30000 AND THE NORTH RIGHT OF WAY OF SW REGIONAL AIRPORT BLVD (WHY 12), DEED BK. 2013, PG. 29997;
THENCE ALONG THE NORTH RIGHT OF WAY OF SW REGIONAL AIRPORT BLVD (WHY 12), S46°01'51"W 7.24 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759 FOR THE POINT OF BEGINNING;
THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY THE FOLLOWING EIGHT (8) COURSES:
1.) S46°01'51"W 41.02 FEET TO A FOUND ALUMINUM CAP PLS 1392;
2.) N87°31'44"W 75.04 FEET TO A FOUND ALUMINUM CAP PLS 1392;
3.) N02°36'16"E 9.97 FEET TO A FOUND ALUMINUM CAP PLS 1392;
4.) N80°27'35"W 161.23 FEET TO A FOUND ALUMINUM CAP PLS 1392;
5.) N87°31'33"W 80.00 FEET TO A FOUND ALUMINUM CAP PLS 1392;
6.) S51°59'45"W 26.24 FEET TO A FOUND ALUMINUM CAP PLS 1392;
7.) N89°18'06"W 100.02 FEET TO A FOUND ALUMINUM CAP PLS 1392;
8.) N88°42'48"W 191.40 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759;
THENCE DEPARTING SAID RIGHT OF WAY, N02°18'47"E 310.75 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759 ON THE SOUTH LINE OF LOT 94, RIVERWALK FARMS ESTATE PLAT BK. 2005, PG. 1471; THENCE S87°39'12"E 654.85 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759; THENCE S02°21'16"W 288.19 FEET TO THE POINT OF BEGINNING, CONTAINING 198,669 SQUARE FEET OR 4.56 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

PARENT TRACT LEGAL DESCRIPTION

PART OF THE SW1/4, NE1/4, SECTION 11, TOWNSHIP 19 NORTH, RANGE 31 WEST, CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND ALUMINUM CAP AT THE SOUTHEAST CORNER OF SAID SW1/4, NE1/4; THENCE N02°21'16"E 80.55 FEET TO A FOUND A MAG NAIL WITH WASHER PLS 1392; THENCE N87°41'06"W 30.00 FEET TO A FOUND ALUMINUM CAP PLS 1392 ON THE INTERSECTION OF THE WEST RIGHT OF WAY OF SW FEATHERSTON RD., DEED BK. 2013, PG. 30000 AND THE NORTH RIGHT OF WAY OF SW REGIONAL AIRPORT BLVD (WHY 12), DEED BK. 2013, PG. 29997 FOR THE POINT OF BEGINNING;

THENCE ALONG SAID RIGHT OF WAY THE FOLLOWING NINE (9) COURSES:
1.) S46°01'51"W 48.26 FEET TO A FOUND ALUMINUM CAP PLS 1392;
2.) N87°31'44"W 75.04 FEET TO A FOUND ALUMINUM CAP PLS 1392;
3.) N02°36'16"E 9.97 FEET TO A FOUND ALUMINUM CAP PLS 1392;
4.) N80°27'35"W 161.23 FEET TO A FOUND ALUMINUM CAP PLS 1392;
5.) N87°31'33"W 80.00 FEET TO A FOUND ALUMINUM CAP PLS 1392;
6.) S51°59'45"W 26.24 FEET TO A FOUND ALUMINUM CAP PLS 1392;
7.) N89°18'06"W 100.02 FEET TO A FOUND ALUMINUM CAP PLS 1392;
8.) N88°42'48"W 300.07 FEET TO A FOUND ALUMINUM CAP PLS 1392;
9.) N87°31'18"W 477.81 FEET TO A FOUND ALUMINUM CAP PLS 1392;

THENCE 36.84 FEET ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 50°15'05", A RADIUS OF 42.00 FEET, A LONG CHORD THAT BEARS N22°48'45"W, 35.67 FEET TO A FOUND 1/2-INCH REBAR WITH CAP PLS 1369 ON THE EAST RIGHT OF WAY OF SW MORNING STAR RD, PLAT BK. 2005, PG. 1471; THENCE ALONG SAID EAST RIGHT OF WAY, N02°18'47"E 279.38 FEET TO A FOUND 1/2-INCH REBAR WITH CAP PLS 1369 ON THE SOUTH LINE OF LOT 101, RIVERWALK FARMS ESTATE PLAT BK. 2005, PG. 1471; THENCE S87°39'12"E 1261.45 FEET TO A FOUND A FOUND 1/2-INCH REBAR WITH CAP PLS 1392 ON THE INTERSECTION OF THE SOUTH LINE OF LOT 87 OF SAID RIVERWALK FARMS ESTATE AND THE WEST RIGHT OF WAY OF SW FEATHERSTON RD., DEED BK. 2013, PG. 30000; THENCE ALONG SAID WEST RIGHT OF WAY, S02°21'16"W 282.95 FEET TO THE POINT OF BEGINNING, CONTAINING 387,719 SQUARE FEET OR 8.90 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

PUBLIC RIGHT OF WAY LEGAL DESCRIPTION

PART OF THE SW1/4, NE1/4, SECTION 11, TOWNSHIP 19 NORTH, RANGE 31 WEST, CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND ALUMINUM CAP AT THE SOUTHEAST CORNER OF SAID SW1/4, NE1/4; THENCE N02°21'16"E 80.55 FEET TO A FOUND A MAG NAIL WITH WASHER PLS 1392; THENCE N87°41'06"W 30.00 FEET TO A FOUND ALUMINUM CAP PLS 1392 ON THE INTERSECTION OF THE WEST RIGHT OF WAY OF SW FEATHERSTON RD., DEED BK. 2013, PG. 30000 AND THE NORTH RIGHT OF WAY OF SW REGIONAL AIRPORT BLVD (WHY 12), DEED BK. 2013, PG. 29997 FOR THE POINT OF BEGINNING;

THENCE ALONG THE NORTH RIGHT OF WAY OF SW REGIONAL AIRPORT BLVD (WHY 12) S46°01'51"W 7.24 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759; THENCE DEPARTING SAID RIGHT OF WAY, N02°21'16"E 288.19 FEET TO A SET 5/8-INCH REBAR WITH CAP PLS 1759 ON THE SOUTH LINE OF LOT 87 OF SAID RIVERWALK FARMS ESTATE; THENCE ALONG SAID SOUTH LINE, S87°39'12"E 5.00 FEET TO A FOUND A FOUND 1/2-INCH REBAR WITH CAP PLS 1392 ON THE INTERSECTION OF SAID SOUTH LINE AND THE WEST RIGHT OF WAY OF SW FEATHERSTON RD., DEED BK. 2013, PG. 30000; THENCE ALONG SAID WEST RIGHT OF WAY, S02°21'16"W 282.95 FEET TO THE POINT OF BEGINNING CONTAINING 1,428 SQUARE FEET OR 0.03 ACRES, MORE OR LESS.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 05007C0235K, WHICH BEARS AN EFFECTIVE DATE OF JUNE 5, 2012 AND IT IS AN AREA OF MINIMAL FLOOD HAZARD.

ZONING DATA

PROPOSED ZONING: C-2, GENERAL COMMERCIAL
(PENDING REZONING APPLICATION)

FRONT WITH PARKING IN FRONT 50 FT.
FRONT WITHOUT PARKING IN FRONT 20 FT
SIDE ADJACENT TO NON-RESIDENTIAL DISTRICT 7 FT.
SIDE ADJACENT TO RESIDENTIAL DISTRICT 30 FT.
REAR ADJACENT TO NONRESIDENTIAL DISTRICT 20 FT.
REAR ADJACENT TO RESIDENTIAL DISTRICT 30 FT.

NOTES

1. THIS PLAT REPRESENTS A INCIDENTAL SUBDIVISION SURVEY OF A TRACT OF LAND DESCRIBED IN DEED BK. 2015, PG. 14973, RECORDED AT THE BENTON COUNTY, ARKANSAS CIRCUIT CLERK'S OFFICE.
2. THIS SURVEY MEETS CURRENT "ARKANSAS MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AND PLATS"
3. NO TITLE REPORT WAS PROVIDED TO SURVEYOR AT THE TIME OF SURVEY.
4. BASIS OF BEARINGS: NAD83 ARKANSAS NORTH ZONE SATE PLANE COORDINATE SYSTEM REFERENCE FRAME 2011 EPOCH: 2010.0000 BY NGS OPUS SOLUTION.
5. ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES, UNLESS OTHERWISE NOTED.
6. ENVIRONMENTAL AND SUBSURFACE CONDITIONS WERE NOT EXAMINED AS PART OF THIS SURVEY.
7. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY AND IS NOT TRANSFERABLE.
8. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR PRESENT.
9. SITE VISITS: DECEMBER: DECEMBER 11, 12, 14, 19 AND 21, 2018.
10. BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITH-IN THE RIGHT-OF-WAY. WORK IN RIGHT-OF-WAY MAY REQUIRE A SEPARATE PERMIT.
11. OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.
12. SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.
13. THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.

CERTIFICATE OF AUTHORIZATION ARKANSAS
REGISTERED PROFESSIONAL LAND SURVEYOR STATE OF ARKANSAS NO. 1759 NIKOLAY NEDKOV

PRELIMINARY

STATE PLAT CODE: 500-19N-31W-0-11-130-04-1759

ANDERSON ENGINEERING
EMPLOYEE OWNED
ENGINEERS • SURVEYORS • LABORATORIES • DRILLING • GIS
811 E. 3RD STREET• JOPLIN, MISSOURI 64801• PHONE (417) 782-7399

DRAWING INFO.	
FIELD BY:	JLH
DRAWN BY:	NKN
CHECK BY:	JM
DATE:	12-31-18
FIELD BOOK:	
JOB NUMBER:	18AR10015

REVISIONS

NO.	DESCRIPTION	BY	DATE

COPYRIGHT ANDERSON ENGINEERING, INC. 2018

BOS PARK LLC

LOT SPLIT BOS PARK
CREATING LOTS 1, 2 AND 3
BOS PARK SUBDIVISION
SW REGIONAL AIRPORT BLVD.
CITY OF BENTONVILLE
BENTON COUNTY, ARKANSAS

DRAWING NO.
NWA-100-0022
SHEET NUMBER
2
OF 2

PROJECT NO.
LS19-0001

LARGE SCALE DEVELOPMENT STAFF REPORT

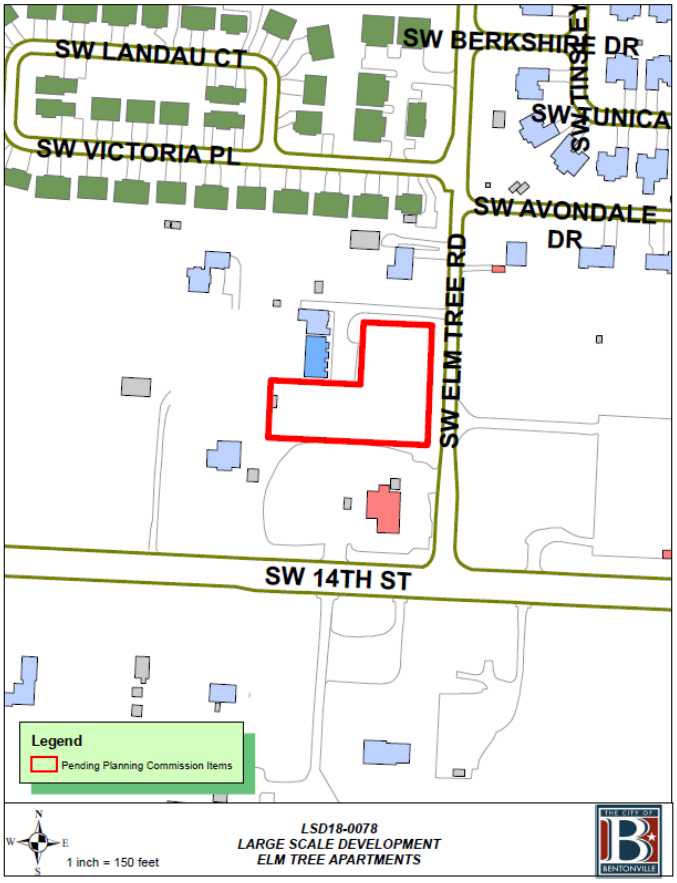
The Lofts on Elm Tree

1304 SW Elm Tree Road
PC Date: 2/19/2019
Reviewer: Tyler Overstreet, Planner

Project Number	LSD18-0078
Applicant / Current Owner	Sky One Property, LLC 2700 Ledbury Cove Bentonville, AR 72712
Site Area	+/- 1.7 acres
Current Zoning	R-4, High Density Residential
Future Land Use Map Designation	High Density Residential (HDR)
Development Type / Use	Multi-Family Residential

http://geo.bentonvillear.com/mgweb/PZpending/

Location Map



Property Description
This property is on SW Elm Tree Road, north of SW 14th Street. The property is currently zoned R-4, High-Density Residential.

Project Details
Project consists of the construction of three multi-family structures and one office/amenity building on property located on SW Elm Tree Road. The development provides 67 parking spaces.

The applicant shall provide sidewalk along SW Elm Tree Road. The exterior elevations depict brick, stone and fiber cement panels as the primary materials on the buildings.

Projected Traffic Impact
The proposed large scale development has the potential to impact traffic in the area. However, the site's compliance with the parking and access management standards, as outlined within the Zoning and Subdivision Codes, should accommodate any increases in traffic to the area.

Waivers

- One waiver requested:
  - A Waiver from Article 1400, Section 1400.7, Perimeter Landscaping and Screening, of the Subdivision Code. There is a drainage easement and trickle channel on the south side of the development that prevents trees from being planted on the southern property line. Instead the applicant proposes to plant their required trees elsewhere on site.

Conclusion
In conclusion, this large scale development does not meet the minimum requirements of the subdivision regulations, due to the waiver requests. However, considering the landscaping challenges on the southern property line and the applicant's proposed compromise, a waiver may be justified.

THE LOFTS ON ELM TREE
1772

DEVELOPMENT PLANS

FOR

THE LOFTS ON ELM TREE

BENTONVILLE, ARKANSAS

The City of Bentonville Standards, Drainage Criteria Manual, Subdivision Ordinance, Water, Sewer, Electric Utility Specifications and State Code shall govern these plans. If there are discrepancies in the plans or information contained within, City of Bentonville Ordinances, Standards and Specifications shall rule, unless, approved in writing by the City Engineer.

To schedule an inspection or test with the City of Bentonville Engineering Department, inspections must be called in (479-271-3168) by the Engineer of Record 24 hours in advance before 10 am for an inspection the following day.

Pre-Pave Precon will be required before any Paving of Streets. All test results and inspections to be verified and in file before requesting Pre-Pave Precon. Tracer Wire to be inspected before Paving.

CONTACT INFORMATION FOR UTILITIES:

Engineering Department
City Engineer
Ellen Norvell
3200 Municipal Way
Bentonville, AR 72712
(479) 271-5993

Street Department
City of Bentonville
Tony Davis
3200 Municipal Way
Bentonville, AR 72712
(479) 271-3130

Water Department
City of Bentonville
Preston Newbill
3200 Municipal Way
Bentonville, AR 72712
(479) 271-3140

WasteWater Department
City of Bentonville
Nancy Busen
1901 N.E. A Street
Bentonville, AR 72712
(479) 271-3160

Phone
AT&T
Scott Seaman
627 White Road
Springdale, AR 72766
(479) 442-1967 or
Layne Rhodes (lr159@att.com)
(479) 422-1977

Black Hills Energy
Josh Knight
1301 Federal Way
PO Box 2129
Lowell, AR 72745
(479) 333-7005
Loshua.knight@blackhillscorp.com

CONTACT INFORMATION FOR UTILITIES:

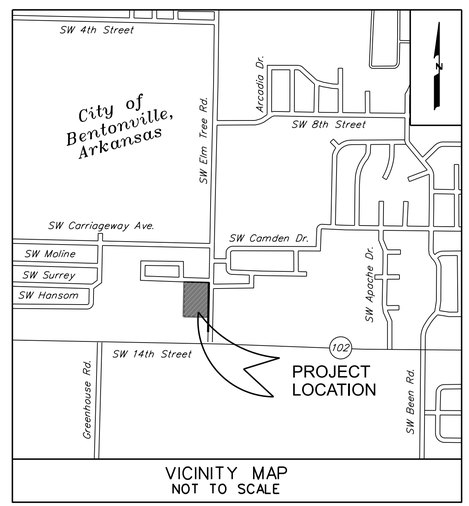
Electric Department
City of Bentonville
Charles Barnes
3200 Municipal Way
Bentonville, AR 72712
(479) 271-3159

Planning Department
City of Bentonville
Brian Bahr
305 S.W. A Street
Bentonville, AR 72712
(479) 271-3122

Storm Water Department
City of Bentonville
Janet Paith
jpaith@bentonvillear.co,
3200 Municipal Way
Bentonville, AR 72712
(479) 271-5002

Fire Department
City of Bentonville
Brent Boydston, Fire Chief
800 S.W. A Street
Bentonville, AR 72712
(479) 271-5927

Cable
Cox Communication
Kip Smith kip.smith@cox.com
4901 S. 48th St.
Springdale, AR 72762
(479) 717-3610



VICINITY MAP
NOT TO SCALE

INDEX

1	TITLE PAGE
2	SITE PLAN
3	DIMENSION PLAN & GRADING PLAN
4	ROAD PLAN AND PROFILE, LINE 'S-1', LINE 'D-1' AND UTILITY PLAN
5	EROSION CONTROL PLAN

DETAILS

1	WATER DETAILS 1 OF 2
2	WATER DETAILS 2 OF 2
3	SANITARY SEWER DETAILS 1 OF 2
4	WATER & SEWER DETAILS 1 OF 2
5	WATER & SEWER DETAILS 2 OF 2
6	ELECTRIC DETAILS 1
7	ELECTRIC DETAILS 2
8	ELECTRIC DETAILS 3
9	PAVING AND DRAINAGE DETAILS 1 OF 2
10	EROSION CONTROL DETAILS 2 OF 2

PREPARED FOR

SKY ONE PROPERTY LLC

2700 LEDBURY COVE
BENTONVILLE, AR 72712-4837
(479) 657-0945

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 7731
RONALD HOMEYER

This document was originally issued and sealed by Ronald Homeyer, P.E. 7731 on December 10, 2018

CIVIL ENGINEERING INC #716
CERTIFICATE OF AUTHORIZATION
ARKANSAS - ENGINEER

701 S. MT. OLIVE, P.O. BOX 12
E-MAIL: mail@civilengineeringss.com

CIVIL ENGINEERING INC

SILOAM SPRINGS, ARKANSAS 72761
(479)524-9956 OFC - (479)524-4747 FAX

Know what's below. Call before you dig.

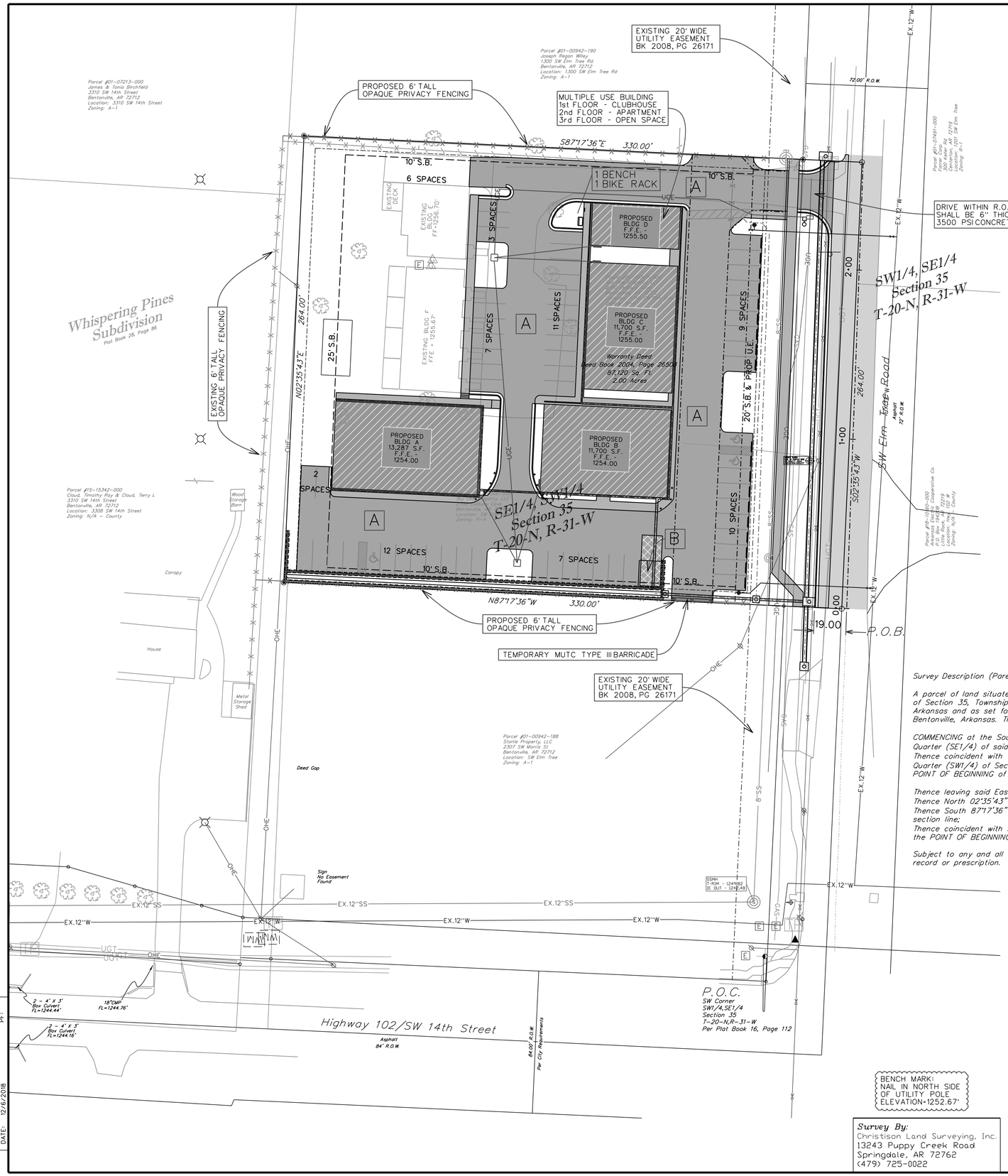
4TH SUBMITTAL

DECEMBER 10, 2018
REVISED: DECEMBER 31, 2018
REVISED: JANUARY 18, 2019
REVISED: FEBRUARY 12, 2019

(LSD18-0078)

Survey By:
James Layout Service, LLC
PO Box 611
Farmington, AR 72730
(479) 436-9929

F.C.: 1772-01-Title.dgn
REF. FILE:
DATE: 10/30/2018
PF:



A ASPHALT PAVEMENT

3" HMAC SURFACE COARSE
6" AGGREGATE BASE
COMPACTED SUBGRADE (8" MIN.) MIN. CBR-10

TYPICAL PARKING LOT PAVEMENT SECTION
N.T.S.

B CONCRETE PAVEMENT

6" Concrete
3" Aggregate Base
Compacted Subgrade (8" min.) Min. CBR-10

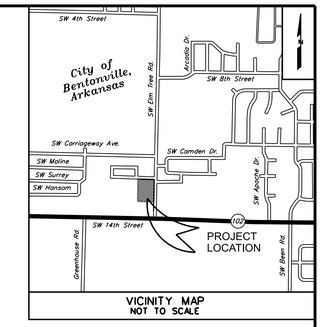
TYPICAL CONCRETE PAVEMENT SECTION
N.T.S.

NOTES:

BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL BE PERFORMED WITH IN THE RIGHT-OF-WAY. WORK IN RIGHT-OF-WAY MAY REQUIRE SPECIAL PERMIT.

OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO ENSURE THAT EACH UNIT HAS WATER, SEWER AND ELECTRIC SERVICE.

THERE MAY BE NO FENCES OR ANY STRUCTURE BUILT IN ANY DRAINAGE EASEMENTS.



VICINITY MAP
NOT TO SCALE

N

0 15 30 60
SCALE: 1" = 30'

CURRENT ZONING:
R-4

PROPOSED BUILDING USE:
APARTMENTS - 24 UNITS/ACRE
NET LOT AREA - 1.74 ACRES
MAX UNITS - 1.74 X 24 = 42 UNITS

FLOOR TO AREA RATIO (FAR):
BUILDING AREA - 47,979 SF
LOT AREA - 75,615 SF
FAR RATIO - 63.45%

MAX. LOT COVERAGE:
IMPERVIOUS AREA - 54,659 SF
LOT AREA - 75,615 SF
LOT COVERAGE ALLOWED - 85% MAX
ACTUAL LOT COVERAGE - 72.29%

GREENSPACE
TOTAL GREEN SPACE - 20,961 SF
LOT AREA - 75,615 SF
GREENSPACE REQUIRED - 15% MIN
ACTUAL GREENSPACE - 27.72%

GREENSPACE INTERIOR TO PARKING:
INTERIOR GREENSPACE - 1,698 SF
CONTRIBUTING PARKING AREA - 20,095 SF
% INTERIOR GREENSPACE REQUIRED - 8.0% MIN
% INTERIOR GREENSPACE ACTUAL - 8.45%

PARKING SPACES ANALYSIS:

PARKING REQUIRED:
APARTMENTS - 1.5 SPACES PER UNIT
42 UNITS x 1.5 = 63 SPACES
CLUBHOUSE - 1 SPACE PER 300 S.F. (NET)
1,200 SF / 300 S.F. = 4 SPACES

TOTAL PARKING REQUIRED
- 67 SPACES
TOTAL PARKING PROVIDED (INCLUDING H/C)
- 67 SPACES
TOTAL HANDICAP PARKING REQUIRED
- 3 SPACES
TOTAL HANDICAP PARKING PROVIDED
- 3 SPACES

BUILDING INFORMATION:

BUILDING (BLDG) A: 12 3-BEDROOM UNITS
BUILDING (BLDG) B: 12 2-BEDROOM UNITS
BUILDING (BLDG) C: 12 2-BEDROOM UNITS
BUILDING (BLDG) D: 1 2-BEDROOM UNIT
1 OFFICE/CLUBHOUSE
BUILDING (BLDG) E: 1 3-BEDROOM UNIT
BUILDING (BLDG) F: 4 2-BEDROOM UNITS

PHASING PROPOSAL:
PHASE 1 - BUILDING 'A' & 'B'
PHASE 2 - BUILDING 'C' & 'D'

SITE INFORMATION:

APPROXIMATE AREA: 1.79 ACRES
PARCEL NUMBERS: 01-16007-000
01-16006-000

CURRENT ZONING: R-4

OWNER:
SKY ONE PROPERTY LLC
2700 LEDBURY COVE
BENTONVILLE, AR 72712-4837
(479) 657-0945

DEVELOPER:
SKY ONE PROPERTY LLC
2700 LEDBURY COVE
BENTONVILLE, AR 72712-4837
(479) 657-0945

PROJECT ADDRESS:
1310 SW ELM TREE RD
BENTONVILLE, AR 72712

LEGEND

- FOUND IRON PIN
- SET IRON PIN 1/2" REBAR
- R.O.W. MONUMENT
- EXISTING INDEX CONTOUR (5')
- EXISTING INTERMEDIATE CONTOUR (1')
- PROPOSED INDEX CONTOUR (5')
- PROPOSED INTERMEDIATE CONTOUR (1')
- EXISTING FENCE LINE
- PROPOSED FENCE LINE
- PROPOSED BUILDING
- PROPOSED LIGHT DUTY ASPHALT PAVING
- PROPOSED DUMPSTER PAD
- PROPOSED CONCRETE SIDEWALK
- EX FIRE HYDRANT ASSEMBLY
- EX WATER VALVE
- EX WATER METER
- EX SANITARY SEWER MANHOLE
- EX NATURAL GAS SIGN/METER
- EX ELECTRIC BOX
- EX HVAC PAD
- EX FIBER OPTIC PEDESTAL
- EX POWER/UTILITY POLE
- EX UTILITY POLE ANCHOR
- EX LIGHT POLE
- EX SIGN
- EXISTING TREE

Survey Description (Parent Tract)

A parcel of land situated in the Southeast Quarter (SE1/4) of the Southwest Quarter (SW1/4) of Section 35, Township 20 North, Range 31 West of the Fifth Principal Meridian, Benton County, Arkansas and as set forth in Warranty Deed Book 2004, Page 26508 of Benton County Records, Bentonville, Arkansas. The abovementioned parcel being more particularly described as follows:

COMMENCING at the Southwest (SW) corner of the Southwest Quarter (SW1/4) of the Southeast Quarter (SE1/4) of said Section 35;
Thence coincident with the Eastern line of said Southeast Quarter (SE1/4) of the Southwest Quarter (SW1/4) of Section 35, North 02°35'43" East for a distance of 263.84 feet to the TRUE POINT OF BEGINNING of the hereinafter described parcel;

Thence leaving said Eastern line, North 87°17'36" West for a distance of 330.00 feet to a point;
Thence North 02°35'43" East for a distance of 264.00 feet to a point;
Thence South 87°17'36" East for a distance of 330.00 feet to a point on the aforementioned Eastern section line;
Thence coincident with said Eastern line, South 02°35'43" West for a distance of 264.00 feet to the POINT OF BEGINNING and containing 87,120 square feet or 2.00 acres, more or less.

Subject to any and all existing easements, covenants, restrictions or rights-of-way, whether of record or prescription.

DEFINITIONS:
P.O.B. - POINT OF BEGINNING
P.O.C. - POINT OF COMMENCEMENT
U.E. - UTILITY EASEMENT
B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
FL - FLOW LINE
I.E. - INVERT ELEVATION
T-RIM - TOP OF RIM
R - RADIUS
EX - EXISTING
R.O.W. - RIGHT OF WAY
F.H.A. - FIRE HYDRANT ASSEMBLY
G.P.M. - GALLONS PER MINUTE
S.F. - SQUARE FEET
U.G.E. - UNDERGROUND ELECTRIC
RCP - REINFORCED CONCRETE PIPE
HE - HORIZONTAL ELLIPTICAL
LF - LINEAL FEET

CERTIFICATE OF AUTHORIZATION
CIVIL ENGINEERING INC #716
ARKANSAS - ENGINEER

811 Know what's below. Call before you dig.

NOTE:
NO PROPOSED FREE STANDING SIGNAGE AT THIS TIME. ALL PROPOSED SIGNAGE WILL REQUIRE A SEPARATE PERMIT.

NOTE:
ALL MECHANICAL EQUIPMENT (ROOF AND GROUND) SHALL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS THE BUILDING.

NOTE:
THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH SIMILAR MATERIALS AS THE BUILDING.

CONTRACTOR SHALL NOT DEVIATE FROM OR MAKE ANY CHANGES TO APPROVED PROJECT DESIGN WITHOUT WRITTEN APPROVAL OF ENGINEER.

BENCH MARK:
NAIL IN NORTH SIDE OF UTILITY POLE
ELEVATION=1252.67'

Survey By:
Christison Land Surveying, Inc.
13243 Puppy Creek Road
Springdale, AR 72762
(479) 725-0022

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NO.	REVISIONS	BY	DATE
3	PER CITY COMMENTS	RDH	02-12-19
2	PER CITY COMMENTS	RDH	01-18-19

PRELIMINARY FOR GOVT REVIEW ONLY

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 7731
RONALD HOMEYER
12-10-18

This document was originally issued and sealed by Ronald Homeyer, P.E. 7731 on December 10, 2018

1ST SUBMITTAL

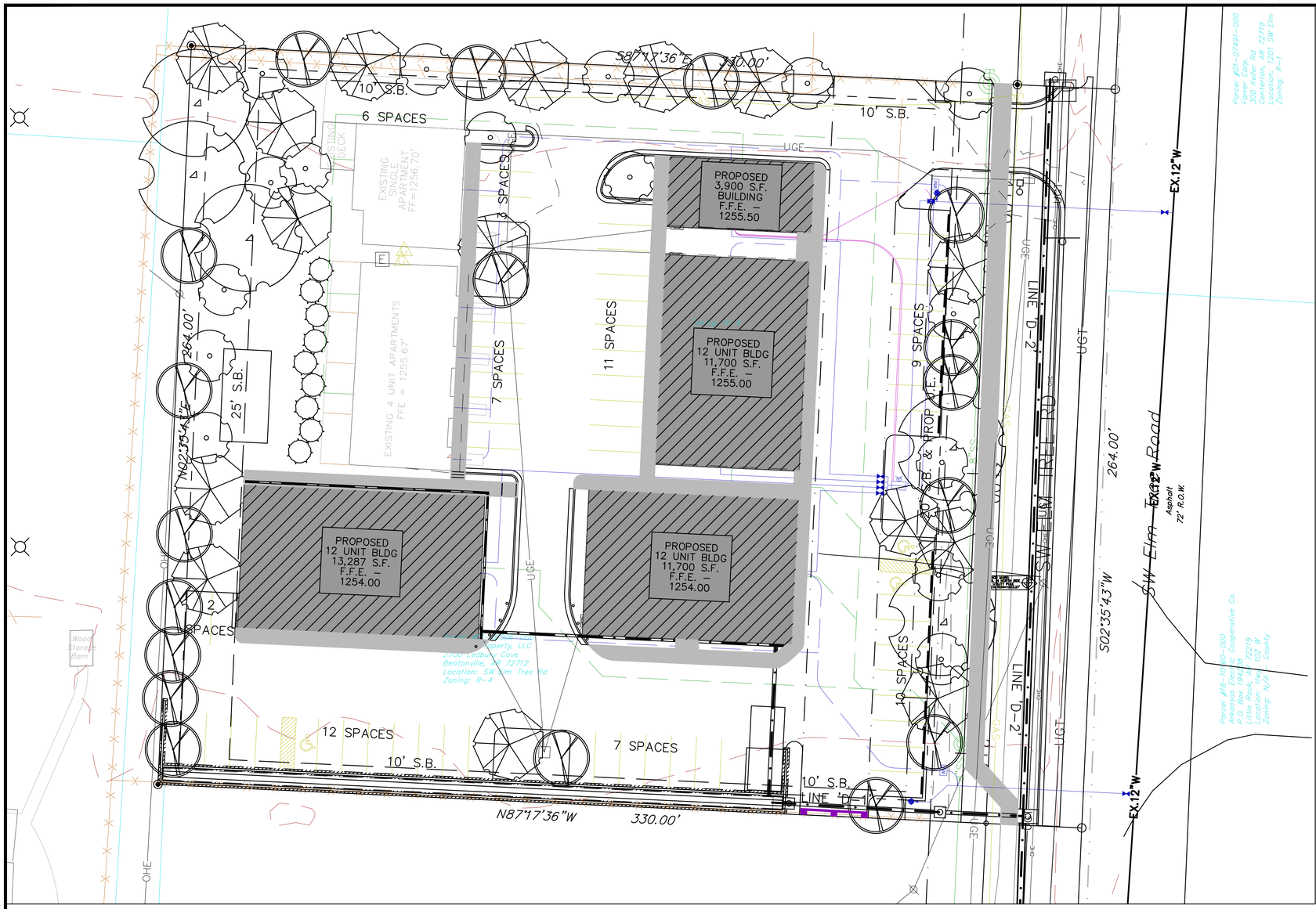
CIVIL ENGINEERING INC
CIVIL ENGINEERING, INC.
P.O. Box 12, 701 S Mt Olive, Siloam Springs, Arkansas 72761
(479)524-9956 Phone or (479)524-4747 Fax
E-MAIL: mail@civilengineeringss.com

DEVELOPMENT PLANS FOR
THE LOFTS ON ELM TREE
BENTONVILLE, ARKANSAS

SITE PLAN

DRAWN BY	DESIGNED BY	CHECKED BY	SHEET NO.
JTM	RDH	RDH	2 OF 5
JOB NUMBER	DATE	SCALE: 1"=30' H	
1772	DECEMBER 2018	1"= -'V	

(LSD18-0078)



EXISTING LEGEND

- CABLE TV PEDESTAL
- COMPUTED POINT
- ELECTRIC BOX
- EXISTING IRON REBAR
- EXISTING NAIL
- FENCE POST
- FIRE HYDRANT
- POWER POLE
- STORM DRAIN MANHOLE
- TELEPHONE PEDESTAL
- WATER VALVE
- CENTERLINE ROAD
- RIGHT-OF-WAY LINE
- BARBED-WIRE FENCE
- CHAIN-LINKED FENCE
- MAJOR CONTOUR INTERVAL
- MINOR CONTOUR INTERVAL
- DITCH/WATER EDGE
- EASEMENT LINE
- BUILDING SETBACK LINE
- OVERHEAD ELECTRIC LINE
- WATER LINE

PROPOSED LEGEND

- PROPERTY LINE / R.O.W.
- SETBACK LINE
- INTEGRAL CURB & GUTTER
- CONCRETE WALKS (SEE SHEET FOR SIZE)
- SS — SANITARY SEWER LINE
- W — WATER LINE
- SANITARY SEWER CLEANOUT
- WATER METER

CITY LANDSCAPE REQUIREMENTS

STREET FRONTAGE:
REQUIRED: 1 SHADE TREE PER 20 LF (264 LF STREET FRONTAGE = 14 TREES) AND 20' WIDTH GREENSPACE PARALLEL TO THE R.O.W. AND INCLUDING R.O.W.
PROVIDED: 14 SHADE TREES, OR 1 TREE PER 20 LF AND 20' WIDTH GREENSPACE PARALLEL TO THE R.O.W. AND INCLUDING R.O.W.

INTERIOR LANDSCAPING:
REQUIRED: 8% GREENSPACE (1,608 SF±) WITH 1 SHADE TREE PER ISLAND
PROVIDED: 8.45% GREENSPACE (1,698 SF±) WITH 1 SHADE TREE PER ISLAND (6 PROVIDED)

PERIMETER LANDSCAPE SCREENING:
REQUIRED: 7' LANDSCAPE WIDTH WITH 1 TREE PER 50 LF (PERIMETER=924 LF, OR 19 TREES). TREES MAY BE A MIX OF SHADE AND ORNAMENTAL WITH A MINIMUM OF 50% SHADE TREES. NO SCREENING REQUIRED
PROVIDED: 7' LANDSCAPE WIDTH, EXCEPT SOUTHERN BOUNDARY, AND 19 SHADE TREES PROVIDED, PLUS 15 ADDITIONAL TREES PROVIDED TO COMPENSATE FOR PERIMETER GREENSPACE DEFICIENCY (34 TOTAL TREES)

IRRIGATION: A LANDSCAPE SPRINKLER SYSTEM IS NOT PROPOSED FOR THIS PROJECT. BUILDING HOSE BIBBS WILL BE AVAILABLE FOR WATERING.

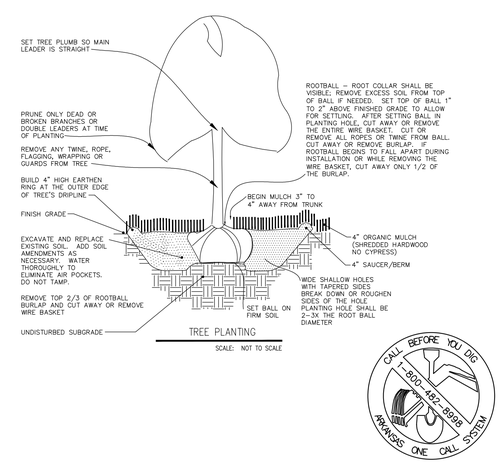
PLANT SCHEDULE

TREES

SYMBOL/KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	SPACING
	THORNLESS HONEYLOCUST	Gleditsia triacanthos v. inermis	5	2.5" CAL.	AS SHOWN
	LACEBARK ELM	Ulmus parvifolia	15	2.5" CAL.	AS SHOWN
	SHANTUNG MAPLE	Acer truncatum	18	2.5" CAL.	AS SHOWN
	'CRIMSON SPIRE' OAK	Quercus x 'Crimson Spire'	16	2.5" CAL.	AS SHOWN
	'LITTLE GEM' MAGNOLIA	Magnolia grandiflora 'Little Gem'	9	8' B&B	AS SHOWN

20 0 20 40 60
Scale 1" = 20'

LANDSCAPE NOTES:
1. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ARKANSAS ONE-CALL SYSTEM AT 1(800)482-8998. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE BASED ON SURVEY INFORMATION, SITE DEVELOPMENT PLANS, UTILITY RECORDS, ETC.
2. ALL PLANT MATERIAL SHALL BE NURSERY GROWN. THE SIZE AND GRADING SHALL MEET OR EXCEED THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. TREES SHALL ALSO MEET THE CITY OF BENTONVILLE TREE QUALITY STANDARDS.
3. ALL ENTRANCE/EXIT PLANTINGS SHALL BE INSTALLED AND MAINTAINED TO PROVIDE CLEAR SIGHT DISTANCE FROM THE STREET ENTRANCE/EXIT LOCATION.
4. THE OWNER IS RESPONSIBLE FOR MAINTAINING SHRUBS AND TREES REQUIRED UNDER THE CITY OF BENTONVILLE LANDSCAPE ORDINANCE. DEAD OR DYING PLANT MATERIAL SHALL BE REMOVED AND REPLACED. THE REQUIRED PLANT MATERIAL SHALL BE GUARANTEED BY THE OWNER FOR THREE YEARS.
5. NO CHANGES TO THE PLANT SCHEDULE ARE ALLOWED WITHOUT APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT AND CITY OF BENTONVILLE LANDSCAPE ADMINISTRATOR. SUBSTITUTED PLANTS SHALL MEET THE SAME CRITERIA REGARDING TYPE, SIZE AND FUNCTION AS THOSE PLANTS SHOWN ON THE PLAN.
6. ALL LAWN AREAS ARE TO RECEIVE 4" OF TOPSOIL (4" IS THE MINIMUM COMPACTED DEPTH). ALL SHRUB AREAS SHALL RECEIVE 12" OF TOPSOIL (12" IS THE MINIMUM COMPACTED DEPTH). SOIL SHALL BE AMENDED TO ENHANCE FAVORABLE GROWING CONDITIONS. ALL EXISTING SOD/WEEDS SHALL BE REMOVED FROM PLANTING BED AREAS.
7. ALL PLANT BEDS SHALL BE DRESSED WITH A MINIMUM OF 4" SHREDDED HARDWOOD ORGANIC MULCH (NO CYPRESS MULCH). TREES NOT LOCATED IN PLANT BEDS SHALL RECEIVE A MULCH SAUCER PER DETAIL. PLANTING BEDS SHALL BE DEFINED WITH STEEL EDGING.
8. ALL TREES AND SHRUBS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
9. ALL SHRUBS SHALL BE TREATED WITH 14-14-14 TIME RELEASE FERTILIZER UPON COMPLETION OF THEIR INSTALLATION.
10. ALL DISTURBED AREAS NOT TO RECEIVE PLANTINGS SHALL BE SODDED WITH TIFF 419 BERMUDA GRASS. AREAS ARE TO BE WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
11. A LANDSCAPE SPRINKLER SYSTEM IS PROPOSED.
12. AFTER THE PLANS HAVE BEEN APPROVED BY THE CITY, IF DURING CONSTRUCTION THE CITY REQUIRES MODIFICATIONS TO THE PLANS, THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR FIELD CHANGES.
13. PLANT QUANTITIES SHOWN IN THE PLANT SCHEDULE ARE THE MINIMUM TO BE INSTALLED AND SHALL BE VERIFIED WITH THE PLAN BY THE LANDSCAPE CONTRACTOR.
14. WHERE POTENTIAL UTILITY CONFLICTS WITH LANDSCAPING EXIST, UTILITY LOCATIONS NEED TO BE FIELD VERIFIED. LANDSCAPING WILL NOT BE TREATED SECONDARY TO UTILITIES.
15. NO SIGNAGE IS CURRENTLY PROPOSED.
16. ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED. (SEC 1400.5.C-10).
17. TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR ALL TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE.
18. HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF THE ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES. (SEC 1400.5.C-12)
19. LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVERS LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED. (SEC 1400.6.A-8 & 1400.8.G-7)
20. ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES. IF CONFLICTS ARISE DURING CONSTRUCTION, THE UTILITY LOCATIONS SHALL BE FIELD VERIFIED AND THE CONTRACTOR SHOULD CONTACT THE DESIGN ENGINEER AND THE LANDSCAPE ARCHITECT OF RECORD.



TREE PLANTING
SCALE: NOT TO SCALE

CALL BEFORE YOU DIG 1-800-482-8998 ARKANSAS ONE CALL SYSTEM

PROJECT NAME AND LOCATION:

DEVELOPMENT PLANS FOR
THE LOFTS ON ELM TREE
BENTONVILLE, ARKANSAS

REVISIONS:

PROJECT INFORMATION BLOCK:
DRAWING SCALE: 1"=20'
TITLE: THE LOFTS ON ELM TREE
SITE ZONING: R-4
PROPOSED USE: Multi-Family Residential
SITE AREA: ± 2.0 Ac
SITE DESIGN FIRM:
Mr. Ronald Homeyer, PE
Civil Engineering, Inc.
701 S Mt Olive
Siloam Springs, AR 72761
CONTACTS: Mandy R. Bunch, PE
Robyn Lane, PLA

EB LandWorks, Inc.
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
P.O. BOX 3432
Fayetteville, Arkansas 72702

SHEET TITLE:
LANDSCAPE PLAN

JOB # 17.07
DATE: 2/11/19
SHEET # LSP
CITY #: LSD18-0078

701 South Mount Olive Street
P.O. Box 12
Siloam Springs, AR 72761

CIVIL ENGINEERING INC

voice (479) 524-9956
fax (479) 524-4747
mail@civilengineeringss.com

February 11, 2019

Planning Commission
City of Bentonville
305 S.W. A Street
Bentonville, AR 72712

RE: Waiver Request – Article 1400 Landscaping –

Dear Commission:

We respectfully request a waiver from the requirement to provide perimeter landscaping along the southern property line for this project as required by Article 1400, Section 1400.7 B. 3. Perimeter Landscaping and Screening Requirement, Standard, of the City Subdivision Code. This project landscape proposal will provide additional trees to compensate for the waiver. The site detention basin along the south property line has vertical retaining walls and a trickle channel that are not compatible with the required perimeter landscaping.

Thank you for your consideration of this waiver request.

Sincerely,
Civil Engineering, Inc.

Ron Homeyer

Ron Homeyer, P.E.
Principal Engineer

Residential ◈ Commercial ◈ Municipal Designs

LARGE SCALE DEVELOPMENT STAFF REPORT

Cubesmart Self Storage

SW Regional Airport Boulevard and SW Featherston Road
PC Date: 2/19/2019
Reviewer: Tyler Overstreet, Planner

Project Number	LSD19-0001
Applicant / Current Owner	BOS Park, LLC 6301 Cliff Drive Fort Smith, AR 72903
Site Area	+/- 10 acres
Current Zoning	C-2, General Commercial
Future Land Use Map Designation	Commercial (C)
Development Type / Use	Mini-Warehouse Storage Facility

http://geo.bentonvillear.com/mgweb/PZpending/

Location Map

Property Description
This property is located north of SW Regional Airport Boulevard, west of SW Featherston Road, and East of SW Morningstar Road. The site is currently pending rezoning to C-2, General Commercial.

Project Details
Project consists of the construction of an approximately 104,000 square foot mini-warehouse storage facility. All storage units are internal to the climate-controlled facility.

Six parking spaces are provided per this development, with additional loading spaces provided for pick-up/drop-off. The applicant shall provide sidewalk the entire frontage length of the project. The primary materials depicted for the exterior elevations include brick, architectural metal panel, and stucco.

Projected Traffic Impact
The proposed large scale development has the potential to impact traffic in the area. However, the site's compliance with the parking and access management standards, as outlined within the Zoning and Subdivision Codes, should accommodate any increases in traffic to the area.

Waivers
No waivers requested

Conclusion
In conclusion, this large scale development does meet the minimum requirements of the subdivision regulations. Should the pending rezoning request be approved and all outstanding department comments be addressed, this project has satisfied all development standards of the City of Bentonville.

PROPOSED NEW

BENTONVILLE STORAGE

3100 S.W. REGIONAL BLVD., BENTONVILLE, AR

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C1.1 LAYOUT OF ADJOINING PROPERTIES WIN 300'
C1.2 DRIVEWAY LAYOUT
C1.3 SITE LAYOUT PLAN
C1.4 SITE PLAN DETAILS
C1.5 PAVING PLAN
C1.6 EROSION CONTROL PLAN
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C1.10 WATER MAIN PLAN & PROFILE
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(2) 1 OF 2 BENTONVILLE SAN. SEWER DETAILS
(3) 1 OF 2 BENTONVILLE WATER / SEWER DETAILS
(3) 2 OF 2 BENTONVILLE WATER / SEWER DETAILS
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E3.1 ELECTRIC RISER DIAGRAM

OWNER

TOWER STORAGE OF BENTONVILLE, LLC
CHRIS HOLYFIELD
2371 TOWER DRIVE, MONROE, LA 71201
PHONE: (318) 547-7078
CHRIS@HOLYFIELDCONSTRUCTION-INC.COM

PROJECT TEAM

CONTRACTOR

HOLYFIELD CONSTRUCTION, INC

HOLYFIELD CONSTRUCTION INC.
2371 TOWER DRIVE
MONROE, LA 71201
PHONE: (318) 388-2492
CONTACT: CHRIS HOLYFIELD
E-MAIL: CHRIS@HOLYFIELD-INC.COM
WEB: HOLYFIELD-INC.COM

ARCHITECT

ALLISON FORD
7614 LEVESON WAY
NASHVILLE, TN 37211
PHONE: (615) 924-4660
CONTACT: ALLISON FORD - REGISTERED ARCHITECT
LICENSE NO: 9562
E-MAIL: ALLISONLEIGHFORD@GMAIL.COM

STRUCTURAL ENGINEER

DAVID LANE BEAIRD & ASSOCIATES INC
105 COMMERCIAL PKWY
WEST MONROE, LA 71292
PHONE: (318) 388-3227
CONTACT: FOY GADBERRY, PE
LICENSE NO: 5759
E-MAIL: FGADBERRY@DLBENGINEERING.COM

CIVIL ENGINEER / GEO TECH

ANDERSON ENGINEERING EMPLOYEE OWNED

ANDERSON ENGINEERING
5311 W. VILLAGE PARKWAY
ROGERS, AR 72758
PHONE: (479) 286-8181
CONTACT: ANDRES FORERO, PE
LICENSE NO: 12160
E-MAIL: AFORERO@ANDERSONENGINEERINGINC.COM
WEB: ANDERSONENGINEERINGINC.COM

LANDSCAPE ARCHITECT

ANDERSON ENGINEERING EMPLOYEE OWNED

ANDERSON ENGINEERING
5311 W. VILLAGE PARKWAY
ROGERS, AR 72758
PHONE: (479) 286-8181
CONTACT: CORY ROBERTS, PLA, ASLA
LICENSE NO: 9384
E-MAIL: CROBERTS@ANDERSONENGINEERINGINC.COM
WEB: ANDERSONENGINEERINGINC.COM

MEP ENGINEER

Geary Engineering — DESIGNING THE ENVIRONMENT BUSINESSES DEPEND ON EVERY DAY

GEARY ENGINEERING
5502 WALSH LANE SUITE 102
ROGERS, AR. 72758
PHONE: (479) 464-8006
CONTACT: TIM GEARY
E-MAIL: TGEARY@GEARYENG.COM
WEB: WWW.GEARYENG.COM

CONTACTS:

BLACK HILL ENERGY:
JOSH KNIGHT
1301 FEDERAL WAY, PO BOX 2129,
LOWELL, AR 72724
(479)333-7005
Joshua.knight@blackhillscorp.com

AT&T:
SCOTT SEAMAN
627 WHITE ROAD
SPRINGDALE, AR 72762
(479) 442-1967
LAYNE RHODES
(479) 442-1977
lr159@att.com

COX COMMUNICATIONS:
KIP SMITH
4901 S. 48TH STREET
SPRINGDALE, AR 72762
(479) 717-3796
kip.smith@cox.com

FIRE DEPARTMENT-CITY OF BENTONVILLE:
BRENT BOYDSTON, FIRE CHIEF
800 SW "A" STREET
BENTONVILLE, AR 72712
(479) 271-5927

STREET DEPARTMENT-CITY OF BENTONVILLE:
TONY DAVIS
3200 SW MUNICIPAL DRIVE
BENTONVILLE, AR 72712
(479) 271-3130

WATER DEPARTMENT-CITY OF BENTONVILLE:
PRESTON NEWBILL
3200 SW MUNICIPAL DRIVE
BENTONVILLE, AR 72712
(479) 271-3140

ELECTRIC DEPARTMENT-CITY OF BENTONVILLE:
CHARLIE BARNES
3200 SW MUNICIPAL DRIVE
BENTONVILLE, AR 72712
(479) 271-3159

WASTEWATER DEPARTMENT-CITY OF BENTONVILLE:
MIKE ROBERTS
1901 NE "A" STREET
BENTONVILLE, AR. 72712
(479) 271-3160

PLANNING DEPARTMENT-CITY OF BENTONVILLE:
BRIAN BAHR
305 SW "A" STREET
BENTONVILLE, AR 72712
(479) 271-3122

CITY ENGINEER-CITY OF BENTONVILLE:
ELLEN NORVELL
3200 SW MUNICIPAL DRIVE
BENTONVILLE, AR 72712
(479) 271-5993

STORMWATER-CITY OF BENTONVILLE:
JANET PAITH
3200 SW MUNICIPAL DRIVE
BENTONVILLE, AR 72712
(479) 271-5002
jpaith@bentonvillear.com

CODE INFORMATION

BUILDING CODE:	2012 ARKANSAS FIRE PREVENTION CODE VOL. II
MECHANICAL CODE:	2010 ARKANSAS MECHANICAL CODE
PLUMBING CODE:	2006 ARKANSAS PLUMBING CODE
GAS CODE:	2006 INTERNATIONAL FUEL GAS CODE
ELECTRIC CODE:	2017 NATIONAL ELECTRIC CODE
LIFE SAFETY CODE:	2014 ARKANSAS ENERGY CODE

IBC CODE ANALYSIS

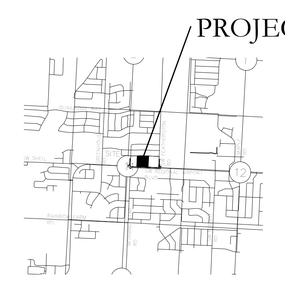
BUILDING CRITERIA	IBC CODE PROVISIONS
OCCUPANCY (CHAPTER 3)	GROUP S-1
TYPE OF CONSTRUCTION (TABLE 601)	TYPE IIB
BUILDING HEIGHT (TABLE 504.3)	55' ALLOWED 29'-7" PROVIDED
NUMBER OF STORIES (TABLE 504.4)	2 STORY ALLOWED 2 STORY PROVIDED
ALLOWABLE AREA (TABLE 506.2)	65,625/FLOOR. S.F. ALLOWED 104,586 S.F. TOTAL FOR 2 STORIES PROVIDED
OCCUPANT LOAD (TABLE 1004.1.2)	OFFICE: 1025 SF / 100 = 10 STORAGE:100,702 SF/500 = 202 **GRAND TOTAL: 212**

MEANS OF EGRESS

ITEM	CODE REQUIREMENT	PROVIDED
NUMBER OF EXITS (TABLE 1006.2.1)	2	5
TRAVEL DISTANCE (TABLE 1017.2)	250' MAX.	247.5' MAX.
DEAD END CORRIDOR (1020.4)	50' MAX.	45'-0"
CORRIDOR WIDTH (TABLE 1020.2)	44" MIN.	52" MIN.
WIDTH OF EGRESS DOORS (1008.1.1)	32" MIN.	34"
STAIR WIDTH	N/A	48"

FIRE PROTECTION REQUIREMENTS (TABLE 601)

BUILDING ELEMENT	FIRE RATING / ACCESS OPENING
PRIMARY STRUCTURAL FRAME:	0 HR
BEARING WALLS EXTERIOR: INTERIOR:	 0 HR 0 HR
NON-BEARING WALLS / PARTITIONS EXTERIOR: INTERIOR:	 0 HR 0 HR
FLOOR CONSTRUCTION & SECONDARY MEMBERS (SECTION 202)	0 HR
ROOF CONSTRUCTION & SECONDARY MEMBERS (SECTION 202)	0 HR
OCCUPANCY SEPARATION	N/A



VICINITY MAP

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LSD 19-0001

Holyfield Construction, Inc.
2371 Tower Drive, Monroe, LA 71201

ALLISON FORD Reg. No. 9562 STATE OF LOUISIANA REGISTERED ARCHITECT

PROPOSED NEW
BENTONVILLE STORAGE
3100 S.W. REGIONAL BLVD.,
BENTONVILLE, AR

PROJECT NO.
30-000196

REVISIONS

1/14/18

COVER SHEET

SHEET NO.
C1.0

CONSTRUCTION DOCUMENTS

DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT OF HOLYFIELD CONSTRUCTION COMPANY INC.

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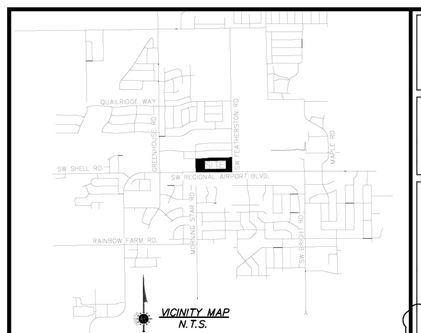


FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 05007C0235K, WHICH BEARS AN EFFECTIVE DATE OF JUNE 5, 2012 AND IT IS AN AREA OF MINIMAL FLOOD HAZARD

BASIS OF BEARINGS:

BASIS OF BEARINGS: NAD83 ARKANSAS NORTH ZONE SATE PLANE COORDINATE SYSTEM REFERENCE FRAME 2011 EPOCH:2010.0000 BY NGS OPUS SOLUTION.

BASIS OF ELEVATION: NAVD88 (GEOID12B) BY NGS OPUS SOLUTION.

BENTONVILLE ELEC. DIV. REQ'D NOTES:

CONTACT BEUD AT 479-271-3135 BEFORE PERFORMING ANY GRADING WITHIN 5' OF EXISTING OR PROPOSED POWER POLES.

BEUD DESIGN LAYOUT DRAWING TAKES PRECEDENCE OVER ANY ELECTRIC INFORMATION SHOWN ON THE SITE UTILITY PLAN.

ELECTRIC FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE ELECTRIC SPECIFICATIONS FOUND ON THE WEBSITE. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THIS DOCUMENT.

TRANSFORMER PAD SHALL HAVE 10' CLEARANCE ON ACCESS SIDE AND 5' ON ALL OTHER SIDES.

NOTE TO CONTRACTOR

INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CITY WILL PROVIDE, INSTALL AND MAINTAIN STREET LIGHTS. SEE DESIGN STANDARD DOCUMENT 1100-7, I, 1.b.

NOTE TO CONTRACTOR

SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, UTILITY ENTRANCE LOCATIONS AND PARKING LOT LIGHTING LAYOUT.

CITY OF BENTONVILLE REQUIRED NOTE:

THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH SIMILAR MATERIAL AS THE BUILDING (SEE DETAIL SHEET C1.4)

ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) WILL BE SCREENED ON ALL SIDES BY SIMILAR MATERIALS AS THE BUILDING.

PARKING LOT NOTES:

1. PROVIDE PARKING LOT IN GOOD CONDITION, PROPERLY STRIPED PER SITE LAYOUT WITH WHITE PAINT. PARKING SPACES SHALL BE PROVIDED PER BENTONVILLE CITY CODE. 1 VAN ACCESSIBLE HANDICAP SPOT SHALL BE PROVIDED. ALL HANDICAP PARKING AND ACCESS WAY SHALL NOT SLOPE GREATER THAN 2% IN DIRECTION OF TRAVEL AND SHALL HAVE A MAX 2% CROSS SLOPE.
2. PROVIDE PROTECTION (BOLLARDS, GUARD RAILS, OR EQUIVALENT) FOR ELECTRIC, GAS, HVAC, AND WATER METERS THAT ARE IN POTENTIALLY HAZARDOUS LOCATIONS.
3. CONTRACTOR WILL COMPLETE ALL SITE WORK: FINAL GRADING, LANDSCAPING, SEEDING, PAVING, RETENTION, AND REMOVAL OF DEBRIS.
4. PROVIDE AND INSTALL CONCRETE SPLASH BLOCKS AT ALL UNPAVED DOWN SPOUT LOCATIONS.
5. EROSION CONTROL AROUND PROPERTY IS REQUIRED BY CONTRACTOR.
6. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ALL VEGETATION AND REGIONAL APPROPRIATE LANDSCAPING. ALL LOCAL LANDSCAPE REQUIREMENTS MUST BE MET.
7. TRASH ENCLOSURE REQUIRED PER LOCAL STANDARDS AND REGULATIONS.
8. LANDSCAPING AND SITE WORK SHALL BE FREE OF DEBRIS AND IN LIKE NEW CONDITION.

SITE PLAN DETAILS

- AE-S1 DIRECTIONAL FLOW ARROWS
- AE-S2 ACCESSIBLE PARKING SYMBOL
- AE-S3 ACCESSIBLE PARKING SIGN
- AE-S4 STEEL BOLLARD
- AE-S14 5' SIDEWALK
- AE-S15 TYPICAL SIDEWALK SECTION (FOR PUBLIC SIDEWALKS)
- AE-S17 SIDEWALK AT BACK OF CURB
- AE-S24 CONCRETE FLUME
- AE-S32 DUMPSTER SCREENING ENCLOSURE
- AE-S33 FENCE DETAIL

N NE E SE S SW W NW

20 10 0 10 20 40 60

GRAPHIC SCALE IN FEET | 1in = 20ft

PROPOSED FEATURES

REFER TO SURVEY FOR EXISTING FEATURES

- PROPERTY LINE
- SUBDIVISION / OUTPARCEL PROPERTY LINE
- CONCRETE CURB AND GUTTER | REFER TO SITE PLAN FOR TYPE
- XX LF TYPE @ XX% SEWER LINES | REFER TO UTILITY PLAN FOR TYPE AND SIZE
- XX" WTR WATERLINES | REFER TO UTILITY PLAN FOR TYPE AND SIZE
- UGE UNDERGROUND ELECTRIC SERVICE
- UGT UNDERGROUND TELEPHONE SERVICE
- GAS SERVICE
- UTILITY STRUCTURES | REFER TO UTILITY PLAN FOR TYPE
- WATER LINE TEE, BEND, VALVE, AND PLUG
- SITE LIGHTING(REFER TO ELECTRICAL PLAN FOR TYPE, SIZE & DETAILS

GENERAL NOTES:

A. ALL SITE DIMENSIONS TO THE FACE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED.

B. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.

C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.

E. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

F. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.

G. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

H. ALL LANDSCAPE AND CONCRETE ISLANDS SHALL RECEIVE TYPE "A" CURB AND GUTTER, UNLESS OTHERWISE NOTED.

I. UNLESS OTHERWISE SHOWN,CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS.

ALL CURB AND GUTTER ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL AE-P16.

ALL CURBING ADJACENT TO CONCRETE SIDEWALK SHALL BE INSTALLED PER DETAIL AE-P11.

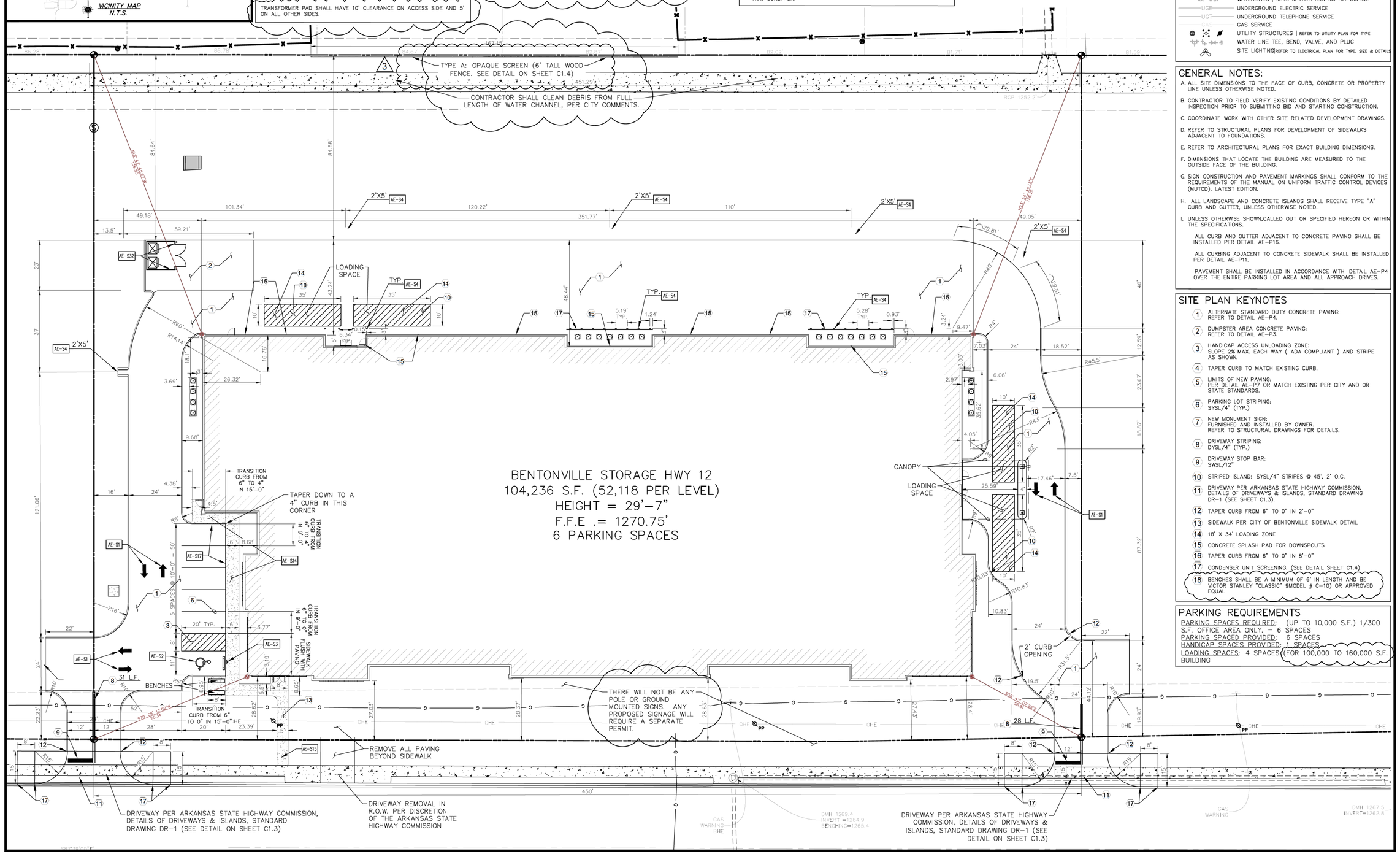
PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL AE-P4 OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.

SITE PLAN KEYNOTES

1. ALTERNATE STANDARD DUTY CONCRETE PAVING: REFER TO DETAIL AE-P4.
2. DUMPSTER AREA CONCRETE PAVING: REFER TO DETAIL AE-P3.
3. HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
4. TAPER CURB TO MATCH EXISTING CURB.
5. LIMITS OF NEW PAVING: PER DETAIL AE-P7 OR MATCH EXISTING PER CITY AND OR STATE STANDARDS.
6. PARKING LOT STRIPING: SYSL/4" (TYP.)
7. NEW MONUMENT SIGN: FURNISHED AND INSTALLED BY OWNER. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
8. DRIVEWAY STRIPING: DYSL/4" (TYP.)
9. DRIVEWAY STOP BAR: SWSL/12"
10. STRIPED ISLAND: SYSL/4" STRIPES @ 45°, 2' O.C.
11. DRIVEWAY PER ARKANSAS STATE HIGHWAY COMMISSION, DETAILS OF DRIVEWAYS & ISLANDS, STANDARD DRAWING DR-1 (SEE SHEET C1.3).
12. TAPER CURB FROM 6" TO 0" IN 2'-0"
13. SIDEWALK PER CITY OF BENTONVILLE SIDEWALK DETAIL
14. 18' X 34' LOADING ZONE
15. CONCRETE SPLASH PAD FOR DOWNSPOUTS
16. TAPER CURB FROM 6" TO 0" IN 8'-0"
17. CONDENSER UNIT SCREENING. (SEE DETAIL SHEET C1.4)
18. BENCHES SHALL BE A MINIMUM OF 6' IN LENGTH AND BE VICTOR STANLEY "CLASSIC" 9MODEL # C-10) OR APPROVED EQUAL

PARKING REQUIREMENTS

PARKING SPACES REQUIRED: (UP TO 10,000 S.F.) 1/300 S.F. OFFICE AREA ONLY. = 6 SPACES
PARKING SPACED PROVIDED: 6 SPACES
HANDICAP SPACES PROVIDED: 1 SPACES
LOADING SPACES: 4 SPACES (FOR 100,000 TO 160,000 S.F. BUILDING



ANDERSON ENGINEERING
EMPLOYEE OWNED
ENGINEERING • SURVEYING • LABORATORIES
LANDSCAPE ARCHITECTURE • DRILLING • GIS
5311 W. Village Pkwy • Rogers, AR 72758 • 479.286.8181

DRAWING INFO.	
DRAWN BY:	CORY ROBERTS, PLA
LICENSE NO.:	2554
CHECKED BY:	ANDREW FOREHAND, PE
LICENSE NO.:	12160
DATE:	1-31-19
JOB NUMBER:	18AR10015

REVISIONS

NO.	DESCRIPTION	BY	DATE
1	PER OWNER COMMENTS	NCR	1-13-19
2	PER CITY COMMENTS	NCR	1-31-19
3	UPDATED FOR SECOND SUBMISSION	NCR	1-31-19
4			
5			

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HOLYFIELD CONSTRUCTION, INC.
2371 TOWER DRIVE
MONROE, LA 71201

SITE LAYOUT PLAN

BENTONVILLE STORAGE
3100 SW REGIONAL AIRPORT BLVD
BENTONVILLE, AR 72712

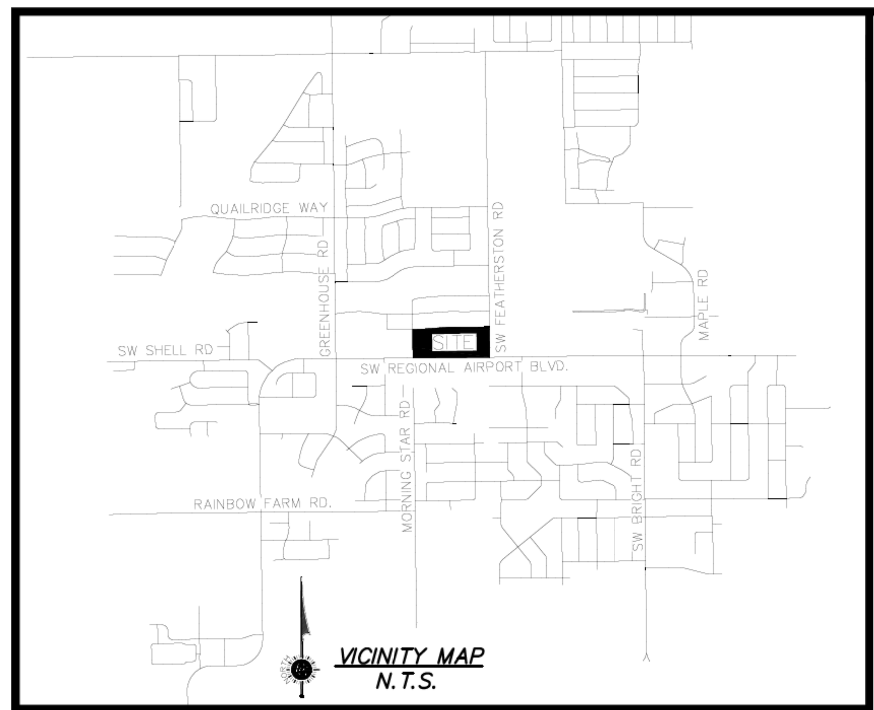
STATE OF ARKANSAS LICENSED PROFESSIONAL ENGINEER No. 12160 ANDREW FOREHAND

I, the undersigned, hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Arkansas.

SHEET NUMBER C1.3

DRAWING NO. 4 of 14

LSD19-0001



CITY OF BENTONVILLE LANDSCAPE REQUIREMENTS

LANDSCAPE AREA	REQUIREMENT	REQUIRED	PROVIDED
STREET FRONTAGE BUFFER LANDSCAPING	MIN. WIDTH OF 20' WITHIN THE R.O.W. 1 SHADE TREE FOR EVERY 20 L.F. CLUSTERING AND GROUPING IS ENCOURAGED. USE THE SW AIRPORT BLVD STREET TREE CORRIDOR PLAN.	21 TREES FOR 410 L.F. OF STREET FRONTAGE USING THE THE SW AIRPORT BLVD STREET TREE CORRIDOR PLAN TREE LIST (SHANTUNG MAPLE, CHINESE PISTACHE, AUTUMN BRILLIANCE SERVICEBERRY AND REDBUD)	21 SHADE TREES FOR 410 L.F. OF STREET FRONTAGE
PERIMETER LANDSCAPNG & SCREENING	A 7' WIDE PERIMETER STRIP WITH SCREEN TYPE D ON THE SIDES	1 TREE FOR EVERY 50 L.F. OF SIDE SCREEN. 6 TREES FOR 312 L.F. ON EAST AND WEST SIDES	6 TREES ON THE EAST SIDE AND 6 TREES ON THE WEST SIDE
	A 7' WIDE PERIMETER STRIP WITH SCREEN TYPE B ON THE REAR.	MIN. HEIGHT OF 20', WALL, FENCE, BERM, PLANTED EVERGREEN VEGETATION OR EXISTING EVERGREEN VEGETATION	WOOD FENCE WITH EVERGREEN TREES
INTERIOR PARKING LOT LANDSCAPING	FOR LOTS 3,000–49,000 S.F., MIN. 8% DEDICATED TO INTERIOR GREENSPACE WITH 1 SHADE TREE (2.5" CAL.) PER 125 S.F. OF INTERIOR PARKING LOT LANDSCAPING AREA (USE APPROVED TREE LIST)	256 S.F. OF INTERIOR GREENSPACE FOR 3,200 S.F OF PARKING LOT WITH 2 TREES	2 TREES PROVIDED. WAIVER REQUESTED FOR ISLAND REQUIREMENTS.

TREE REMOVAL GUARANTEE STATEMENT

PER CITY OF BENTONVILLE REQUIREMENTS; HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.

TREE TOPPING GUARANTEE STATEMENT

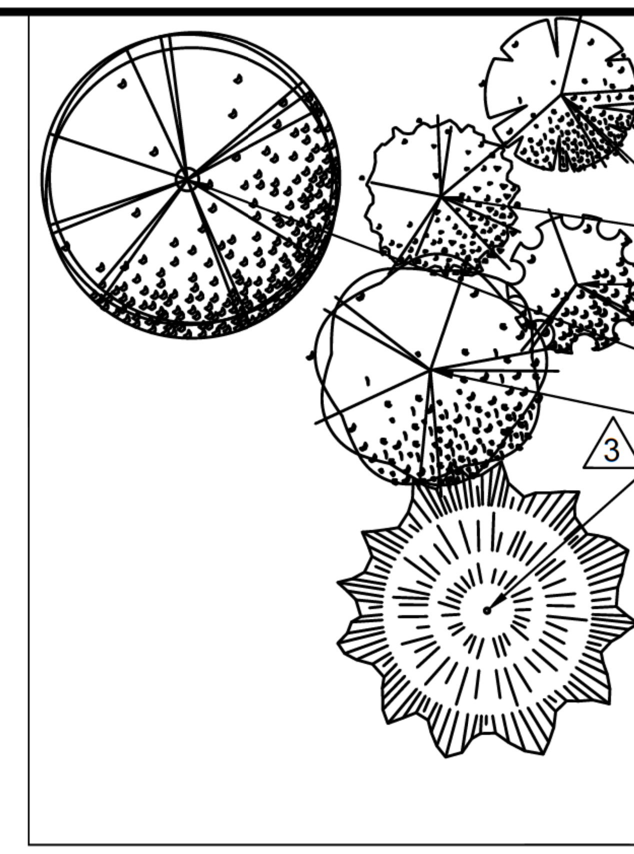
PER CITY OF BENTONVILLE REQUIREMENT; TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED OF MAINTENANCE PURPOSES.

MAINTENANCE GUARANTEE STATEMENT

PER CITY OF BENTONVILLE REQUIREMENT; ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANT MATERIAL THAT DIES SHALL BE REPLACED.

NOTE TO CONTRACTOR

SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, UTILITY ENTRANCE LOCATIONS AND PARKING LOT LIGHTING LAYOUT.



PLANT SCHEDULE

SYM.	KEY	QTY	COMMON NAME / Botanical Name	SIZE | SPACING | COMMENTS
	ER	8	EASTERN REDBUD / Cercis canadensis	ORNAMENTAL TREE, B&B, 2" CAL
	YC	10	YOSHINO CHERRY / Prunus yedoensis	ORNAMENTAL TREE, B&B, 2" CAL
	DW	10	FLOWERING DOGWOOD / Cornus florida	ORNAMENTAL TREE, B&B, 2" CAL (2.5" CAL. FOR 2 INTERIOR TREES)
	KC	3	KENTUCKY COFFEE TREE / Gymnocladus dioicus	SHADE TREE, B&B, 2.5" CAL
	MH	4	MAIDENHAIR TREE / Ginko biloba	SHADE TREE, B&B, 2.5" CAL
	WP	13	WHITE PINE / Pinus strobus	EVERGREEN TREE, B&B, 2.5" CAL @ 35.85' O.C.
	OA	8	ORIENTAL ARBORVITAE / Thuja orientalis 'American Pyramidal'	3 GAL., SPACED AS SHOWN, MIN. 18" TALL
	EL	8	ENGLISH LAVENDER / Lavandula angustifolia angustifolia	3 GAL., SPACED AS SHOWN, MIN. 18" TALL
	GA	24	GLOSSY ABELIA / Abelia x grandiflora	3 GAL., SPACED AS SHOWN, MIN. 18" TALL

1. H: HEIGHT, CP: CALIPER, C: CONTAINER, MT: MULTI-TRUNK, B&B: BALLED & BURLAPPED ROOT BALL
2. O.C.: INDICATES APPROXIMATE SPACING. SHALL BE CONSIDERED GENERAL GUIDELINE ONLY AND MAY BE MODIFIED TO SUIT ON-SITE CONDITIONS.

GRAPHIC SCALE IN FEET | 1in = 20ft

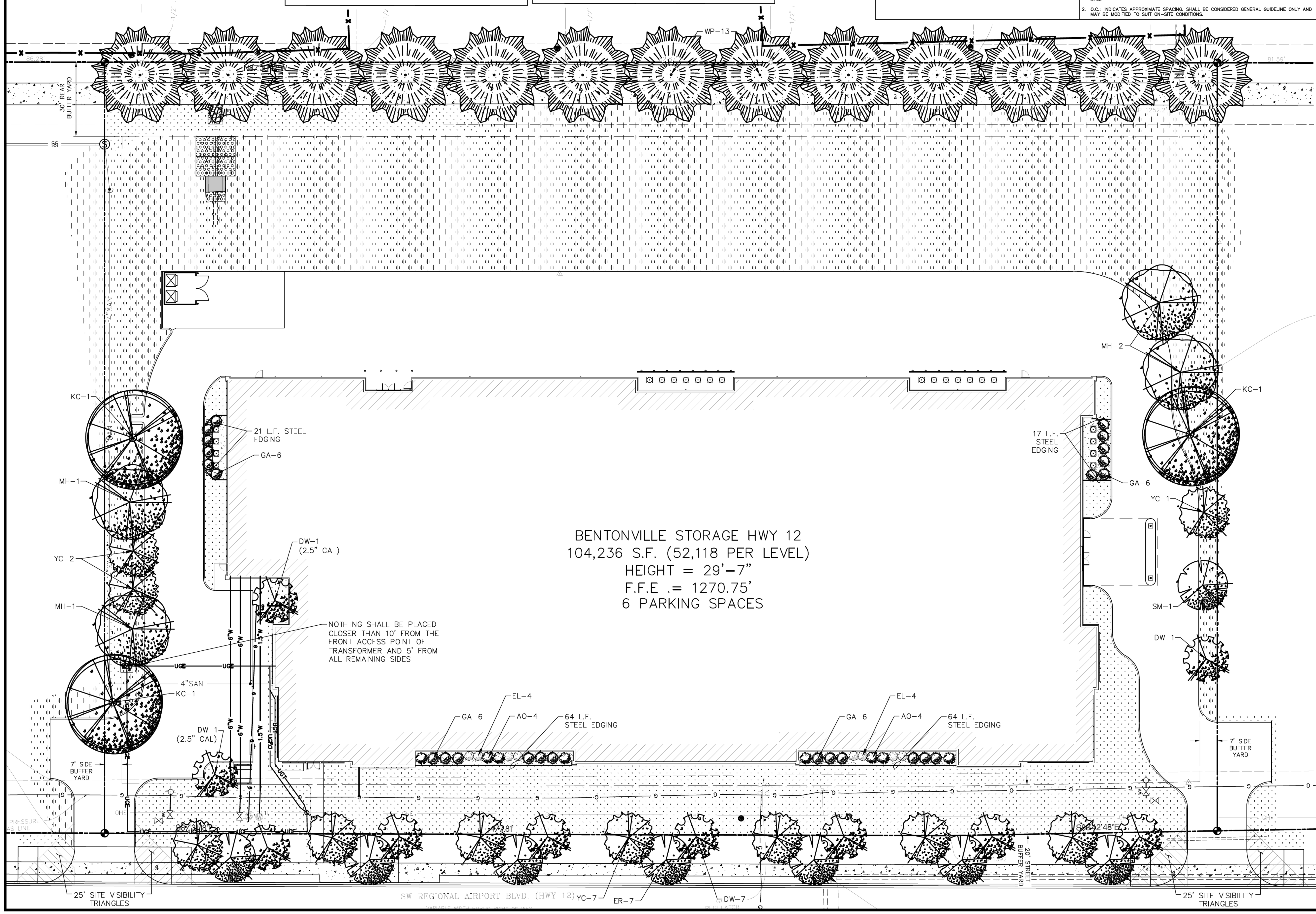
PROPOSED FEATURES

REFER TO SURVEY FOR EXISTING FEATURES

- PROPERTY LINE
- CONCRETE CURB AND GUTTER | REFER TO SITE PLAN FOR TYPE
- SEWER LINES | REFER TO UTILITY PLAN FOR TYPE AND SIZE
- WATERLINES | REFER TO UTILITY PLAN FOR TYPE AND SIZE
- UNDERGROUND ELECTRIC SERVICE
- OVERHEAD ELECTRIC SERVICE
- UNDERGROUND TELEPHONE SERVICE
- OVERHEAD TELEPHONE SERVICE
- FIBER OPTIC CABLE SERVICE
- GAS SERVICE

LANDSCAPING FEATURES

- STEEL EDGING
- NATIVE, DROUGHT TOLERANT, SODDED TURF AREA.
- TURF AREAS TO BE ENGINEERED WITH EROSION CONTROL BLANKETS AND MATS
- AREAS TO BE MULCHED



GENERAL NOTES

1. THE CONTRACTOR SHALL FOLLOW ALL LOCAL CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE LANDSCAPE ARCHITECT (LA) OR DESIGNATED REPRESENTATIVE (DR) REGARDING ANY DISCREPANCIES BETWEEN LOCAL CODES, PLANS, AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOTIFY (LA) OR (DR) OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
3. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, UNDERGROUND UTILITIES AND SITE LIGHTING CONDUITS WITHIN THE PROJECT SITE BEFORE LANDSCAPE CONSTRUCTION BEGINS.
4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THE WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.
5. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A WATER PERMEABILITY TEST TO DETERMINE SOIL QUALITY. TEST IS PERFORMED BY DIGGING A SHARP SHOOTER SPADE 18" (INCHES) INTO THE GROUND. FILL THE HOLE WITH WATER. RETURN TO THE TEST SITE AFTER 18 HOURS TO VISUALLY CONFIRM IF THE HOLE STILL RETAINS WATER. IF THE HOLE RETAINS WATER, THE SOIL IS DETERMINED TO BE TO POOR FOR PLANTING CONDITIONS. TO REMEDY POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO OVER EXCAVATE THE SOIL TO THE DEPTH OF THE ROOT BALL AND REPLACE THE SOIL WITH QUALITY PLANTING SOIL AS SPECIFIED ON THE PLANS PRIOR TO PLANTING TREES OR SHRUBS.
6. ALL LANDSCAPE MATERIALS TO BE WATERED BY CONTRACTOR UNTIL ESTABLISHED.
7. PLANT MATERIAL:
   a. SHALL BE INSTALLED BY THE CONTRACTOR PER DETAILS (REFER TO DETAIL SHEETS) AND CLIENT'S SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHICHEVER IS MORE STRINGENT.
   b. THE CONTRACTOR ACCEPTS ALL LIABILITY FOR THE INSTALLATION LANDSCAPING DEPICTED ON THESE PLANS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION LETTER IS ISSUED AND/OR ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED ONE TIME WHEN DISCOVERED AT THE CONTRACTOR'S EXPENSE.
   c. QUALITY SHALL COMPLY TO THE HIGHEST STANDARDS IN THE NURSERY INDUSTRY. GRASS SOD AND PLANTS SHALL BE REASONABLY CLEAN AND FREE OF WEEDS, PESTS, DISEASES.
   d. SHALL NOT BE PLANTED IN FROZEN GROUND.
8. ANY EXISTING TREES DESIGNATED TO BE SAVED MUST BE PRESERVED DURING CONSTRUCTION.
9. ALL PLANTING BEDS AND TREE PLANTING PITS TO BE FILLED WITH A MIXTURE OF 30% COMPOST (COW, MUSHROOM OR COTTON BUR), 20% PEAT MOSS AND 50% TOPSOIL BY VOLUME. ALSO, MIX IN 1LB 10–20–10 SLOW RELEASE PLANT FERTILIZER PER 10 SQ FT. OR AS RECOMMENDED BY THE SOIL ANALYSIS.
10. STAKES FOR TREE SUPPORT SHALL BE STEEL "T" BAR FENCE POST, 6' LONG, PAINTED DARK GREEN WITH TOP 6" PAINTED WHITE. TREE TIE SYSTEMS SHALL BE EASILY ADJUSTABLE, STRONG IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES. TREE TIE SYSTEMS SHALL BE 20" DEWITT (BLACK) TREE STRAP/SLING TSL–BX (60 PER CASE) OR APPROVED EQUAL–NO PLASTIC TIES ALLOWED. WIRE: 14 GAUGE ELECT. FENCE WIRE.
11. ALL PLANTING BEDS AS DESIGNATED ON THESE PLANS SHALL BE BORDERED BY ⅛" x 4" PAINTED BROWN STEEL EDGING AND RYERSON OR APPROVED EQUAL WITH INTEGRATED STAKES THROUGH SLOTS IN THE EDGING. (REFER TO DETAIL SHEETS FOR ACCEPTED EDGING MATERIAL)
12. MULCH ALL TREE PLANTINGS AND PLANTING BEDS WITH 4" OF EITHER SHREDDED HARDWOOD BARK MULCH OR CYPRESS MULCH. IN THE SEASONAL FLOWER BEDS USE EITHER CYPRESS OR PINE BARK MULCH; DO NOT USE HARDWOOD MULCH IN SEASONAL FLOWER BEDS.
13. ALL PLANTING AREAS SHALL RECEIVE A THREE INCH (3") TOP DRESSING OF MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" FABRIC BY "EASY GARDENER" OR DEWITT WEED BARRIER. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (REFER TO PLANTING DETAILS).
14. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND 4" (INCHES) OF TOPSOIL APPLIED. (REFER TO THE EROSION CONTROL DETAIL SHEET(S) FOR TOPSOIL AND SEEDING SPECIFICATIONS).
15. CONTRACTOR SHALL FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10–10–10 TIME RELEASE FERTILIZER.
16. IF REQUIRED BY THE CLIENT'S SPECIFICATIONS OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHICHEVER IS MORE STRINGENT, THE CONTRACTOR SHALL REPAIR, REPLACE AND/OR AUGMENT EXISTING IRRIGATION SYSTEM AS NECESSARY THAT PROVIDES SEPARATE ZONES AND HEAD PLACEMENT FOR SHRUB AREAS AND TURF AREAS. 100% HEAD TO HEAD COVERAGE WILL BE REQUIRED. THE CONTRACTOR WILL SUBMIT AS-BUILT DRAWINGS FOR THE LANDSCAPE IRRIGATION SYSTEM AND WILL ACCEPT RESPONSIBILITY FOR THE THE IRRIGATION SYSTEM. PROVIDE SUBMITTALS AS REQUIRED.
17. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS
18. LANDSCAPE CONTRACTOR SHALL OBTAIN AN ORIGINAL PRINT OF THIS PLAN TO ENSURE THAT ALL LINE WEIGHTS, LINE TYPES AND SHADED COLORS ARE COMPLETELY LEGIBLE AS ORIGINALLY PRINTED.
19. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
20. PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
21. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.

CITY OF BENTONVILLE REQ'D NOTE:

LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVERS LIKE JUNIPER OF LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED PERCENT (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED. (SEC. 1400.6.A–8 & 1400.8.G–7)

WHERE POTENTIAL UTILITY CONFLICTS WITH LANDSCAPING, UTILITY LOCATIONS SHALL BE FIELD VERIFIED.

ALL PROPOSED TREES SHALL BE A MINIMUM OF 5' FROM ALL PUBLIC UTILITIES.

TREES SHALL BE LOCATED 5' FROM ALL PUBLIC UTILITIES.

NOTE TO CONTRACTOR

INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

NOTE TO CONTRACTOR

CONTRACTOR SHALL INSTALL AN AUTOMATIC POP-UP AND/OR DRIP IRRIGATION SYSTEM THAT PROVIDES SUFFICIENT WATERING FOR ALL PLANTS AND TURF TO SUSTAIN HEALTHY GROWTH. THE IRRIGATION SYSTEM SHALL BE IN COMPLIANCE WITH ALL CITY, COUNTY AND/OR STATE REQUIREMENTS. CONTRACTOR SHALL ENSURE ALL PLANTS AND TURF ARE MAINTAINED IN HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON.

LANDSCAPE MAINTENANCE SCHEDULE

ALL TURF AREAS SHALL BE MOWED AT LEAST EVERY 10 DAYS IN THE GROWING SEASON. ALL TURF AREAS SHALL BE FERTILIZED AT LEAST ONCE A YEAR. ALL TURF AREAS SHALL BE TREATED FOR WEEDS AT LEAST ONCE A YEAR BY A TRAINED PROFESSIONAL. TURF AREAS SHALL BE IRRIGATED REGULARLY DURING THE GROWING SEASON.

ALL TREES SHALL BE ANNUALLY OR SEMI–ANNUALLY TRIMMED TO PROMOTE BRANCH GROWTH AND OVERALL TREE VITALITY. ALL TREES SHALL BE FERTILIZED AT LEAST ONCE A YEAR. ALL TREES SHALL BE IRRIGATED DURING THE GROWING SEASON. THE MULCH BED FOR ALL TREES SHALL BE REPLACED EVERY OTHER YEAR OR AS NEEDED. PESTICIDES SHALL ONLY USED UNDER THE DIRECTION OF A PROFESSIONAL.

ALL SHRUBS SHALL BE TRIMMED TWICE A YEAR OR AS NEEDED TO PROMOTE BRANCH GROWTH AND OVERALL SHRUB VITALITY. ALL SHRUBS SHALL BE FERTILIZED AT LEAST ONCE A YEAR. ALL SHRUBS SHALL BE IRRIGATED DURING THE GROWING SEASON. THE MULCH BED FOR ALL SHRUBS SHALL BE REPLACED EVERY OTHER YEAR OR AS NEEDED. PESTICIDES SHALL ONLY USED UNDER THE DIRECTION OF A PROFESSIONAL.

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LANDSCAPE ARCHITECTURE • DRILLING • GIS
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DRAWING INFO.

DRAWN BY:	CORY ROBERTS, PLA
LICENSE NO.:	9384
CHECKED BY:	ANDRES FERORO, PE
LICENSE NO.:	12160
DATE:	1–31–19
JOB NUMBER:	18AR10015

REVISIONS

NO.	DESCRIPTION	BY	DATE
1	PER OWNER COMMENTS	NCR	1-13-19
2	PER CITY COMMENTS	NCR	1-31-19
3	UPDATED FOR SECOND SUBMISSION	REN	2-1-19
4			
5			

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HOLYFIELD CONSTRUCTION, INC.
2371 TOWER DRIVE
MONROE, LA 71201

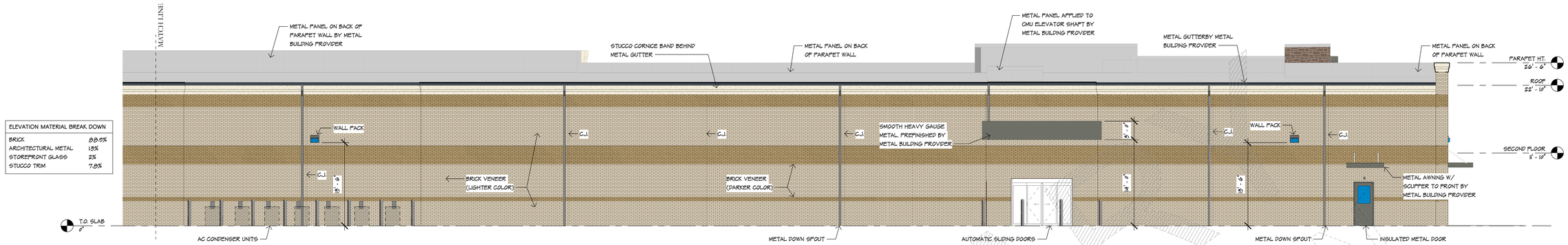
LANDSCAPE PLAN

BENTONVILLE STORAGE
3100 SW REGIONAL AIRPORT BLVD
BENTONVILLE, AR 72712

Registered Landscape Architect ★ NATHANIEL CORWIN ROBERTS 9384 Arkansas ★
1-31-19

SHEET NUMBER
L1.0
DRAWING NO.
13 of 14

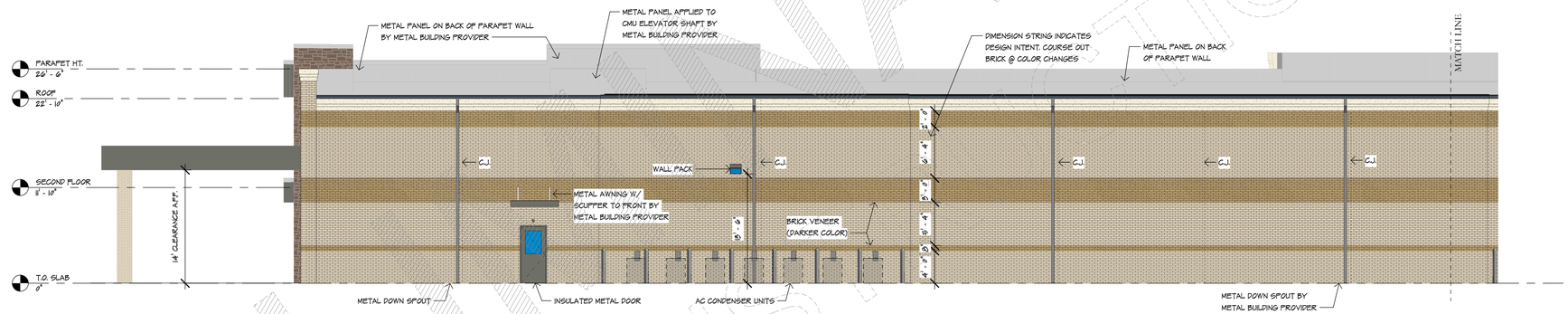
LSD19-0001



ELEVATION MATERIAL BREAK DOWN	
BRICK	88.0%
ARCHITECTURAL METAL	1.5%
STOREFRONT GLASS	2%
STUCCO TRIM	7.8%

3 NORTH ELEVATION - WEST END

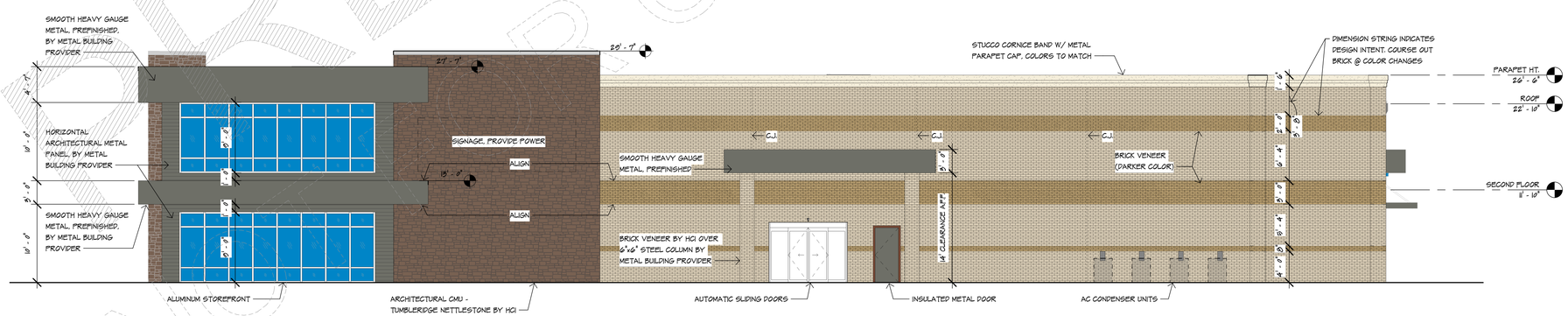
1/8" = 1'-0"



ELEVATION MATERIAL BREAK DOWN	
BRICK	88.8%
ARCHITECTURAL METAL	2.2%
STOREFRONT GLASS	.7%
STUCCO TRIM	8.3%

2 NORTH ELEVATION - EAST END

1/8" = 1'-0"



ELEVATION MATERIAL BREAK DOWN	
BRICK	64.2%
STONE	18.4%
ARCHITECTURAL METAL	1.6%
STOREFRONT GLASS	10.4%
STUCCO TRIM	5.4%

1 EAST ELEVATION

1/8" = 1'-0"

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Holyfield Construction, Inc.
2371 Tower Drive, Monroe, LA 71201

PROPOSED NEW
BENTONVILLE STORAGE
AIRPORT BLVD, BENTONVILLE, AR

PROJECT NO.
000

REVISIONS

1/8/18

EXTERIOR ELEVATIONS

SHEET NO.
A5.2

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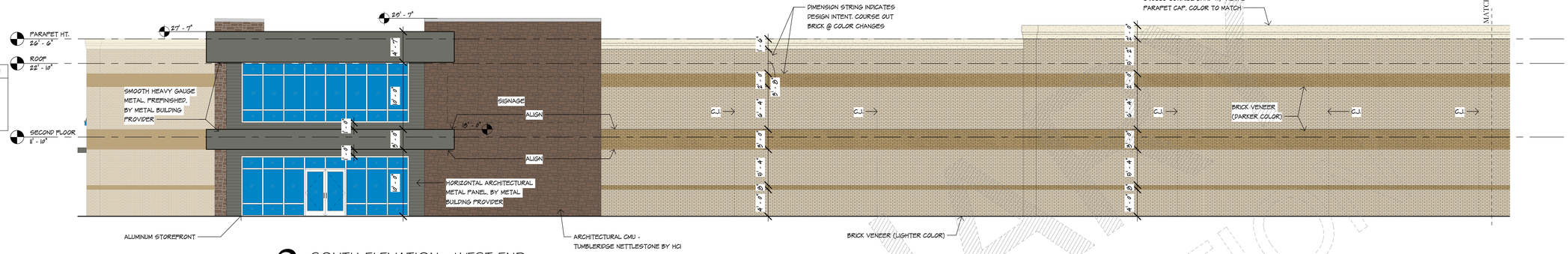
TOTAL BUILDING MATERIAL BREAK DOWN	
BRICK	66.1%
STONE	14.8%
ARCHITECTURAL METAL	7.1%
STOREFRONT GLASS	7.2%
STUCCO TRIM	5.1%

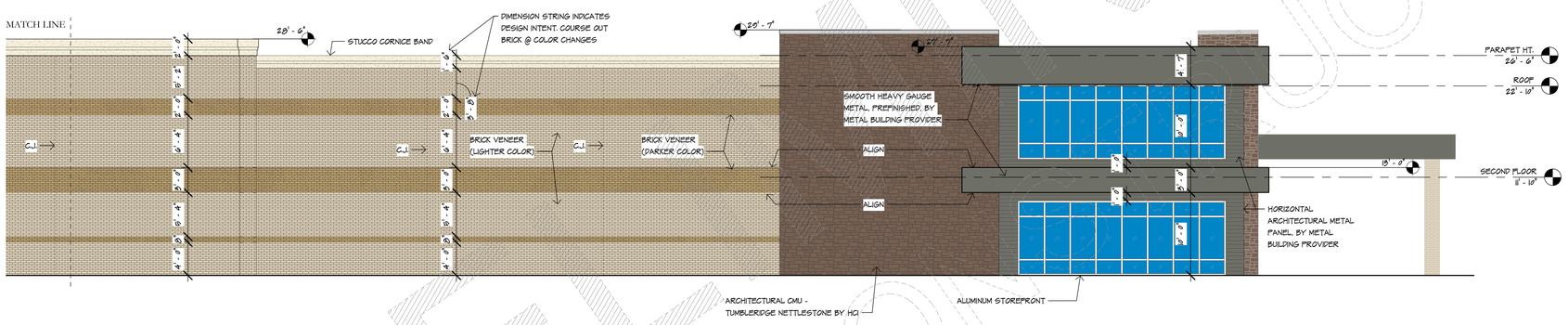
ELEVATION MATERIAL BREAK DOWN	
BRICK	67%
STONE	15.6%
ARCHITECTURAL METAL	7.2%
STOREFRONT GLASS	7.7%
STUCCO TRIM	4.8%



3 SOUTH ELEVATION - WEST END

1/8" = 1'-0"

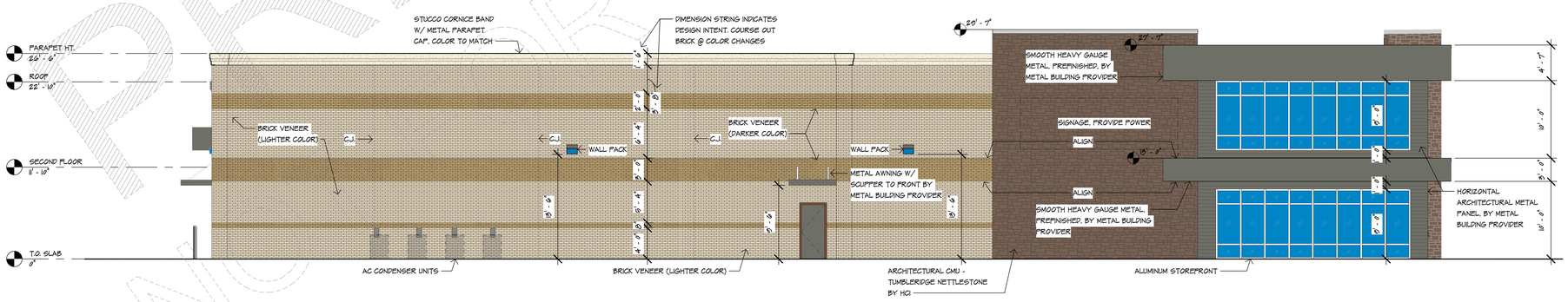
ELEVATION MATERIAL BREAK DOWN	
BRICK	54.6%
STONE	20%
ARCHITECTURAL METAL	10.8%
STOREFRONT GLASS	11.5%
STUCCO TRIM	3.6%



2 SOUTH ELEVATION - EAST END

1/8" = 1'-0"

ELEVATION MATERIAL BREAK DOWN	
BRICK	42%
STONE	18.4%
ARCHITECTURAL METAL	5.7%
STOREFRONT GLASS	19.4%
STUCCO TRIM	9.6%



1 WEST ELEVATION

1/8" = 1'-0"

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SHEET NO.
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