



**Planning Commission
Agenda
September 3rd, 2019**

- I. Call to Order**
- II. Approval of Minutes**
- III. Consent Agenda**

- | | |
|---|---------------------------------|
| 1. Lot 2, Michael-Dill Plaza
SW 14 th Street (PLA19-0020) | Easement Plat |
| 2. Lots 2 & 3, Block 2, Gilmore's Addition
506 & 508 SW 5 th Street (PLA19-0024) | Lot Split |
| 3. Lot 1, Geneva Rose Addition
701 McCollum Road (PLA19-0023) | Lot Split |
| 4. Lot 43, Dickson's Addition
711 W Central Avenue (PLA19-0025) | Property Line Adjustment |
| 5. Lot 25, Deming's Addition
412 NW 4 th Street (PLA19-0026) | Property Line Adjustment |

IV. New Business

- | | |
|--|-------------------------|
| 1. Glen Arbor Subdivision
Featherston Road and Glen Road (PP19-0005) | Preliminary Plat |
|--|-------------------------|

- V. Other Business**
- VI. Planner's Report**
- VII. Adjournment**

Planning Commission
Minutes
July 16, 2019

Meeting called to order at 5:00 p.m. by Richard Binns, Chairman.

Present: Richard Binns, Dana Davis, Scott Eccleston, Jim Grider, Joe Haynie, Elaine Kerr, and Rod Sanders

Staff: Ellen Norvell, Jon Stanley, Tyler Overstreet, and Ali Worley

Motion by Mr. Grider, seconded by Mr. Haynie to approve the minutes of August 6, 2019 as written
Approved 7-0

Consent Agenda

1. Lots 14-17, Block 1 of Young's Addition
706 SE 3rd Street, LS19-0025

Lot Split

Approved 7-0

New Business

Item #1

MSB Holdings, LLC: Rezoning, R-1, Single Family Residential to DN-2, Downtown Medium-Density Residential, SW E Street and SW 5th Street, RZ19-0024

Tyler Overstreet reads the staff report.

Opened public hearing

No public comments

Closed public hearing

Approved 7-0

Item #2

Calvary Baptist Church: Rezoning, R-1, Single Family Residential to C-2, General Commercial, 2603 SE 14th Street, RZ19-0025

Tyler Overstreet reads the staff report.

Opened public hearing

No public comments

Closed public hearing

Approved 7-0

Item #3

PMD Enterprises, LLC: Rezoning, A-1, Agricultural to C-2, General Commercial, Rice Lane and Rice Road, RZ19-0026

Tyler Overstreet reads the staff report.

Opened public hearing

Bill Watkins, representative, addresses questions on the nature of the project.

Closed public hearing

There is some discussion amongst Commissioners and staff.

Approved 7-0

Item #4

Featherston Farms, LLP: Rezoning, A-1, Agricultural to R-ZL, Residential Zero Lot Line, Featherston Road and SW 28th Street, RZ19-0027

Tyler Overstreet reads the staff report and goes on to read the 2 objection letters.

Opened public hearing

Roger Rosencranz, 2506 SW Glenn Ridge Road, asks about the access to the property.

Jason Blackston, 2501 SW Glenn Ridge Road, discusses his concerns regarding narrow streets, traffic, drainage, and ecological impact.

Closed public hearing

Ed Blalock, developer with Sunrise Developers, answers and addresses concerns. There is discussion amongst Commissioners, staff, and Mr. Blalock in regards to the concerns that will be addressed with the Preliminary Plat and the number of proposed lots.

Mr. Davis asks the Engineering Department if they look at the rezoning to determine if the proposed district would have an impact. Peter Farmer, Staff Engineer, says that they do not look at the rezoning, but the applicant will be required to come in to compliance regarding streets and drainage.

Mr. Stanley reminds the Commissioners and the public that the rezoning is just to determine use, not project specifics.

Approved 7-0

Item #5

Cornerstone Plaza: Large Scale Development, SW Morningstar Road, LSD19-0016

Tyler Overstreet reads the staff report.

Motion by Mr. Davis, seconded by Mr. Grider to approve the Waiver Request: Direct Access to Substandard Streets

Approved 7-0

Large Scale Development

Approved 7-0

Item #6

Cool Wags: Large Scale Development, 210 Prairie Lane, LSD19-0034

Tyler Overstreet reads the staff report.

There is some discussion amongst the Commissioners and staff.

Motion by Mr. Grider, seconded by Mr. Binns to approve the Waiver Request: Sidewalk Standards

Approved 7-0

Large Scale Development

Approved 7-0

Motion by Mr. Grider, seconded by Mr. Haynie to adjourn.

Meeting adjourned

****A copy of this recording can be obtained from the Bentonville Planning Department.**

Ali Worley



Consent Agenda Items

For Planning Commission meeting of September 3, 2019

Reviewer: Tyler Overstreet, Senior Planner, AICP

- ❖ At the Technical Review meeting held on August 27, 2019 the Planning Commission requested these items be placed on the consent agenda. The descriptions below shall serve as the staff report for each of the consent agenda items.

Easement Plat: Lots 2, Michael-Dill Plaza, Modern Storage Bentonville, LLC, SW 14th Street, C-2, General Commercial, (PLA19-0020)

An easement plat of Lot 2 of Michael-Dill Plaza. The plat dedicates utility and drainage easements of varying widths. Adequate right-of-way currently exists along SW 14th Street. This easement plat is in relation to the approved LSD for Hwy 102 Mini Storage.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)

Lot Split: Lots 2 & 3, Block 2, Gilmore's Addition, MSB Holdings, LLC, 506 & 508 SW 5th Street, DN-2, Downtown Medium-Density Residential, (PLA19-0024)

A lot split of Lot 1, Block 2, Gilmore's Addition and a part of Coffelt's Addition, creating new Lots 2 (+/- .25 acres) & 3 (+/- .15 acres), Block 2, of Gilmore's Addition. The plat dedicates 20-foot utility easements along SW E Street. The plat dedicates a 10-foot utility easement along SW 5th Street. The plat dedicates additional right-of-way along SW E Street to meet the requirements of the Master Street Plan.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)

Lot Split: Lot 1, Geneva Rose Addition, Geneva and Steve Rose, 701 McCollum Road, R-1, Single-Family Residential, (PLA19-0023)

A lot split of previously unplatted land creating new Lot 1, Geneva Rose Addition (+/- 1.94 acres). The plat dedicates 20-foot utility easements along their frontage. The plat dedicates additional right-of-way along McCollum road to meet the requirements of the Master Street Plan.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)

Property Line Adjustment: Lot 43, Dickson's Addition, Joyce Trustees, 711 W Central Avenue, R-1, Single-Family Residential, (PLA19-0025)

A property line adjustment of Lots 26 & 28, Dickson's Addition, creating new Lot 43 (+/- .5 acres) of Dickson's Addition. The plat dedicates 10-foot utility easements along W Central Avenue and SW 2nd Street.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)

Property Line Adjustment: Lot 25, Block 6, Deming's Addition, Dorothy Upperman, 412 NW 4th Street, R-1, Single-Family Residential, (PLA19-0026)

A property line adjustment of Lots 19 & 20, Block 6 of Deming's Addition, creating new Lot 25, Block 6, of Deming's Addition. The plat dedicates a 15-foot utility easement along NW 4th Street and a 7-foot utility easement along NW D Street. The plat dedicates additional right-of-way along both street frontages to meet the requirements of the Master Street Plan.

(Please click on this link to access the vicinity map for this item: <http://geo.bentonvillear.com/mgweb/PZpending/>)



EASEMENT DEDICATION PLAT FOR OF LOT 2 OF MICHAEL – DILL PLAZA

DESCRIPTION:

LOT 2 OF MICHAEL – DILL PLAZA, AS PER PLAT RECORD 13–380 IN THE OFFICE OF THE CIRCUIT CLERK AND EX–OFFICIO RECORDER OF BENTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 2 OF SAID MICHAEL – DILL PLAZA;
THENCE ALONG THE EAST LINE THEREOF S02°18’23”W 1072.06 FEET TO THE NORTH RIGHT–OF–WAY OF ARKANSAS STATE HIGHWAY 102 AS ESTABLISHED IN DOCUMENT 2007–5637;
THENCE ALONG SAID NORTH RIGHT–OF–WAY THE FOLLOWING SIX COURSES:
THENCE N84°13’05”W 191.10 FEET;
THENCE N02°13’24”E 10.00 FEET;
THENCE N87°46’36”W 90.00 FEET;
THENCE S02°13’24”W 10.00 FEET;
THENCE S87°27’35”W 120.42 FEET;
THENCE N88°59’09”W 263.28 FEET TO THE WEST LINE OF SAID LOT 2;
THENCE ALONG SAID WEST LINE N03°28’42”E 1071.29 FEET TO THE NORTHWEST CORNER OF SAID LOT 2;
THENCE ALONG THE NORTH LINE THEREOF S88°11’52”E 642.07 FEET TO THE POINT OF BEGINNING, CONTAINING 15.95 ACRES MORE OR LESS AND SUBJECT TO ANY AND ALL EASEMENTS OF RECORD OR FACT.

CERTIFICATE OF OWNERSHIP

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____

BY: _____
MODERN STORAGE BENTONVILLE, LLC

(PRINT)

SOURCE OF TITLE: DEED RECORD L201901844

STATE OF ARKANSAS)
) SS
COUNTY OF BENTON)
SUBSCRIBED AND SWORN BEFORE ME THIS ____ DAY OF _____, 2019
MY COMMISSION EXPIRES:

NOTARY PUBLIC. _____

CERTIFICATE OF APPROVAL

PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

SIGNED _____
BENTONVILLE PLANNING COMMISSION CHAIRMAN

SIGNED _____
MAYOR CITY OF BENTONVILLE

SIGNED _____
CITY CLERK, CITY OF BENTONVILLE

BUILDING SETBACK TABLE

ZONING	SETBACK (FT.)					
	FRONT		SIDE		REAR	
	WITH PARKING IN FRONT	WITHOUT PARKING IN FRONT	ADJ. TO NON-RESIDENTIAL DISTRICT	ADJ. TO RESIDENTIAL DISTRICT	ADJ. TO NON-RESIDENTIAL DISTRICT	ADJ. TO RESIDENTIAL DISTRICT
C–2	50	20	7	30	20	30

CITY OF BENTONVILLE, ZONING CODE 401–24.

NOTES:

THE WORD "CERTIFY" AS SHOWN HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

THIS PROPERTY LIES WITHIN THE MUNICIPAL LIMITS OF BENTONVILLE, ARKANSAS.

ACCORDING TO THE CITY OF BENTONVILLE GIS WEB SITE, THIS PROPERTY IS ZONED C–2.

NO ATTEMPT WAS MADE TO SHOW BUILDING SETBACK LINES GRAPHICALLY ON THIS SURVEY. THE ASSIGNMENT, VACATION, OR ORIENTATION OF SETBACKS THAT IMPACT THE USAGE RIGHTS OF THE PROPERTY ARE DETERMINED BY LOCAL GOVERNING JURISDICTIONAL AGENCY. SETBACK DIMENSIONS WILL BE BASED ON THE ORIENTATION OF THE BUILDING(S) TO BE CONSTRUCTED AS APPROVED.

THE BOUNDARY DETERMINATION SHOWN HEREON WAS BASED UPON THE FOLLOWING DOCUMENTS AND NO OTHERS: DEED RECORD 2000–90550, DEED L201901844, DOCUMENT 2007–5637, PLAT RECORD 13–380, PLAT RECORD 2002–361, PLAT RECORD 2011–27 AND PLAT RECORD L201808023.

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE COMMITMENT NO. 18–470825, DATED DECEMBER 26, 2018, WAS ENTIRELY RELIED UPON FOR RECORD INFORMATION REGARDING RIGHTS–OF–WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY. THE PROPERTY SHOWN HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE COMMITMENT.

THE SURVEYOR HAS NOT MADE A SEPARATE INVESTIGATION OR SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, OR RESTRICTIVE COVENANTS OR ANY OTHER FACTS WHICH MIGHT AFFECT THE PROPERTY. ANY EASEMENTS SHOWN HEREON CAME TO THE ATTENTION OF THE SURVEYOR FROM EXAMINATION OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE COMMITMENT NO. 18–470825, DATED DECEMBER 26, 2018.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT CONSIDERED A PART OF THIS SURVEY AND NO INVESTIGATION OF THESE CONDITIONS WAS MADE.

THE ADJACENT PROPERTY OWNERS NAMES SHOWN ON THIS PLAT WERE OBTAINED FROM THE BENTON COUNTY GIS WEB SITE, AND REPRESENT THE OWNER'S LISTED NAME AT THE TIME OF THIS SURVEY.

ANY UTILITY LINES, STRUCTURES OR APPURTENANCES SHOWN HEREON ARE FROM A FIELD INVESTIGATION LIMITED TO THE VISIBLE SURFACE OF THE PROPERTY SURVEYED. OTHER UTILITY LINES, STRUCTURES AND APPURTENANCES MAY BE PRESENT ON THE PROPERTY. FOR INFORMATION REGARDING SUCH ITEMS, CONTACT THE APPROPRIATE AGENCIES.

PART OF THIS PROPERTY IS IN FLOOD ZONE "A" OR "AE", AND IS INSIDE THE 100–YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05007C0255K, EFFECTIVE DATE JUNE 5, 2012.

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, NO INDEPENDENT STUDY OF THE LIKELIHOOD OF FLOODING OF THE SURVEYED PROPERTY HAS BEEN DONE BY THE SURVEYOR AND NO OPINION OF FLOOD HAZARDS IS INCLUDED IN THIS SURVEY. THE FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON WERE SCALED FROM THE MAPS CITED AND ARE NOT THE RESULT OF INDEPENDENT COMPUTATION OR ANALYSIS.

BEFORE ANY WORK IN THE RIGHT–OF–WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO CONTACT THE CITY OF BENTONVILLE ENGINEERING AND TRANSPORTATION DEPARTMENTS AND NOTIFY SAID DEPARTMENTS ON THE INTENT AND TYPE OF THE WORK THAT WILL TAKE PLACE WITH–IN THE RIGHT–OF–WAY.

OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.

SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.

THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.

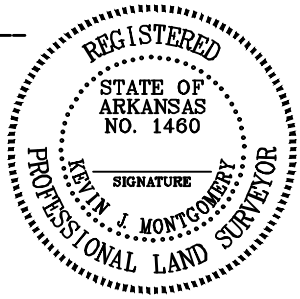
CERTIFICATE OF SURVEYING ACCURACY

I, KEVIN J. MONTGOMERY, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION: 08/09/2019

CRAFTON, TULL & ASSOCIATES, INC.
BY KEVIN J. MONTGOMERY (AGENT)

SIGNED: _____
KEVIN J. MONTGOMERY (AGENT)
REGISTERED LAND SURVEYOR
NO. 1460
STATE OF ARKANSAS



ALL COPIES THAT DO NOT BEAR AN ORIGINAL SEAL AND SIGNATURE MAY HAVE BEEN ALTERED. THE ABOVE DECLARATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

RECORD INFORMATION

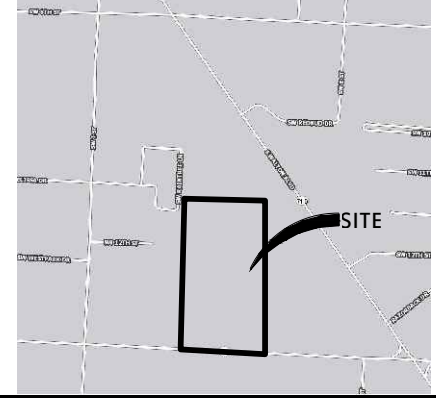
EASEMENT DEDICATION PLAT
LOT 2 OF MICHAEL - DILL PLAZA
PLAT RECORD 13-380

PREPARED FOR:
MODERN STORAGE BENTONVILLE, LLC

ARKANSAS

BENTONVILLE

VICINITY MAP

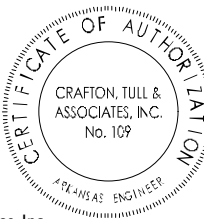


DELTA	DESCRIPTION	DATE
1	REV PER CITY COMMENTS	08/09/2019

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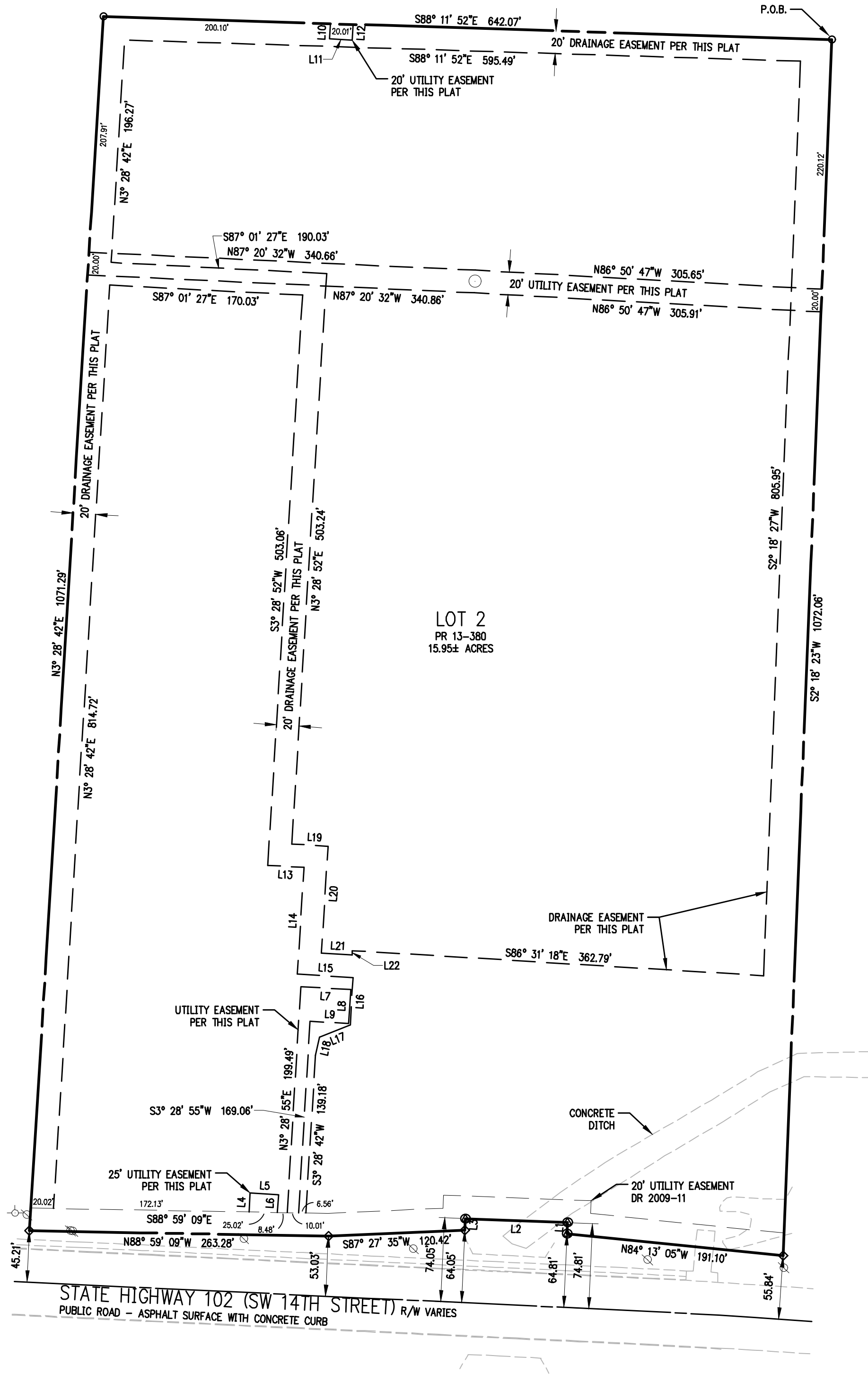
CERTIFICATE OF AUTHORIZATION:



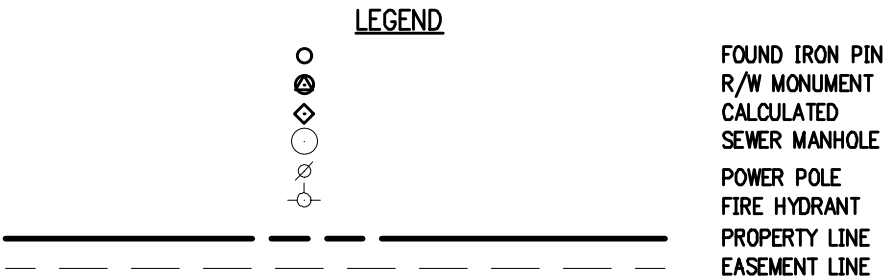
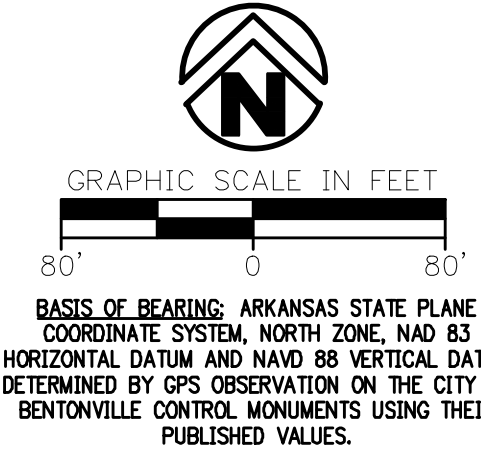
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PROJECT NO: 18108600
ISSUE DATE: 08/09/2019
CONTACT: K. MONTGOMERY
CHECKED BY:
SHEET NO.:

EASEMENT DEDICATION PLAT FOR OF LOT 2 OF MICHAEL – DILL PLAZA



PARCEL LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	10.00'	N2° 13' 24"E
L2	90.00'	N87° 46' 36"W
L3	10.00'	S2° 13' 24"W
L4	16.84'	N3° 28' 42"E
L5	25.00'	S86° 31' 18"E
L6	15.77'	S3° 28' 42"W
L7	44.00'	S86° 31' 18"E
L8	30.00'	S3° 28' 42"W
L9	34.00'	N86° 31' 18"W
L10	13.39'	S3° 28' 45"W
L11	20.00'	S86° 31' 15"E
L12	13.97'	N3° 28' 45"E
L13	31.88'	S86° 31' 18"E
L14	94.19'	S3° 28' 54"W
L15	49.03'	S86° 31' 18"E
L16	41.56'	S3° 28' 42"W
L17	29.09'	S67° 46' 34"W
L18	16.27'	S13° 01' 57"W
L19	31.88'	S86° 31' 18"E
L20	94.19'	S3° 28' 54"W
L21	27.03'	S86° 31' 18"E
L22	3.67'	N3° 28' 42"E

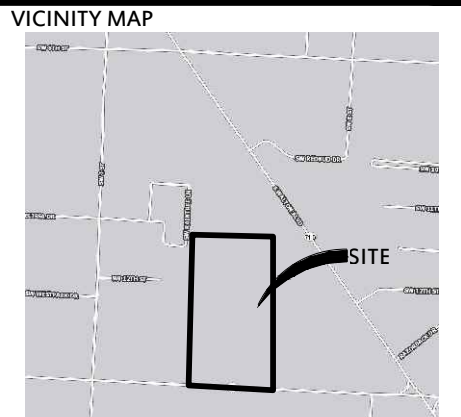


RECORD INFORMATION

EASEMENT DEDICATION PLAT
LOT 2 OF MICHAEL - DILL PLAZA
PLAT RECORD 13-380

PREPARED FOR:
MODERN STORAGE BENTONVILLE, LLC

ARKANSAS
BENTONVILLE



DELTA	DESCRIPTION	DATE
1	REV PER CITY COMMENTS	08/09/2019

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Rogers, Arkansas 72756

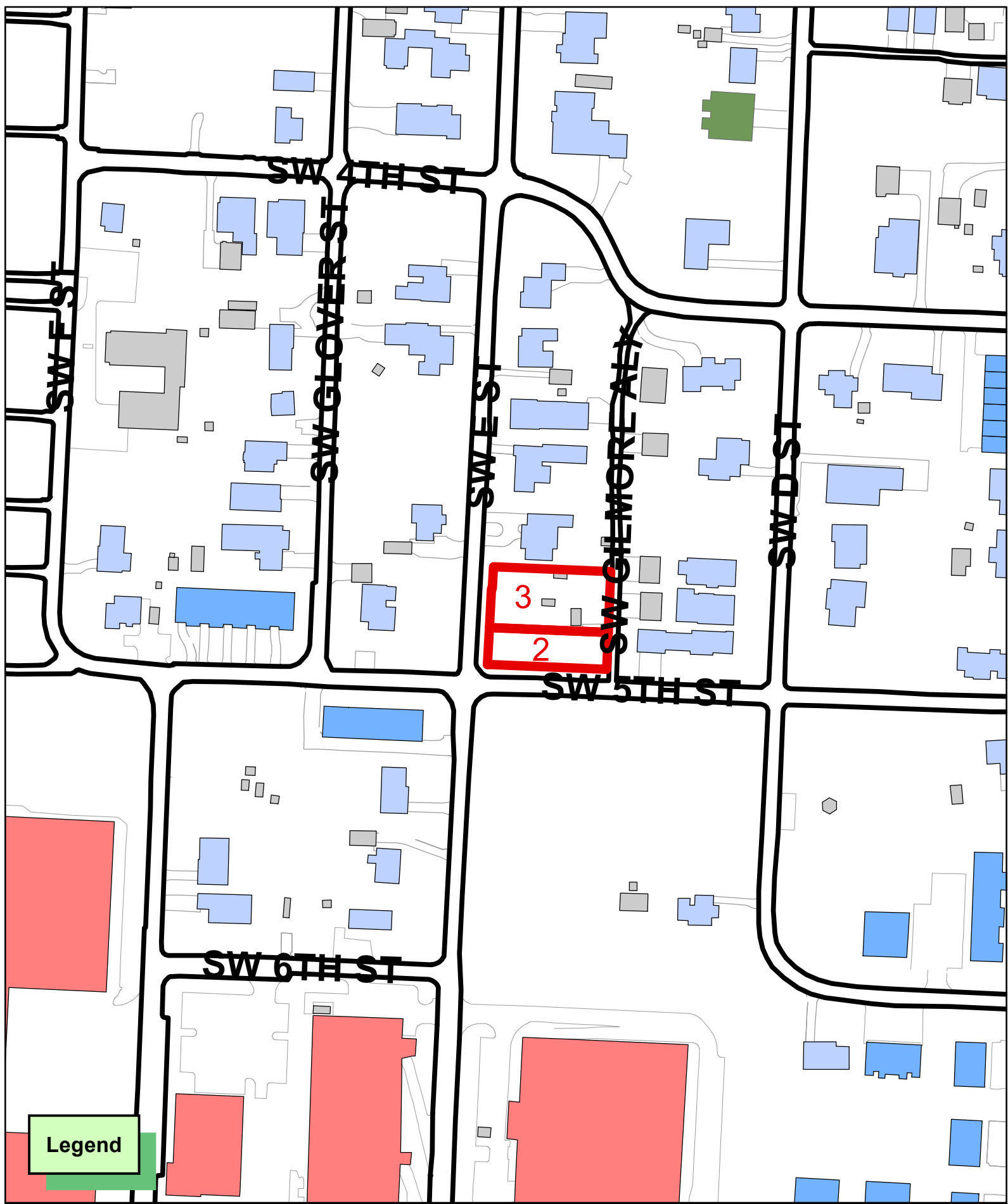
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CERTIFICATE OF AUTHORIZATION:

CRAFTON, TULL & ASSOCIATES, INC.
No. 109

PROFESSIONAL ENGINEER

PROJECT NO: 18108600
ISSUE DATE: 08/09/2019
CONTACT: K. MONTGOMERY
CHECKED BY:
SHEET NO:



Legend



1 inch = 150 feet

PLA19-0024
PROPERTY LINE ADJUSTMENT
GILMORE'S ADDITION
LOT 1 CREATING LOTS 2 & 3 BLOCK 2



Aug16,2019-10:10am - User david.buff
M:\18\18-19-00069 Main Street Builders 5th - E St. PLA - Bentonville, AR\Disciplines\CIVIL\Survey\final2nd submittal 18-19-00069 SURVEY LOT SPLIT rev-1.dwg

LOT SPLIT

LOT 1 BLOCK 2 GILMORE'S ADDITION, AND A PART OF COFFELT'S ADDITION TO THE CITY OF BENTONVILLE, ARKANSAS; PARCELS: 01-01817-010, 01-02704-000, 01-02705-000; CREATING LOT 2 BLOCK 2 GILMORE'S ADDITION & LOT 3 BLOCK 2 GILMORE'S ADDITION TO THE CITY OF BENTONVILLE

DEED DESCRIPTION:

WD 2017-27713, PARCEL ID: 01-01817-010

Tract 1: All that part of Coffelt Addition, to the City of Bentonville, Benton County, Arkansas, which lies South of Lot 6 in Block 1, in said Coffelt Addition, except any part of the public street which runs through the Coffelt Addition and as extended South. The above strip of land being 27 feet wide North and South.

Tract 2: Block 2 of Gilmore's Addition, to the City of Bentonville, Benton County, Arkansas, Except a strip of land 50 feet wide, squarely off the East side thereof.

WD 2017-12149, PARCEL ID: 01-02705-000

The East 50 feet of Block 2, Gilmore's Addition to Bentonville, Also a strip 27 feet wide described as beginning at the NE corner of Block 2, in said Gilmore Addition, thence North 27 feet to the SE corner of Lot 6, Block 1, Coffelts Addition, Bentonville, thence West 50 feet, thence South 27 feet, thence East 50 feet to the place of beginning, all in Benton County, Arkansas.

SURVEY DESCRIPTION:

LOT 2 BLOCK 2

A part of Block 2 Gilmore's Addition to the City of Bentonville, being more particularly described as follows: Commencing at the Southwest Corner of said Block 2; thence S87°43'38"E, 2.89 feet to the Point of Beginning; thence N02°54'16"E, 45.50 feet; thence S87°43'38"E, 146.74 feet to the East Line of said Block 2; thence along said East Line, S02°26'19"W, 45.50 feet to the South Line of said Block 2; thence leaving said East Line, along said South Line, N87°43'38"W, 147.11 feet to the Point of Beginning. Containing 6685.06 square feet, 0.15 acres as surveyed. Subject to any easements, rights-of-way, or covenants of record.

LOT 3 BLOCK 2

A part of Block 2 Gilmore's Addition to the City of Bentonville, and a strip 27 feet wide North and South and which lies South of Lot 6 Block 1 in Coffelt's Addition to the City of Bentonville, being more particularly described as follows: Commencing at the Southwest Corner of said Block 2; thence S87°43'38"E, 2.89 feet along the South Line of said Block 2; thence leaving said South Line, N02°54'16"E, 45.50 feet to the Point of Beginning; thence N02°54'16"E, 48.00; thence S87°43'38"E, 1.42 feet; thence N02°26'48"E, 27.00 feet to the South Line of Lot 6, Block 1, Coffelt's Addition to the City of Bentonville; thence along said South Line, S87°43'38"E, 144.93 feet to the Southeast Corner of Lot 6, Block 1, Coffelt's Addition to the City of Bentonville; thence leaving said South Line, S02°26'19"W, 75.00 feet; thence N87°43'38"W, 146.74 feet to the Point of Beginning. Containing 10947.19 square feet, 0.25 acres as surveyed. Subject to any easements, rights-of-way, or covenants of record.

RIGHT-OF-WAY DEDICATION:

A part of Block 2 Gilmore's Addition to the City of Bentonville, being more particularly described as follows: Beginning at the Southwest Corner of said Block 2; thence along the West Line of said Block 2, N02°28'59"E, 93.50 feet to the North Line of said Block 2; thence leaving said West Line, S87°43'38"E, 3.58 feet along said North Line; thence leaving said North Line, S02°54'16"W, 93.51 feet to the South Line of said Block 2; thence along said South Line, N87°43'38"W, 2.89 feet to the Point of Beginning. Containing 302.58 square feet, 0.007 acres as surveyed. Subject to any easements, rights-of-way, or covenants of record.

Certificate of Surveying Accuracy:

I, _____, hereby certify that this plat correctly represents a boundary survey made by me and boundary markers and lot corners shown hereon actually exist and their location, type and material are correctly shown and all minimum requirements of the Arkansas Minimum Standards for Land Surveyors have been met.

Date of Execution: _____

Signed: _____
Registered Land Surveyor
No. _____
State of Arkansas



ATLAS PAGE 403B



CERTIFICATE OF OWNERSHIP:

We the undersigned, owners of the real estate shown and described herein, do hereby certify that we have laid off, platted, and subdivided and do hereby lay off, plat, subdivide said real estate in accordance with this plat and do hereby dedicate to the use of the public the streets, alleys, drives, easements, etc. as shown on said plat.

Date of Execution: _____
Signed: _____
Name & Address _____
Print Name: _____

Source of Title: D.R. _____
Page _____

FLOOD STATEMENT:

(BY GRAPHICAL PLOTTING ONLY)
This property is not located within any presently established 100-year flood plain as determined by the National Flood Insurance Program, flood insurance rate maps for Benton County, Arkansas. Map Number: 05007C0255K, Map Revised June 5, 2012.

CERTIFICATE OF APPROVAL:

Pursuant to the Bentonville Subdivision Regulations and all other conditions and approval having been completed, this document is hereby accepted. This Certificate is hereby executed under the authority of the said rules and regulations.

Date of Execution: _____
Signed: _____
Bentonville Planning
Commission Chairman
Signed: _____
Mayor City of Bentonville
Signed: _____
City Clerk, City of Bentonville

SURVEY NOTES:

1. The boundary configuration shown on this survey does not purport to be a tract split, replat or any other subdivision of land as may be defined by city, county, or state law. The land owner is encouraged to check with the local planning/development authorities for proper platting procedures before proceeding with this development.

2. Except as specifically stated or shown on this plat, the survey does not purport to reflect any of the following which may be applicable to the subject real estate:

Easement, other than possible easements which were visible at the time of making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land-use regulations, or any other facts which an accurate and current title search may disclose.

3. Every document of record reviewed and considered as a part of this survey is noted hereon. Only the documents noted hereon were supplied the surveyor.

4. This plat represents a Property Line Adjustment of the parcels recorded in Deed Record 2017-27713 and 2017-12149 at the courthouse in Benton County, Arkansas.

5. The contractor must determine that proposed structures are clear of all boundary lines, easements and meet building setback requirements before construction begins.

6. Basis of Bearings: NAD83, Arkansas State Plane North Zone US Foot, checking with the Bentonville reference station. Convergence angle: -1° 17' 20.24" at the Southwest Corner of Block 2, Gilmore's Addition.

7. Basis of Elevation: NAVD88, checking with the Bentonville reference station.

8. This survey is valid only if the drawing includes the seal and signature of the surveyor.

9. This survey meets current "Arkansas Minimum Standards for Property Boundary Surveys and Plats".

10. No abstract of title, nor title commitment, nor results of title searches were furnished the surveyor. There may exist other documents of record which would affect this parcel.

11. Declaration is made to the original purchaser of the survey and is not transferable to any additional institutions or subsequent owners.

12. This property is currently zoned R-1 residential.

13. Building setbacks for zone R-1 are as follows:

Garage, Street Facing (attached & detached): 30 ft. from property line garage faces
Garage, Side- or Rear-loading (attached & detached): 20 ft. from front property line
Front: 20 ft.
Side, Interior: 7 ft.
Side, Exterior: 20 ft.
Rear: 25 ft.

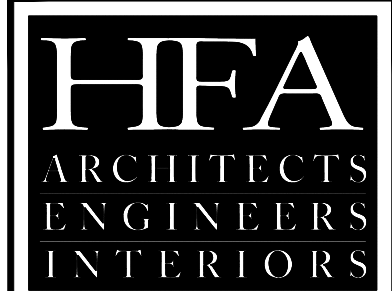
14. No attempt was made to show building setback lines graphically on the survey. Setback dimensions are based on the orientation of the building(s) to be constructed.

15. Subsurface and environmental conditions were not examined nor considered as a part of this survey.

16. The locations of underground utilities as shown hereon are based on such above ground structures as were visible at the time of survey, and/or from record drawings provided to the surveyor. The location of underground utilities/structures may vary from locations shown hereon. No excavations were made during the progress of this survey to locate underground utilities/structures.

17. No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or facilities.

18. All structures must maintain minimum of 20' clearances from all electric lines.



HARRISON FRENCH
& ASSOCIATES, LTD

1705 S. Walton Blvd., Suite 3
Bentonville, Arkansas 72712
t 479.273.7780
f 888.520.9685
www.hfa-ac.com

LOT SPLIT

LOT 1 BLOCK 2 GILMORE'S ADDITION, AND A PART OF COFFELT'S ADDITION
TO THE CITY OF BENTONVILLE, ARKANSAS; PARCELS: 01-01817-010,
01-02704-000, 01-02705-000; CREATING LOT 2 BLOCK 2 GILMORE'S ADDITION
& LOT 3 BLOCK 2 GILMORE'S ADDITION TO THE CITY OF BENTONVILLE

PROJ NUMBER: 18-19-00069

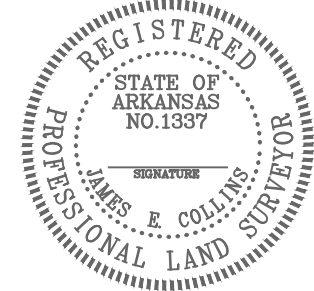
ISSUE BLOCK		

DOCUMENT DATE: 8/16/2019
CHECKED BY: JEC
DRAWN BY: DVB

MSB HOLDINGS LLC
224 N MAIN
BENTONVILLE AR
72712-5335

SHEET:
1/2

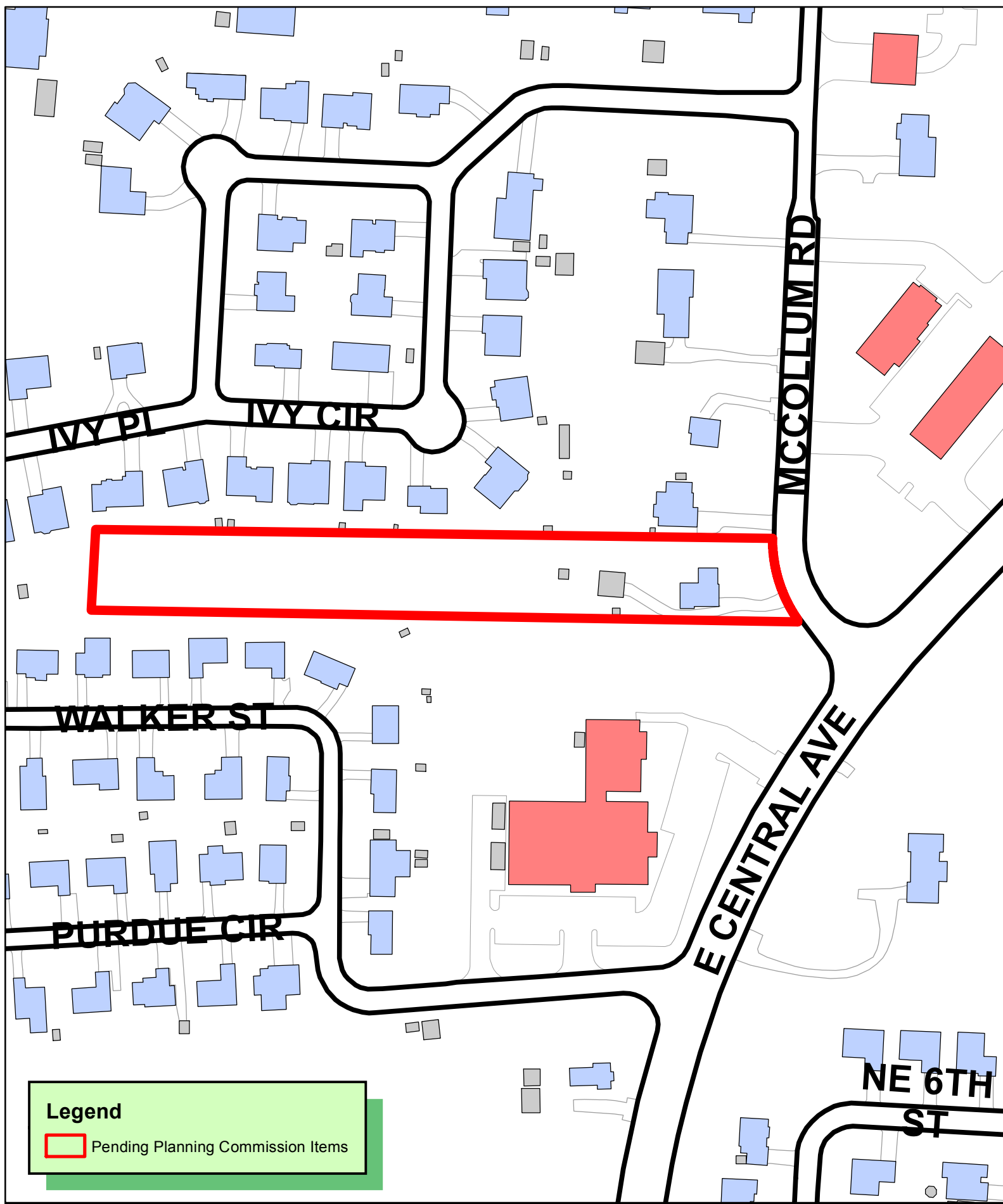
PLA19-0024



I, _____, hereby certify that this plat correctly represents a boundary survey made by me and boundary markers and lot corners shown hereon actually exist and their location, type and material are correctly shown and all minimum requirements of the Arkansas Minimum Standards for Land Surveyors have been met.

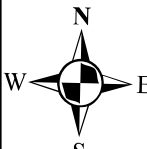
Signed: _____
Registered Land Surveyor
No. _____
State of Arkansas

2/2



Legend

 Pending Planning Commission Items

 1 inch = 150 feet

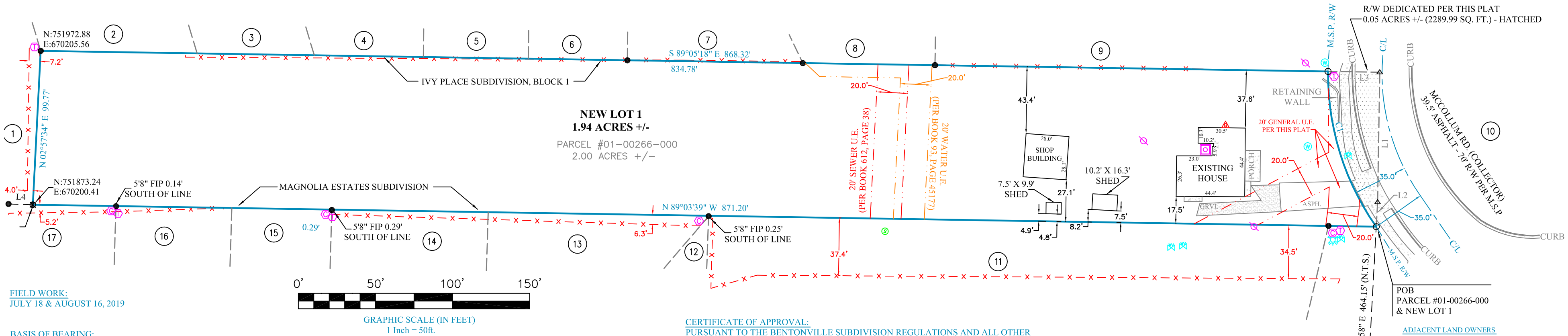
PLA19-0023
PROPERTY LINE ADJUSTMENT
PARCEL 01-00266-000 NEW LOT 1



PROPERTY LINE ADJUSTMENT CREATING LOT 1 OF GENEVA ROSE ADDITION

LINE	BEARING	DISTANCE
L1	S 00°56'21" W	84.14'
L2	S 03°12'21" W	16.00'
L3	S 89°05'18" E	33.54'
L4	N 88°21'27" W	15.75'

CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	171.83'	107.10'	105.38'	S 17°15'26" E	35°42'43"	55.35'



FIELD WORK:
JULY 18 & AUGUST 16, 2019

BASIS OF BEARING:
GPS OBSERVATION - AR NORTH ZONE

REFERENCE DOCUMENTS:
1) CORRECTION SCRIVENER'S AFFIDAVIT FILED AS DOCUMENT #L20192774
2) FINAL PLAT OF IVY PLACE
3) FINAL PLAT OF MAGNOLIA ESTATES FILED IN BOOK 6 AT PAGE 137
4) PLAT OF SURVEY FILED IN BOOK 2003 AT PAGE 869

PROPERTY ZONED:
R-1

<u>BUILDING SETBACKS:</u>	
GARAGE, STREET FACING (ATTACHED & DETACHED)	30ft FROM PROPERTY LINE GARAGE FACES
GARAGE, SIDE OR REAR LOADING (ATTACHED & DETACHED)	20ft FROM PROPERTY LINE
FRONT	20ft
SIDE (INTERIOR)	07ft
SIDE (EXTERIOR)	20ft
REAR	25ft
*WHERE A UTILITY EASEMENT EXTENDS BEYOND REQUIRED SETBACK, EDGE OF UTILITY EASEMENT SHALL BE THE SETBACK	

SURVEY DESCRIPTIONS:

PARCEL #01-00266-000:
A PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 20 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS N03°07'58"E 464.15' FROM THE SOUTHEAST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE N89°03'39"W 871.20' TO AN EXISTING REBAR THENCE N02°57'34"E 99.77' TO AN EXISTING REBAR, THENCE S89°05'18"E 868.32', THENCE S00°56'21"W 84.14', THENCE S03°12'21"W 16.00' TO THE POINT OF BEGINNING, CONTAINING 2.00 ACRES, MORE OR LESS, SUBJECT TO THAT PORTION IN MCCOLLUM ROAD RIGHT-OF-WAY ON THE EAST SIDE OF HEREIN DESCRIBED TRACT AND SUBJECT TO ALL OTHER EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

NEW LOT 1:
A PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 20 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS N03°07'58"E 464.15' FROM THE SOUTHEAST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE N89°03'39"W 871.20' TO AN EXISTING REBAR THENCE N02°57'34"E 99.77' TO AN EXISTING REBAR, THENCE S89°05'18"E 834.78' TO THE WEST MASTER STREET PLAN RIGHT-OF-WAY OF MCCOLLUM ROAD, THENCE ALONG SAID RIGHT-OF-WAY ALONG A CURVE TO THE LEFT LEAVING A RADIUS OF 171.83' FOR A CHORD BEARING AND DISTANCE OF S17°15'26"E 105.38' TO THE POINT OF BEGINNING, CONTAINING 1.94 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

STATE RECORDING NUMBER:
500-20N-30W-0-28-420-04-1642

I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT
TO THE BEST OF MY KNOWLEDGE AND BELIEF
ON THIS THE 16TH DAY OF AUGUST, 2019.



IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL AND NOT BLUE IN COLOR THEN IT SHOULD BE ASSUMED THAT THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

CERTIFICATE OF APPROVAL:
PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER
CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS
HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE
AUTHORITY OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

SIGNED _____
BENTONVILLE PLANNING
COMMISSION CHAIRMAN

SIGNED _____
MAYOR CITY OF BENTONVILLE

SIGNED _____
CITY CLERK, CITY OF BENTONVILLE

OWNER'S CERTIFICATION:
WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____ DATE OF EXECUTION: _____

SIGNED : _____
STEVE D. ROSE

SIGNED : _____
GENEVA ANN ROSE

SOURCE OF TITLE: QUITCLAIM DEED FILED IN BOOK 2017, PAGE 9593

SUBSCRIBED AND SWORN BEFORE ME, THIS ____ DAY OF _____, 2019.

NOTARY PUBLIC

CERTIFICATE OF SURVEYING ACCURACY:
I DERRICK THOMAS, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE OF EXECUTION: _____

SIGNED: _____
REGISTERED LAND SURVEYOR NO. 1642 - STATE OF ARKANSAS

BEUD NOTES:

1. OWNER TO CONTACT NEW SERVICE COORDINATOR (271-3139) TO DISCUSS ELECTRIC SERVICE PRIOR TO BEGINNING ANY CONSTRUCTION. FAILURE TO CONTACT BEUD PRIOR TO CONSTRUCTION WILL RESULT IN DELAYS TO GET ELECTRIC SERVICE.
2. BEUD'S STANDARD PRACTICE IS TO PLACE UNDERGROUND EQUIPMENT (TRANSFORMERS, SECONDARY PEDESTALS, JUNCTION BOXES, ETC) ON THE LOT LINE. IF ANY ADJUSTMENTS TO THE PROPERTY LINE THAT RESULT IN OUR EQUIPMENT NOT BEING ON THE LOT LINE WILL REQUIRE THE DEVELOPER TO PAY FOR THE COST OF BEUD TO RELOCATE THE EQUIPMENT TO THE LOT LINE.
 - a. ALL STRUCTURES MUST MAINTAIN MINIMUM OF 20' CLEARANCES FROM ALL ELECTRIC LINES.
3. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO COORDINATE WITH THE NEW SERVICE COORDINATOR @ 479 271-3139 TO DETERMINE IF EQUIPMENT IS IN CONFLICT.

PLAT NOTES:

1) THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES. ALL UTILITY LINES APPEARING ON THIS PLAT, AS WELL AS THOSE THAT MAY EXIST UNDERGROUND NEED TO BE VERIFIED PRIOR TO DOING ANY TYPE OF EXCAVATION. SOME UTILITY LINES MAY ALSO EXIST THAT WERE NOT SHOWN ON THIS PLAT.

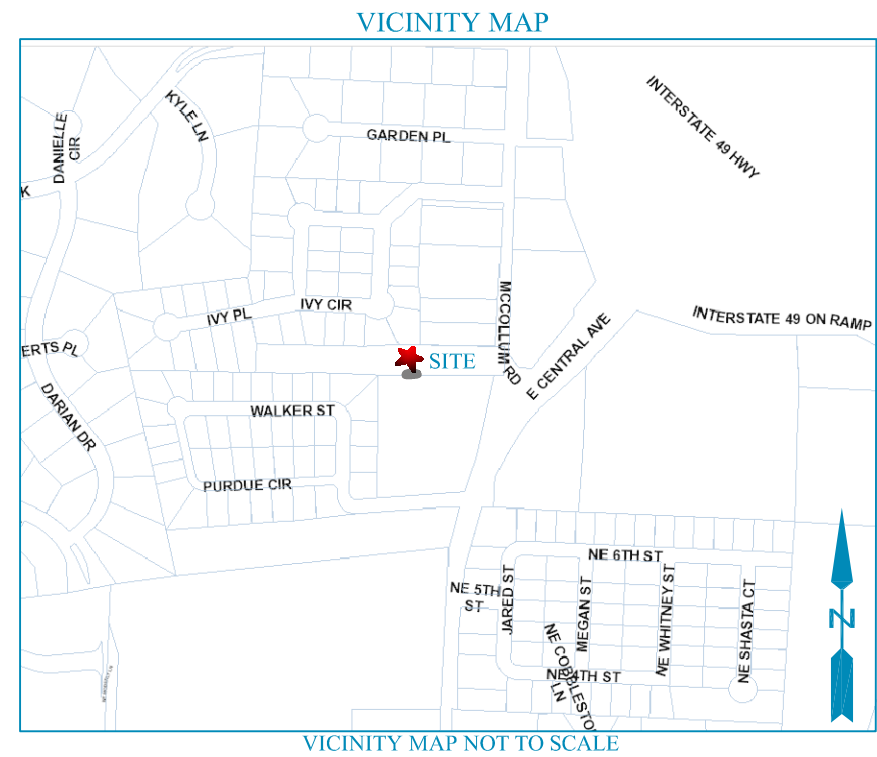
2) SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.

3) BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO OBTAIN RIGHT-OF-WAY PERMIT FROM THE CITY OF BENTONVILLE TRANSPORTATION DEPARTMENT.

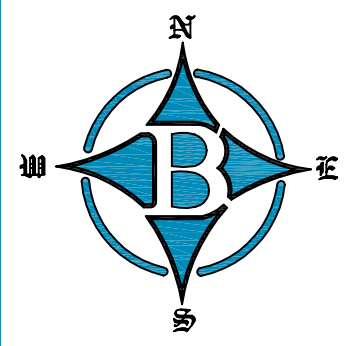
4) OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.

5) THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS

FLOOD CERTIFICATION:
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS
DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD
INSURANCE RATE MAP FOR BENTONVILLE COUNTY, ARKANSAS.
(FIRM PANEL #. DATED 06/ 05/ 2012)



BENTONVILLE PROJECT #PLA19-0023



LEGEND:

THESE STANDARD SYMBOLS WILL BE FOUND IN THE DRAWING.

	FIRE HYDRANT
	GAS METER
	WATER METER
	BOUNDARY LINE (MEASURED)
	PARCEL LINE
	FORTY LINE/TIE LINE
	CENTERLINE OF ROAD
	RIGHT-OF-WAY
	FENCE
	UTILITY EASEMENT

Location Map:
R-30-W

T-20-N



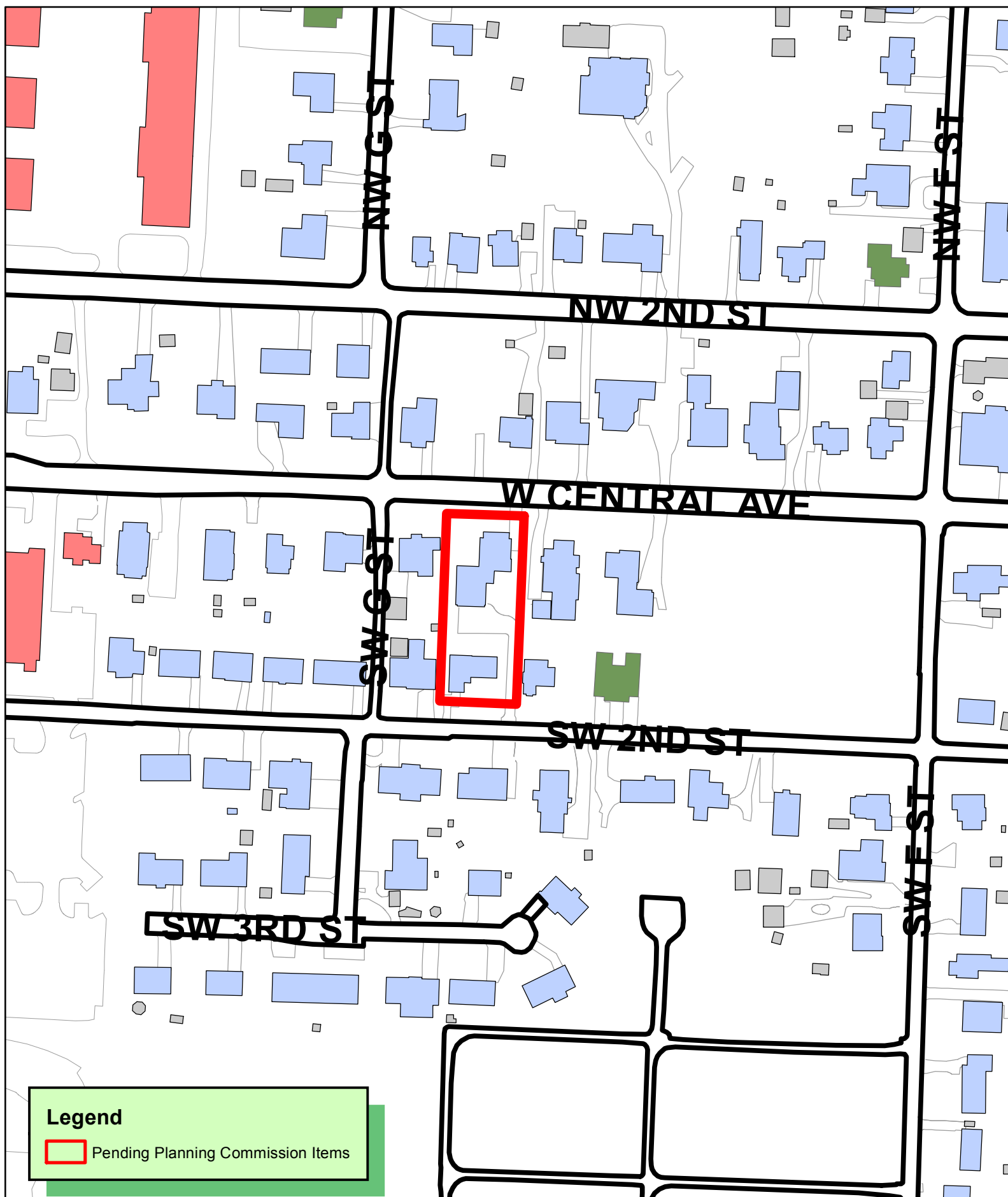
Bates & Associates, Inc.
Engineers - Surveyors - Landscape Architects

7228 S. Pleasant Ridge Dr. • Fayetteville, Arkansas 72704 • 479-424-3366 • Fax: 479-351-1850

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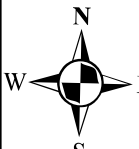
FOR USE AND BENEFIT OF:	
STEVE & GENEVA ROSE	
ADDRESS:	
701 MCCOLLUM RD.	
BENTONVILLE, ARKANSAS	
DATE: 08/16/19	
SCALE: 1"=50'	
LOCATION: 28	SURVEYED; DRAFTED:
SECTION: 20 NORTH	JA
RANGE: 30 WEST	REVIEWED: JCR
COA #1335	

DRAWING #19-220



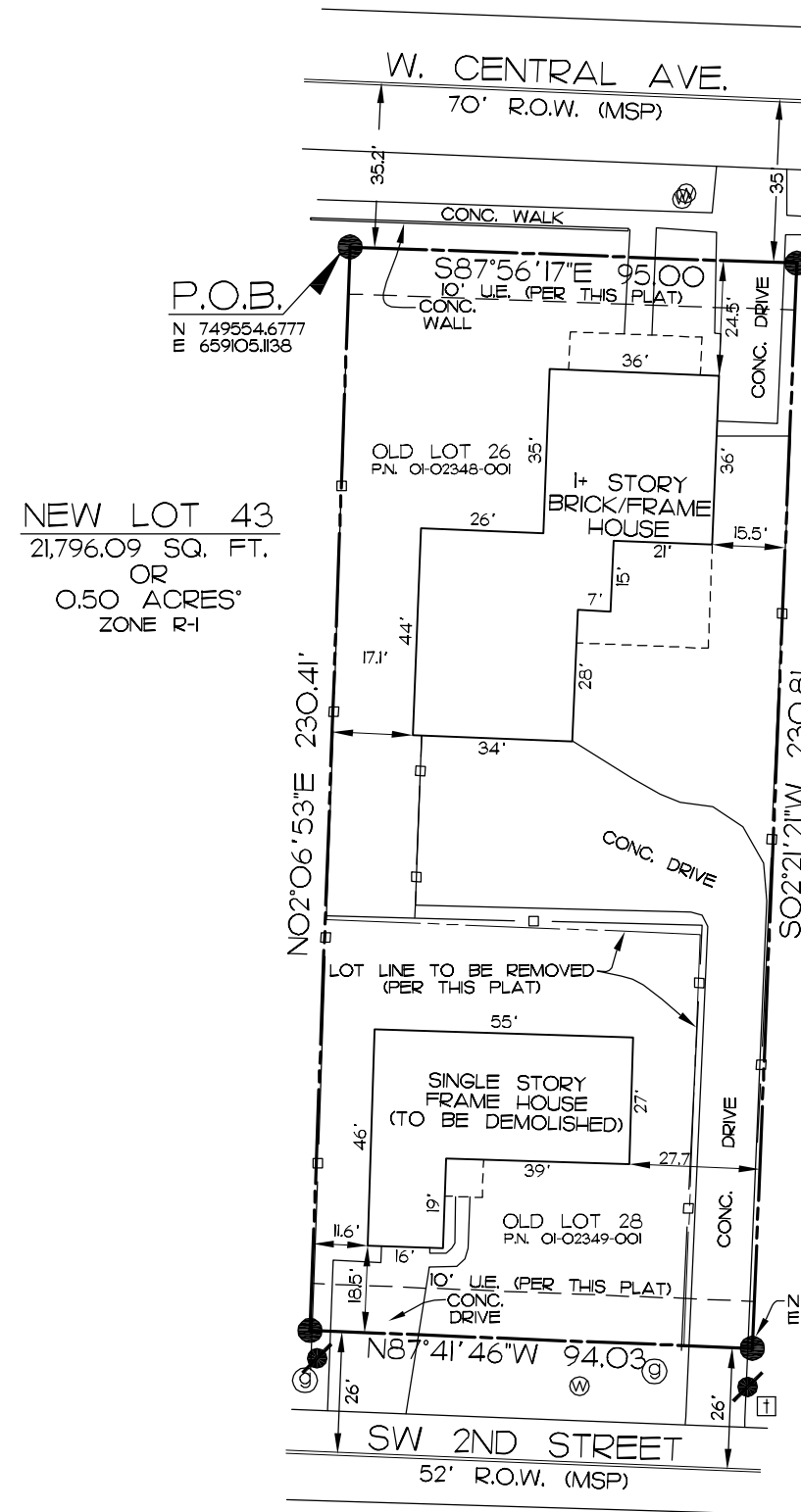
Legend

 Pending Planning Commission Items

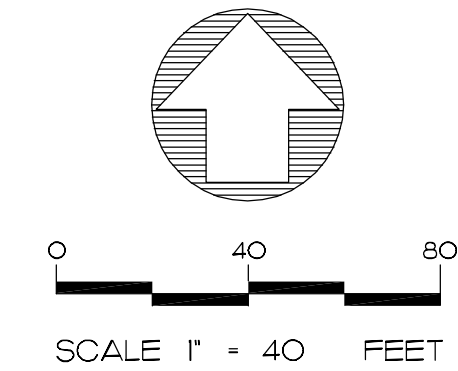

1 inch = 150 feet

PLA19-0025
PROPERTY LINE ADJUSTMENT
DICKSONS ADDITION
OLD LOTS 26 & 28 NEW LOT 43





NEW LOT 43
21,796.09 SQ. FT.
OR
0.50 ACRES
ZONE R-1



NEW LOT 43:
LOT 26 AND LOT 28 OF DICKSONS ADDITION, CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AS SHOWN ON PLAT BOOK 2015, PAGE 741 OF THE BENTON COUNTY RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT THE NW CORNER OF THE SAID LOT 26, THENCE ALONG THE SOUTH RIGHT-OF-WAY LINE OF W. CENTRAL AVENUE S87°56'17"E 95.00 FEET, THENCE LEAVING SAID SOUTH RIGHT-OF-WAY LINE SO2°21'12"W 230.81 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SW 2ND STREET, THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE N87°41'46"W 94.03 FEET, THENCE LEAVING SAID NORTH RIGHT-OF-WAY LINE NO2°06'53"E 230.41 TO THE POINT OF BEGINNING, CONTAINING 21,796.09 SQUARE FEET OR 0.50 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

- NOTES:
1. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
 2. BASIS OF BEARINGS: ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE.
 3. DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 4. THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
 5. THE PROPERTY SHOWN HEREON IS ZONED R-1 (SINGLE FAMILY RESIDENTIAL) AND IS WITHIN THE CITY LIMITS OF BENTONVILLE, ARKANSAS. THE FRONT, SIDE AND REAR YARD REGULATIONS ARE AS FOLLOWS:
GARAGE, STREET FACING: 30 FEET
FRONT YARD: 20 FEET
SIDE YARD: 7 FEET (INTERIOR), 20 FEET (EXTERIOR)
REAR YARD: 25 FEET
 6. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
 7. SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE.
 8. THERE MAY NOT BE FENCES OR ANY OTHER STRUCTURES BUILT IN ANY DRAINAGE EASEMENTS.
 9. OWNER/DEVELOPER SHALL COORDINATE WITH ALL LOCAL UTILITIES TO INSURE THAT EACH LOT HAS WATER, SEWER AND ELECTRIC SERVICE.
 10. BEFORE ANY WORK IN THE RIGHT-OF-WAY COMMENCES, CONTRACTOR AND OR OWNER IS TO OBTAIN RIGHT-OF-WAY PERMIT FROM THE CITY OF BENTONVILLE TRANSPORTATION DEPARTMENT.

CERTIFICATE OF OWNERSHIP AND DEDICATION:

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____
PRINT NAME: _____
SIGNATURE: _____

STATE OF ARKANSAS, COUNTY OF BENTON, SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

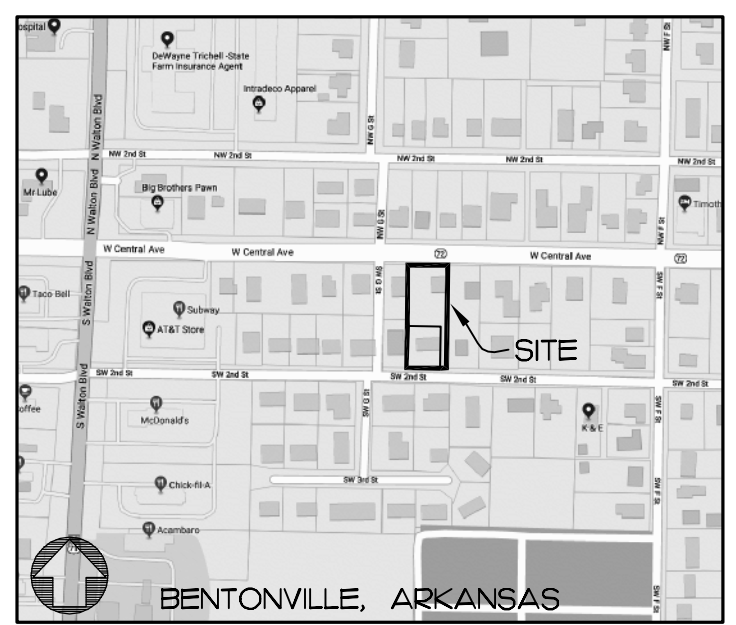
CERTIFICATE OF APPROVAL:

PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.
DATE OF EXECUTION: _____
SIGNED _____
COMMUNITY DEVELOPMENT DIRECTOR

CERTIFICATE OF SURVEY ACCURACY:

I, ROBERT J. CASTER HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.
DATE OF EXECUTION _____
SIGNED: _____
REGISTERED LAND SURVEYOR
NO. 1370
STATE OF ARKANSAS

CERTIFICATE OF AUTHORIZATION
COA CERTIFICATE NUMBER: 3049



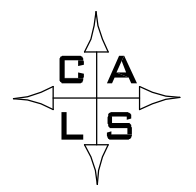
LEGEND

- FOUND REBAR
- SET 1/2" REBAR W/CAP, LS 1370
- Ⓢ WATER METER
- Ⓣ TELEPHONE RISER
- ⓖ GAS METER
- WOOD FENCE
- PROPERTY LINE
- - - RIGHT-OF-WAY LINE

FLOOD CERTIFICATION:

I CERTIFY THAT I HAVE EXAMINED THE F.I.A. OFFICIAL FLOOD INSURANCE HAZARD RATE MAP PANEL NO. 05007C0255K (EFFECTIVE DATE JUNE 5, 2012) AND FOUND THE DESCRIBED PROPERTY HEREON LIES IN ZONE "X", AN AREA HAVING NO SPECIAL FLOOD HAZARDS.

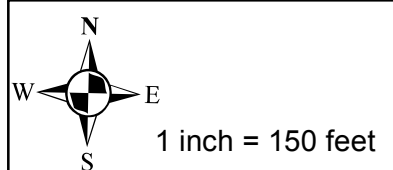
CASTER & ASSOCIATES
LAND SURVEYING, INC.
2715 SE 1st Street, Suite 5
Bentonville, AR 72712
Telephone 479-268-4464



SCALE: 1" = 40'		DATE: 8-12-19	
PROPERTY LINE ADJUSTMENT OLD LOTS 26 & 28 DICKSONS ADDITION CREATING NEW LOT 43			
711 W. CENTRAL AVENUE AND 714 SW 2ND STREET BENTONVILLE, BENTON COUNTY, ARKANSAS			
JOB # 19-160.I	DRAWN BY: ASD	CHK'D BY: RJC	PAGE 1 OF 1



Legend
[Red Outline] Pending Planning Commission Items



PLA19-0026
PROPERTY LINE ADJUSTMENT
DEMINGS ADDITION LOTS 19-20
CREATING LOT 25 BLOCK 6



Lot Combination Plat

Lot 25 Demings Addition

414/412 NW 4th St

Bentonville Benton, Arkansas

Legal Description- Lot 25, Block 6 of Demings Addition

Part of the Northwest Quarter of the Southeast Quarter of Section 30, Township 20 North, Range 30 West, also known as Lot 19 and Lot 20, Block 6, Demings Addition per Plat Book 6, Page 184 and being more particularly described as follows:

BEGINNING at a 5/8" at the Northwest corner of said Lot 19;

THENCE South 87°16'40" East, passing through a 3/8" rebar 69.81 feet and continuing for a total distance of a distance of 144.96 feet to a 3/8" rebar at the Northeast corner of said Lot 20;

THENCE South 02°24'32" West a distance of 114.96' to a 3/8" rebar being the Southeast corner of said Lot 20;

THENCE North 87°18'48" West passing through a 1/2" rebar capped "REID PLS" 74.92 feet and continuing for a total distance of a distance of 144.83 feet to a 5/8" rebar at the Southeast corner of said Lot 19;

THENCE North 02°20'32" East a distance of 115.05 feet to the POINT OF BEGINNING containing 16,663 square feet or 0.38 acres more or less.

Certificate of Ownership:

We the undersigned, owners of the real estate shown and described herein, do hereby certify that we have laid off, platted, and subdivided and do hereby lay off, plat,subdivide said real estate in accordance with this plat and do hereby dedicate to the use of the public the streets, alleys, drives, easements, etc. as shown on said plat.

Date of Execution: _____

Signed: _____

Name & Address: _____

Print Name: _____

Source of Title: D.R. Bk. L2018, Pg. 64316 & Bk. L2018, Pg. 64304

Certificate of Approval

Pursuant to the Bentonville Subdivision Regulations and all other conditions and approval having been completed, this document is hereby accepted. This Certificate is hereby executed under the authority of said rules and regulations.

Signed: _____
Bentonville Planning Commission Chairman

Signed: _____
Mayor, City of Bentonville

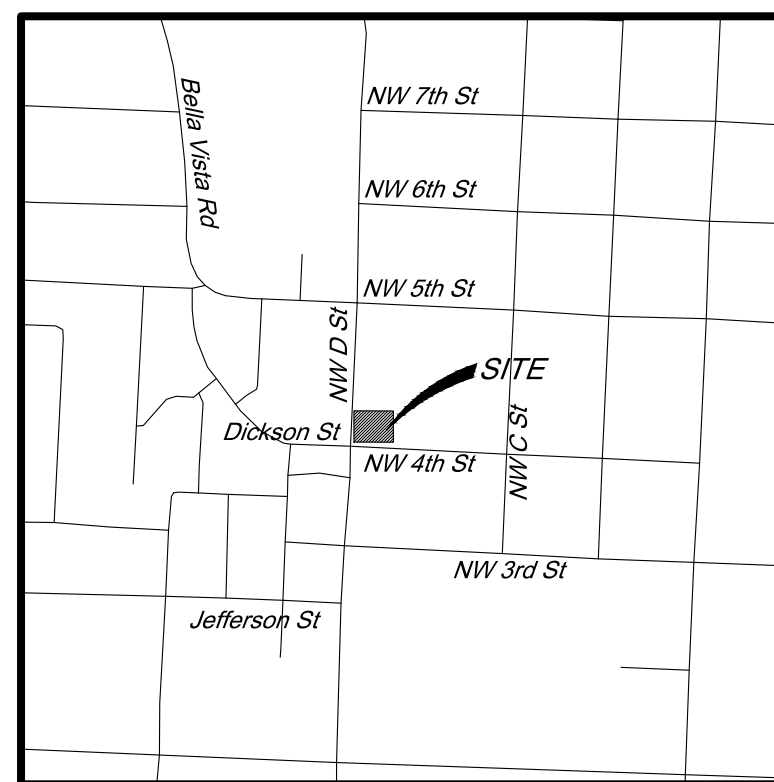
Signed: _____
City Clerk, City of Bentonville

SURVEYOR'S BOUNDARY CERTIFICATION:

I, Dustin Riley, hereby certify that this plat represents a lot combination Survey, all monuments were found or set as shown, and the topographic and physical features shown are a true representation of what was found to the best of my knowledge and ability, and the survey has been performed in compliance with the State Minimum Standards for Survey of this type. No statement or certification, written or implied, is made regarding the existence or absence of peculiar subsurface conditions, flood hazards, ecological concerns, easements, or any facts that an accurate and complete title search would disclose, unless, it is specifically stated or shown.

Dustin Riley
Dustin Riley, Arkansas, PLS #1618

8.14.2019
Date



Vicinity Map

Not to Scale

Latitude: 36°22'34.96"N
Longitude: 94°12'51.11"W

Convergence -1°17'19.0079"
Combined Scale Factor: 0.999974771
Lot 19/20 Block 6, Demings Add-Bentonville
Mag Nail
Northing: 751087.5470 US Ft.
Easting: 660422.2010 US Ft.
Elevation = 1277.61'

Owner / Owners

Parcel #'s 01-02139-000 & 01-02141-000
Dorothy Upperman
412 & 414 NW 4th Street
Bentonville, Arkansas, 72712



Engineering
Associates, Inc.

ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 SW REGENCY PKWY
BENTONVILLE, AR, 72712 (479) 273-9472
CORPORATE OFFICE TBPLS FIRM: #10031500

3030 LBJ FREEWAY
DALLAS, TX 75234 (972) 488-3737
DALLAS OFFICE TBPLS FIRM: #10194234

GENERAL NOTES:

- Every document of record reviewed and considered as a part of this survey is noted hereon. Only the documents noted hereon were supplied to the surveyor.
- This plat represents an original survey of the parcel shown. It is part of a parcel described in the Deed Records, Bk. L2018 Pg. 64316, Bk. L2018 Pg. 64304, in the public records of Benton Arkansas.
- The contractor must determine that proposed structures are clear of all boundary lines, easements, and meet building setback requirements before construction begins.
- Basis of Bearings: NAD83 State place coordinate system Arkansas North zone derived by CEI Base.
- Basis of Elevation: NAVD88 derived by CEI Base
- Site Benchmark: See Benchmark table for benchmark information block.
- This survey is valid only if the drawing includes the seal and signature of the surveyor.
- This survey meets current "Arkansas Standards of Practice for Property Boundary Surveys and Plats."
- A title search was not conducted by a certified title company. All documents were provided by the client/clients and/or researched by CEI Engineering Associates, Inc., and may be subject to record/unrecorded; easements, rights of way, covenants, building setback lines, subdivision restrictions, zoning, land regulations or other facts which an accurate and current title search may reveal.
- Declaration is made to the original purchaser of the survey and those listed in the certification for the use of this transaction only and is not transferable to any additional institutions or subsequent owners.
- Subsurface and environmental conditions were not examined nor considered a part of this survey.
- Underground utilities were located by visible above ground markings as marked by utility locators and shown hereon as located by CEI Engineering Associates, Inc. survey field crews. All utility locations shown hereon are approximate. All utilities may not have been marked/located by the appropriate locators. No excavation has taken place as of this date to determine the exact location of existing underground utilities shown on this survey.
- The contractor is advised to contact the 811 One-Call Center before any construction begins, depending on the state there is a possibility of a severe penalty for not making this call. Not all utility companies are members of the One-Call Systems. Therefore the contractor is advised to contact all non-members as well as the One-Call System.
- By scaled map location and graphical plotting only. This property is located in Zone "X" which are areas determined to be outside the 0.2% annual chance floodplain determined by the National Flood Insurance Program, Flood Insurance Rate Map for Benton Arkansas. Map Number: 05007C0255K Map Revised: June 5th, 2012
- No current zoning report or letter regarding zoning classification was provided to the Surveyor, the following information was obtained from Bentonville GIS. This property is zoned R-1 (Residential). Building setbacks for zone R-1 are as follows:

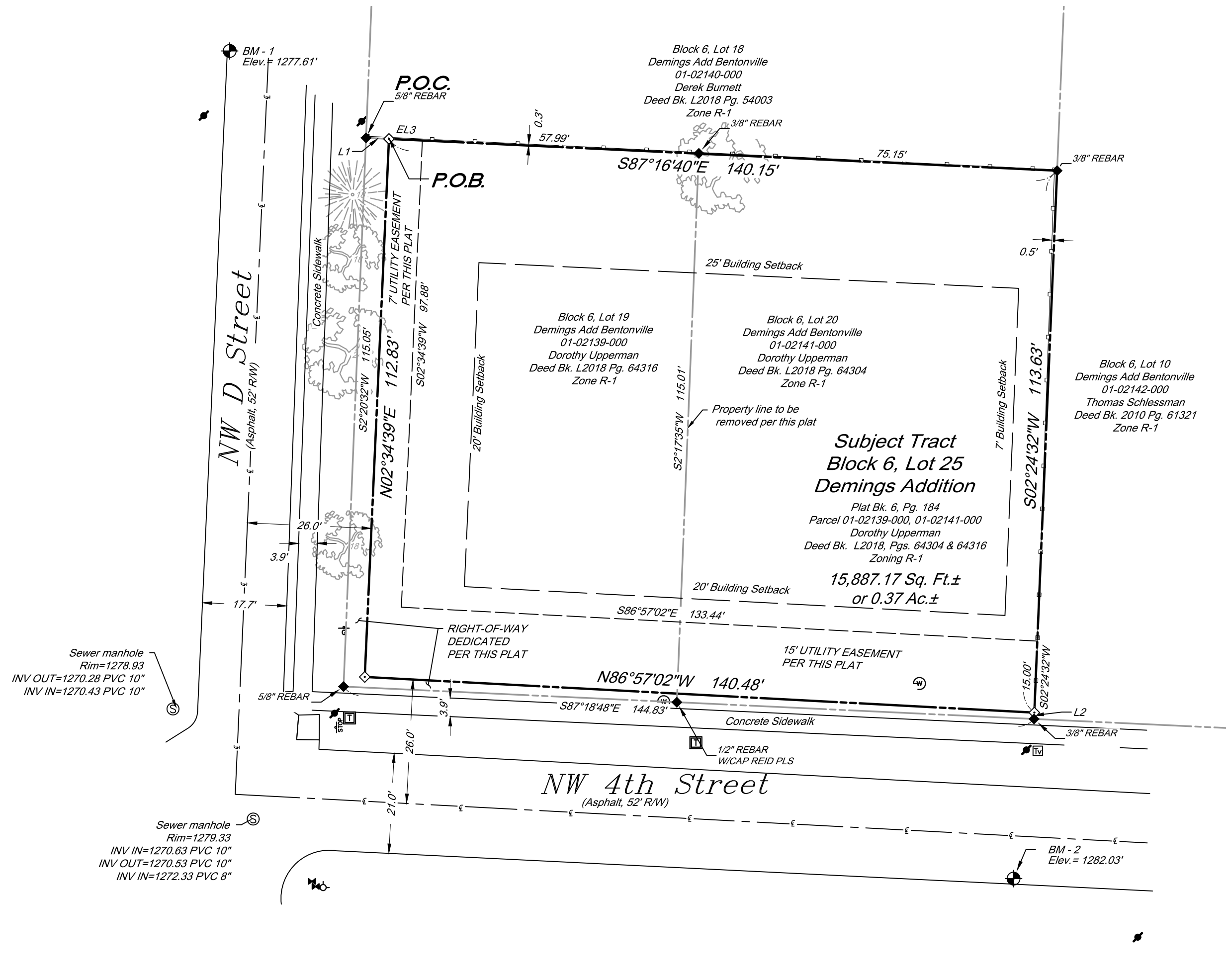
Front :	20Feet
Side (Interior):	7 Feet
Side (R.O.W.):	20 Feet
Rear:	25 Feet
- Sidewalks shall be the responsibility of the builder/owner at time of building permit issuance.
- There may not be fences or any other structures built in any drainage easements.
- Before any work in the right-of-way commences, contractor and or owner is to obtain right-of-way permit from the City of Bentonville Transportation Department.
- Owner to contact New Service coordinator (271-3139) to discuss electric service prior to beginning any construction. Failure to contact BEUD prior to construction will result in delays to get electric service.
- All structures must maintain minimum of 20' clearances from all electric lines.
- BEUD's standard practice is to place underground equipment (transformers, secondary pedestals, junction boxes, etc) on the lot line of a development. Any adjustments to the property line that result in our equipment not being on the lot line require the developer to pay for the cost of BEUD to relocate the equipment to the lot line.
- It is the responsibility of the developer to pay for any cost associated with moving of equipment. This includes but is not limited to any costs associated with loss of equipment (wire and elbows) and labor and material to move the equipment to the new lot line.
- Relocation of any existing electrical facilities shall be at the owner's expense.
- Owner/Developer shall coordinate with all local utilities to insure that each lot has water, sewer and electric service.

City of Bentonville Project # PLA 19-0026

Arkansas * California * Minnesota * Pennsylvania * Texas

JOB NO.: 31348		DWG NAME: 31345 CS	
NO.	DATE	DESCRIPTION	SHEET NO.
	8/13/2019		
1		1st Submittal comments from City	1 of 2
2		REV-1	

Lot Combination Plat
Lots 19 and 20 being combined into Lot 25
Demings Add Bentonville



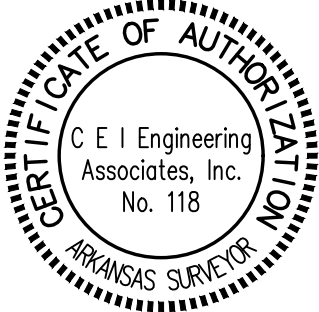
Legend	
	Boundary Line
	Adjoining Boundary Line
	Right-of-Way Line
	Easement Line
	Setback Line
	Centerline
	Wood Fence Line
	Benchmark
	Found Monument (As Noted)
	Set 5/8\" Rebar (LS# 1618)
	Water Meter
	Sign
	Telephone Vault
	Fire Hydrant
	Sewer Manhole
	Utility Pole
	Water Valve
	Traffic Sign (Type of Sign)
	Cable TV Riser
	Deciduous Tree



Lot Line Table		
Line #	Direction	Length
L1	S87°16'40"E	4.82'
L2	S02°24'32"W	1.33'

Easement Line Table		
LINE	BEARING	DISTANCE
EL3	S87°25'21"E	7.00'

City of Bentonville Project # PLA 19-0026



State Survey Code: 500-020-030-W-030-240-72-1618

1	8/13/2019	1st Submittal Comments from City
NO.	DATE	DESCRIPTION
REVISIONS		
31348	7-25-19	DGR JDC ELI DGR
CEI PROJECT NO.	INITIAL DATE	PLS DRW FLD CHK'R

Engineering Associates, Inc.

ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 SW REGENCY PRKWAY
BENTONVILLE, AR. 72712 (479) 273-9472
CORPORATE OFFICE TBPLS FIRM: #10031500

3030 LBJ FREEWAY
DALLAS, TX 75234 (972) 488-3737
DALLAS OFFICE TBPLS FIRM: #10194234

Dorothy Upperman

414/412 NW 4th St

Bentonville Benton Arkansas

Lot Combination Plat	REV DATE 8/14/19 REV-1	SHEET NO. 2 OF 2
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PRELIMINARY PLAT STAFF REPORT



Glen Arbor Subdivision

Glen Road and Featherston

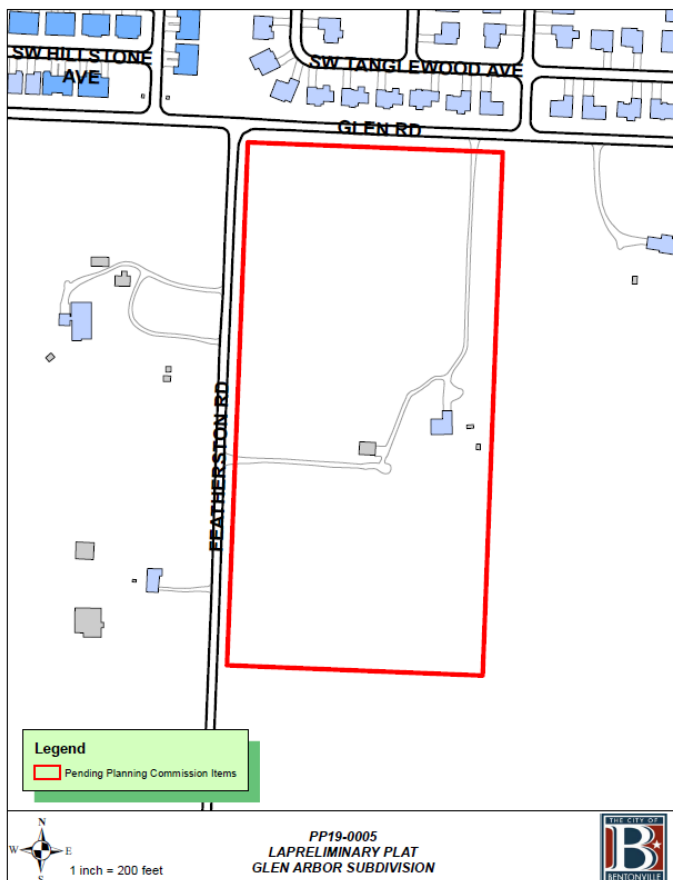
PC Date: 9/3/2019

Reviewer: Tyler Overstreet, AICP, Senior Planner

Project Number	PP19-0005
Applicant / Current Owner	Burckart Construction, Inc. 2111 SW Huntwick Avenue Bentonville, AR 72712
Site Area	+/- 18.51 acres
Current Zoning	PRD, Planned Residential Development
Future Land Use Map Designation	Medium Density Residential (MDR)
No. of Lots	118
Subdivision Name	Glen Arbor Subdivision

<http://geo.bentonvillear.com/mgweb/PZpending/>

Location Map



Property Description

This property is located southeast of the intersection of Glen and Featherston Roads. The site is currently zoned PRD, Planned Residential Development with a Future Land Use Plan designation of medium-density residential. The Planning Commission previously approved the PRD designation on July 17, 2018.

Project Details

Preliminary Plat to create Glen Arbor Subdivision, a PRD Subdivision, which contains 22 townhouse units, 84 detached single-family units, and 12 duplexes.

The applicant shall make street improvements to Glen Road and Featherston Road and provide adequate street frontage landscaping along exterior subdivision streets.

Projected Traffic Impact

The proposed preliminary plat has the potential to adversely impact traffic in the area. However the applicant's proposed street improvements should accommodate any increases in traffic caused by the development.

Waivers

No waivers requested.

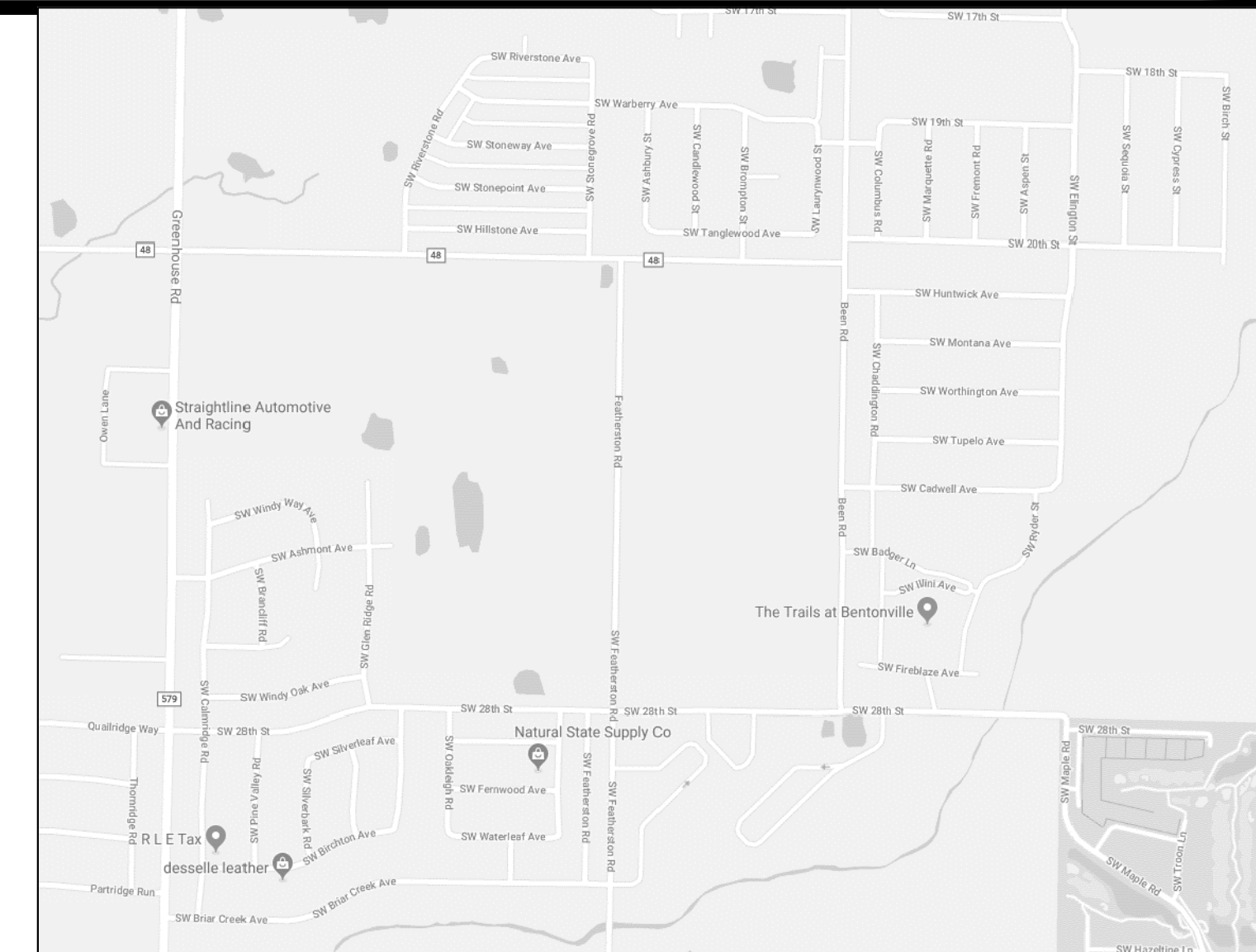
Conclusion

This preliminary plat does meet the minimum requirements of the City of Bentonville's Land Development Code.

NOTES

- **Street Names:** All street names are preliminary and are for planning purposes only. Street names are not finalized until Final Plat approval.
- **Sidewalks.** Sidewalk installation will be the responsibility of individual lot owners at the time of building permit.
- **Conceptual Approval.** Staff approval of final detailed plans, specifications and calculations (where applicable) for grading, drainage, water, sewer and streets. The information submitted for the preliminary plat review process was reviewed for general concept only.

SE CORNER OF GLEN ROAD AND FEATHERSTON
BENTONVILLE, AR



VICINITY MAP

NOT TO SCALE

DRAWING LIST

COVER SHEET	C0.0
SURVEY	S1.0
PRD OVERALL PLAT	C0.1
PRELIMINARY PLAT	C1.0 - C1.1
STREET PLANS AND PROFILES	C1.2 - C1.5
GRADING PLAN	C2.0 - C2.1
EROSION CONTROL PLAN	C2.2 - C2.3
STORM DRAIN PLANS AND PROFILES	C2.4 - C2.5
UTILITY PLAN	C3.0 - C3.1
SANITARY SEWER PLANS AND PROFILES	C3.2 - C3.6
OFFSITE SEWER PLANS AND PROFILES	C3.7
WATER MAIN PLANS AND PROFILES	C3.8 - C3.9
LANDSCAPE PLAN	L1.0 - L1.1
DETAIL SHEETS	C4.0 - C4.2
BENTONVILLE WATER AND SEWER DETAILS	W1.0 - E1.2
BENTONVILLE ELECTRIC PLAN	E1.1
BENTONVILLE ELECTRIC DETAILS	E1.0 - E1.3

OWNER/DEVELOPER:

GLENARBORPRD, LLC
2111 SW HUNTWICK AVE
BENTONVILLE, AR 72713
(479) 633-4010

CONTRACTOR:

BURCKART CONSTRUCTION, INC
479-273-1881
BILLBURCKART@GMAIL.COM

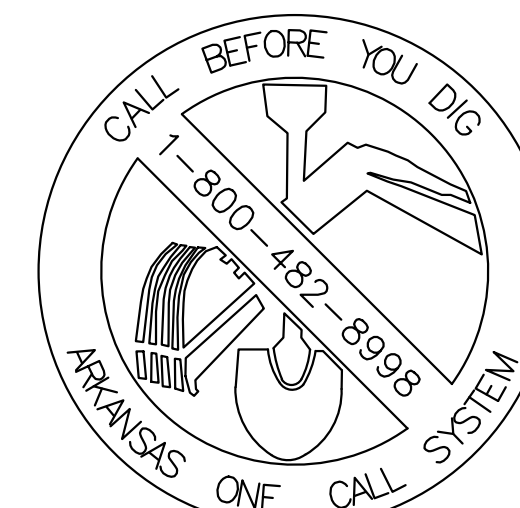
ENGINEERS:

DIRK THIBODAUX
479-250-9131
DIRK@GRAYROCK.COM

SURVEYOR:

CASTER & ASSOCIATES
2715 SE "I" ST, STE 5
BENTONVILLE, AR 72712
(479) 268-4464

CONSTRUCTION



*** CAUTION ***

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

GOVERNING AGENCIES

CITY OF BENTONVILLE PLANNING SERVICES
305 SW "A" STREET
BENTONVILLE, AR 72712
CONTACT: JON STANLEY
(479) 271-3122

**CITY OF BENTONVILLE FIRE
DEPARTMENT**
800 SW "A" STREET
BENTONVILLE, AR 72756
CONTACT: BRENT BOYDSTON
(479) 271-5927

CITY OF BENTONVILLE STREET DEPT.
3200 SW MUNICIPAL DR
BENTONVILLE, AR 72712
CONTACT: TONY DAVIS
(479) 271-3130

CITY ENGINEER
3200 SW MUNICIPAL DR
BENTONVILLE, AR 72712
CONTACT: PETER FARMER
(479) 271-3168

STORMWATER
3200 SW MUNICIPAL DR
BENTONVILLE, AR 72712
CONTACT: JANET PAITH
(479) 271-5002
JPAITH@BENTONVILLEAR.COM

AHTD
P.O. BOX 610
HARRISON, AR 72602
CONTACT: BEN KERWOOD
(870) 743-2100

UTILITY AGENCIES

GAS COMPANY
BLACK HILLS ENERGY
1301 FEDERAL WAY
PO BOX 2129
LOWELL, AR 72745
CONTACT: JOSH KNIGHT
JOSHUA.KNIGHT@BLACKHILLSCORP.COM
(479) 333-7005

CABLE COMPANY
COX COMMUNICATIONS
4901 S. 48TH ST.
SPRINGDALE, AR 72762
CONTACT: STEVEN THOMPSON
(479) 871-2430
STEVEN.THOMPSON@COX.NET
PATTY.HATFIELD@COX.NET

TELEPHONE COMPANY
AT&T
627 WHITE ROAD
SPRINGDALE, AR 72766
CONTACT: SCOTT SEAMAN
(479) 442-1967
OR LAYNE RHODES
(479) 442-1977
LR159@ATT.COM

WATER
BENTONVILLE WATER DEPARTMENT
3200 SW MUNICIPAL DR
BENTONVILLE, AR 72712
CONTACT: NICK JEWETT
(479) 271-3140

ELECTRIC COMPANY
BENTONVILLE ELECTRIC DEPARTMENT
3200 SW MUNICIPAL DR
BENTONVILLE, AR 72712
CONTACT: CHARLIE BARNES
(479) 271-5946

WASTEWATER
BENTONVILLE WASTEWATER DEPARTMENT
1901 NE "A" STREET
BENTONVILLE, AR 72712
CONTACT: MIKE ROBERTS
(479) 271-3160

ZONING - PRD

UNIT TYPE	UNIT COUNT	MIN. LOT SIZE	FRONT SETBACK	INTERIOR SIDE SETBACK	EXTERIOR SIDE SETBACK	REAR SETBACK
TOWNHOMES (TRIPLEXES/QUADPLEXES)	22	120' X 21'	10'	10'	15'	35' W/ ALLEY
ROW HOMES (DETACHED)	32	120' X 41.5'	10'	6'	18.5'	35' W/ ALLEY
VERANDAS (DETACHED)	20	116' X 50'	20'	0' - 12'	15'	34'
VILLAS (DETACHED)	32	105' X 40'	20'	0' - 12'	20'	25'
COTTAGES (DUPLEXES)	12	100' X 35'	20'	10'	20'	20'

PRELIMINARY
NOT FOR
CONSTRUCTION

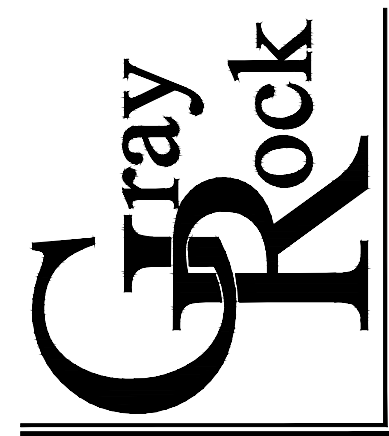
THESE PLANS ARE NOT
CONSIDERED FINAL UNLESS
SIGNED BELOW BY THE CIVIL
ENGINEER

CIVIL ENGINEER

NO.	DATE	REVISION

GLEN ARBOR
9601 GLEN ROAD
BENTONVILLE, AR

GRAY ROCK, LLC.
5204 Village Parkway, Suite 111
Rogers, Arkansas 72758
www.grayrockconsulting.com
479.250.9131 office
800.887.7665 fax



PROJECT NO.
18-233

DATE:
AUGUST 19, 2019

PRD
PRELIMINARY
PLAT

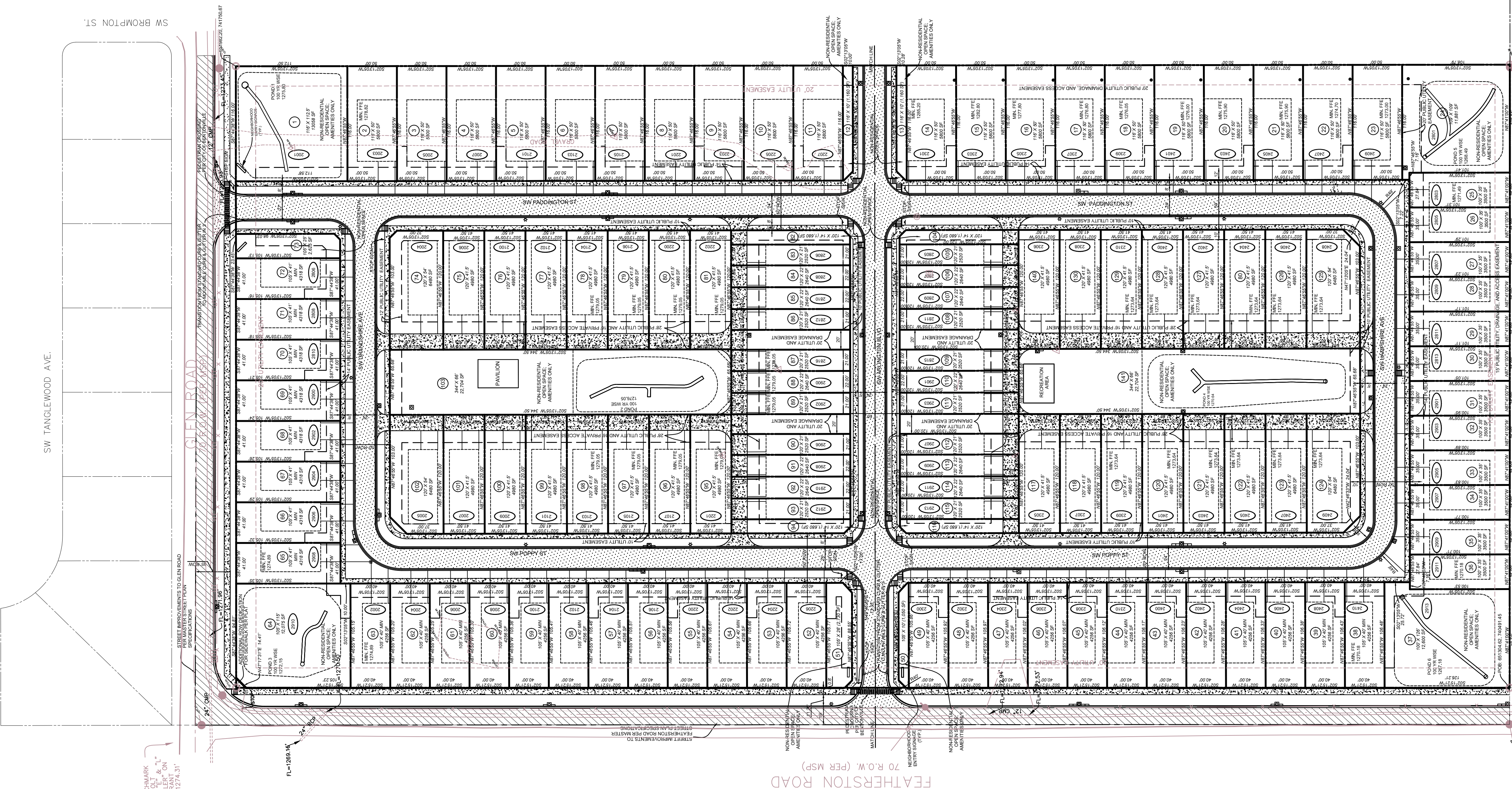
SHEET NO.
C0.1

EXISTING LEGEND

- FOUND REBAR
- SET 1/2" REBAR W/CAP, LS 1370
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- TELEPHONE RISER
- ELECTRIC METER
- ELECTRIC RISER
- GAS METER
- UTILITY POLE
- SIGN POST
- WATER LINE
- UT
- SS
- OH
- Y
- UNDGR TELEPHONE LINE
- SANITARY SEWER LINE
- OVERHEAD LINE
- WIRE FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- FLOWLINE
- EASEMENT LINE
- CONTOUR LINE
- SPOT ELEVATION
- BUSH/SHRUB
- DECIDUOUS TREE

PROPOSED LEGEND

- HEAVY DUTY ASPHALT PAVING
- CONCRETE PAVING
- SIGN, TYPE AS NOTED ON PLAN
- STREETLIGHT PER CITY OF BENTONVILLE
- CONCRETE CURB & GUTTER
- MODIFIED CURB & GUTTER
- EXTENT OF STREET IMPROVEMENTS



ZONING - PRD

UNIT TYPE	UNIT COUNT	MIN. LOT SIZE	FRONT SETBACK	INTERIOR SIDE SETBACK	EXTERIOR SIDE SETBACK	REAR SETBACK
TOWNHOMES (TRIPLEXES/QUADPLEXES)	22	120' X 21'	10'	10'	15'	35' W/ ALLEY
ROW HOMES (DETACHED)	32	120' X 41.5'	10'	6'	18.5'	35' W/ ALLEY
VERANDAS (DETACHED)	20	116' X 50'	20'	0' - 12'	15'	34'
VILLAS (DETACHED)	32	105' X 40'	20'	0' - 12'	20'	25'
COTTAGES (DUPLICES)	12	100' X 35'	20'	10'	20'	20'

SITE NOTES:

- SIGN INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED BY THE CITY OF BENTONVILLE. SIGNAGE SHALL MEET CURRENT REFLECTIVITY SPECIFICATIONS. ALL SIGNAGE SHALL CONFORM TO THE LATEST MUTCD REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR STRIPING INSTALLATION. ALL PAVEMENT ARROWS, STOP BARS, CROSS HATCHING, CROSSWALKS, STRIPING, AND OTHER PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE INSTRUCTED IN THE PROJECT SPECIFICATIONS.
- ALL CONCRETE AND ASPHALT PAVEMENT, CURB AND GUTTER, AGGREGATE BASE, ETC. SHALL BE IN ACCORDANCE WITH THE DETAIL SHEETS AND THE CITY OF BENTONVILLE STANDARDS AND SPECIFICATIONS. ANY CHANGES MUST BE APPROVED BY THE ARCHITECT, THE OWNER, AND THE ENGINEER.
- ALL SAW CUT EDGES SHALL BE A CLEAN EDGE. WIDTH OF ASPHALT / CURB REMOVAL MAY VARY: SEE PLANS. DISPOSE OF ALL REMOVED ASPHALT / CURB IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS FOR DISPOSAL.
- ALL DIMENSIONS ARE TO CENTER OF STRIPE, EDGE OF PAVEMENT, FACE OF BUILDING, OR BACK OF CURB UNLESS OTHERWISE SPECIFIED.
- ALL OFF-SITE EASEMENTS (PERMANENT AND TEMPORARY), IF ANY, ARE THE RESPONSIBILITY OF THE OWNER TO OBTAIN, UNLESS PLATTED EASEMENTS OF THE CITY OF BENTONVILLE.
- ALL WORK IN CITY STREET RIGHT-OF-WAY SHALL MEET CITY OF BENTONVILLE STANDARDS AND SPECIFICATIONS.
- ALL NEIGHBORHOOD SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
- NOTHING SHALL BE PLACED OR PERMITTED BETWEEN 30" AND 60" IN HEIGHT IN THE SHADED SIGHT TRIANGLE AREAS.
- NEW SITE LIGHTING WILL BE INSTALLED PER BEUD SPECIFICATIONS CURRENT AT TIME OF APPROVAL.
- NO FENCING CURRENTLY PROPOSED. ANY FENCING PROPOSED IN FUTURE WILL REQUIRE A SEPARATE PERMIT.
- NO FENCING SHALL BE ALLOWED IN A DRAINAGE EASEMENT UNLESS APPROVED BY THE ENGINEERING DEPARTMENT.

NOTE:

ALL BUILDABLE LOTS WITHIN THE LIMITS OF AN EXISTING POND (LOTS 59, 60, & 61 OF THIS DEVELOPMENT) SHALL BE DESIATED AND FILLED WITH SUITABLE MATERIAL IN LIFTS PER A GEOTECHNICAL ENGINEER'S RECOMMENDATION. TESTING SHALL BE PERFORMED AND THE RESULTS SUBMITTED TO THE CITY PRIOR TO OBTAINING A BUILDING PERMIT FOR SAID LOTS.

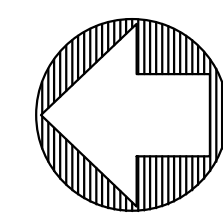
TREE PLANTING NOTE:

IN ACCORDANCE WITH SECTION 1400.10 OF THE LAND DEVELOPMENT CODE, ALL TREE PLANTING REQUIREMENTS FOR NEW LAND DEVELOPMENT WILL BE MET.

- FOR EACH RESIDENTIAL LOT, 1 SHADE TREE WILL BE PLANTED IN THE YARD ADJACENT TO THE RESIDENTIAL STREET ROADWAY AND 1 SHADE TREE IN THE RIGHT-OF-WAY ADJACENT TO THE RESIDENTIAL ROADWAY.
- DEVELOPER WILL PROVIDE 1 SHADE TREE FOR EVERY 50 LF OF STREET FRONTAGE ON PERIMETER/BORDER ROADS (GLEN ROAD AND FEATHERSTON). TOTAL NUMBER OF NEW TREES TO BE PLANTED WILL NOT BE LESS THAN REQUIRED TO MEET DEVELOPMENT CODE.

GENERAL NOTES:

- THESE PLANS AND ALL CONSTRUCTION SHALL CONFORM TO RELEVANT STANDARDS AND CODES, INCLUDING STATE CODES AND THE CITY OF BENTONVILLE STORMWATER MANAGEMENT AND DRAINAGE MANUAL, LAND DEVELOPMENT CODE, WATER, SEWER, ELECTRIC, AND STREET SPECIFICATIONS, ORDINANCES, RESOLUTIONS, AND POLICIES.
- REMOVE ALL VEGETATION AND TOPSOIL FROM PROPOSED AREAS TO BE DISTURBED AND STORE FOR LATER USE. REGRADE AND FURNISH ADDITIONAL TOPSOIL AS REQUIRED. SEED AND STRAW ALL AREAS DISTURBED BY CONSTRUCTION, UNLESS IDENTIFIED TO BE SOD.
- CONTRACTOR TO MAINTAIN EXISTING DRAINAGE PATTERN DURING CONSTRUCTION.
- GENERAL CONTRACTOR AND SUB-CONTRACTORS TO VERIFY ALL EXISTING CONDITIONS, GRADES, AND DIMENSIONS ON SITE AND IMMEDIATELY REPORT ALL MAJOR DISCREPANCIES (IF ANY) TO THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN. ANY DAMAGE TO SAID ITEMS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL COSTS ASSOCIATED WITH UTILITY CONNECTIONS (IF ANY) SHALL BE INCLUDED IN BASE BID. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- REFER TO PROJECT DETAIL SHEETS FOR ASPHALT PAVEMENT SECTIONS, CONCRETE PAVEMENT SECTIONS, AND SIDEWALK DETAILS.
- ALL SIGNAGE, PAVEMENT MARKINGS, AND STRIPING SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS AND REGULATIONS.
- ALL CURB/ACCESSIBLE RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR THE CITY OF BENTONVILLE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
- ALL PROPOSED UTILITY CROSSINGS OF AN EXISTING PUBLIC STREET SHALL BE BORED UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE CITY OF BENTONVILLE ENGINEERING AND STREET DEPARTMENTS.
- CONTRACTOR MUST OBTAIN APPROVAL FROM THE CITY OF BENTONVILLE STREET DEPARTMENT SEVEN (7) DAYS PRIOR TO ANY SCHEDULED ROAD CLOSURES DURING CONSTRUCTION. A TRAFFIC CONTROL PLAN MUST BE SUBMITTED FOR TO THE STREET DEPARTMENT FOR REVIEW BEFORE APPROVAL WILL BE GRANTED.



SCALE 1" = 60 FEET

PP19-0005

SITE BENCHMARK
FLANGE BOLT
BETWEEN "E" & "L"
OF "MUELLER" ON
FIRE HYDRANT
ELEV. = 1274.31'

STREET IMPROVEMENTS TO GLEN ROAD
PER MASTER STREET PLAN
SPECIFICATIONS

GLEN ROAD
10' R.O.W. (PER MSP)

TRANSITION FROM STANDARD CURB & GUTTER
TO MOUNTABLE CURB & GUTTER IN 3'

PEDESTRIAN CROSSING
PER CITY OF BENTONVILLE
12" CMP

FL=1269.15'

FL=1271.96'

FL=1273.45'

STREET IMPROVEMENTS TO
FEATHERSTON ROAD PER MASTER
STREET PLAN SPECIFICATIONS

NON-RESIDENTIAL
OPEN SPACE
AMENITIES ONLY

PEDESTRIAN
CROSSING
PER CITY OF
BENTONVILLE

NEIGHBORHOOD
ENTRY SIGNAGE
(TYP.)

NON-RESIDENTIAL
OPEN SPACE
AMENITIES ONLY

FEATHERSTON ROAD
70' R.O.W. (PER MSP)

EXISTING LEGEND

- FOUND REBAR
- SET 1/2" REBAR W/CAP, LS 1370
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- TELEPHONE RISER
- ELECTRIC METER
- ELECTRIC RISER
- GAS METER
- UTILITY POLE
- SIGN POST
- WATER LINE
- UNDGR TELEPHONE LINE
- SANITARY SEWER LINE
- OVERHEAD LINE
- WIRE FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- FLOWLINE
- EASEMENT LINE
- CONTOUR LINE
- SPOT ELEVATION
- BUSH/SHRUB
- DECIDUOUS TREE

PROPOSED LEGEND

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- CONCRETE PAVING
- SIGN, TYPE AS NOTED ON PLAN
- STREETLIGHT PER CITY OF BENTONVILLE
- CONCRETE CURB & GUTTER
- MODIFIED CURB & GUTTER
- EXTENT OF STREET IMPROVEMENTS

PRELIMINARY
NOT FOR
CONSTRUCTION

THESE PLANS ARE NOT
CONSIDERED FINAL UNLESS
SIGNED BELOW BY THE CIVIL
ENGINEER

CIVIL ENGINEER

NO.	DATE	REVISION

GLEN ARBOR
9601 GLEN ROAD
BENTONVILLE, AR

GRAY ROCK, LLC.

5204 Village Parkway, Suite 11
Rogers, Arkansas 72758

www.grayrockconsulting.com
479.250.9131 office
800.887.7665 fax

Gray
Rock
Civil Engineering & Landscape Architecture

PROJECT NO.
18-233

SCALE
1"=40'

DATE:
AUGUST 19, 2019

PRELIMINARY
PLAT

SHEET NO.

C1.0

NOTE:

ALL BUILDABLE LOTS WITHIN THE LIMITS OF AN EXISTING POND (LOTS 59, 60, & 61 OF THIS DEVELOPMENT) SHALL BE DESILTED AND FILLED WITH SUITABLE MATERIAL IN LIFTS PER A GEOTECHNICAL ENGINEER'S RECOMMENDATION. TESTING SHALL BE PERFORMED AND THE RESULTS SUBMITTED TO THE CITY PRIOR TO OBTAINING A BUILDING PERMIT FOR SAID LOTS.

TREE PLANTING NOTE:

IN ACCORDANCE WITH SECTION 1400.10 OF THE LAND DEVELOPMENT CODE, ALL TREE PLANTING REQUIREMENTS FOR NEW LAND DEVELOPMENT WILL BE MET.

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BEUD NOTES:

- CONTACT BEUD AT 479-271-3135 BEFORE PERFORMING ANY GRADING WITHIN 5' OF EXISTING OR PROPOSED POWER POLES.
- BEUD DESIGN LAYOUT DRAWING TAKES PRECEDENCE OVER ANY ELECTRIC INFORMATION SHOWN ON THE SITE UTILITY PLAN.
- ELECTRIC FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE ELECTRIC SPECIFICATIONS FOUND ON THE WEBSITE. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THIS DOCUMENT.

ZONING - PRD

UNIT TYPE	UNIT COUNT	MIN. LOT SIZE	FRONT SETBACK	INTERIOR SIDE SETBACK	EXTERIOR SIDE SETBACK	REAR SETBACK
TOWNHOMES (TRIPLEXES/QUADPLEXES)	22	120' X 21'	10'	10'	15'	35' W/ ALLEY
ROW HOMES (DETACHED)	32	120' X 41.5'	10'	6'	18.5'	35' W/ ALLEY
VERANDAS (DETACHED)	20	116' X 50'	20'	0' - 12'	15'	34'
VILLAS (DETACHED)	32	105' X 40'	20'	0' - 12'	20'	25'
COTTAGES (DUPLEXES)	12	100' X 35'	20'	10'	20'	20'

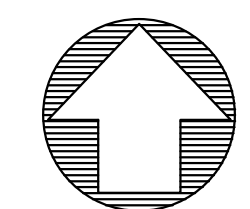
SITE NOTES:

- SIGN INSTALLATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED BY THE CITY OF BENTONVILLE. SIGNAGE SHALL MEET CURRENT REFLECTIVITY SPECIFICATIONS. ALL SIGNAGE SHALL CONFORM TO THE LATEST MUTCD REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR STRIPING INSTALLATION. ALL PAVEMENT ARROWS, STOP BARS, CROSS HATCHING, CROSSWALKS, STRIPING, AND OTHER PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE INSTRUCTED IN THE PROJECT SPECIFICATIONS.
- ALL CONCRETE AND ASPHALT PAVEMENT, CURB AND GUTTER, AGGREGATE BASE, ETC. SHALL BE IN ACCORDANCE WITH THE DETAIL SHEETS AND THE CITY OF BENTONVILLE STANDARDS AND SPECIFICATIONS. ANY CHANGES MUST BE APPROVED BY THE ARCHITECT, THE OWNER, AND THE ENGINEER.
- ALL SAW CUT EDGES SHALL BE A CLEAN EDGE. WIDTH OF ASPHALT / CURB REMOVAL MAY VARY: SEE PLANS. DISPOSE OF ALL REMOVED ASPHALT / CURB IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS FOR DISPOSAL.
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- ALL NEIGHBORHOOD SIGNAGE WILL REQUIRE A SEPARATE PERMIT.
- NOTHING SHALL BE PLACED OR PERMITTED BETWEEN 30" AND 60" IN HEIGHT IN THE SHADED SIGHT TRIANGLE AREAS.
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- REMOVE ALL VEGETATION AND TOPSOIL FROM PROPOSED AREAS TO BE DISTURBED AND STORE FOR LATER USE. REGRADE AND FURNISH ADDITIONAL TOPSOIL AS REQUIRED. SEED AND STRAW ALL AREAS DISTURBED BY CONSTRUCTION, UNLESS IDENTIFIED TO BE SOD.
- CONTRACTOR TO MAINTAIN EXISTING DRAINAGE PATTERN DURING CONSTRUCTION.
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SCALE 1" = 40 FEET

PP19-0005

	FOUND REBAR
	SET 1/2" REBAR W/CAP, LS 1370
	SANITARY SEWER MANHOLE
	FIRE HYDRANT
	WATER VALVE
	TELEPHONE RISER
	ELECTRIC METER
	ELECTRIC RISER
	GAS METER
	UTILITY POLE
	SIGN POST
	WATER LINE
	UNDGR TELEPHONE LINE
	SANITARY SEWER LINE
	OVERHEAD LINE
	WIRE FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	FLOWLINE
	EASEMENT LINE

	HEAVY DUTY ASPHALT PAVING
	CONCRETE PAVING
	SIGN, TYPE AS NOTED ON PLAN
	STREETLIGHT PER CITY OF BENTON
	CONCRETE CURB & GUTTER
	MODIFIED CURB & GUTTER
	EXTENT OF STREET IMPROVEMENTS

NOTE

ALL BUILDABLE LOTS WITHIN THE LIMITS OF AN EXISTING POND (LOTS 59, 60, & 61 THIS DEVELOPMENT) SHALL BE DESILTED AND FILLED WITH SUITABLE MATERIAL IN LIFTS PER A GEOTECHNICAL ENGINEER'S RECOMMENDATION. TESTING SHALL BE PERFORMED AND THE RESULTS SUBMITTED TO THE CITY PRIOR TO OBTAINING A BUILDING PERMIT FOR SAID LOTS.

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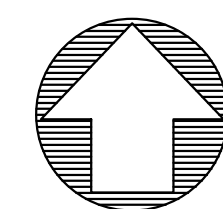
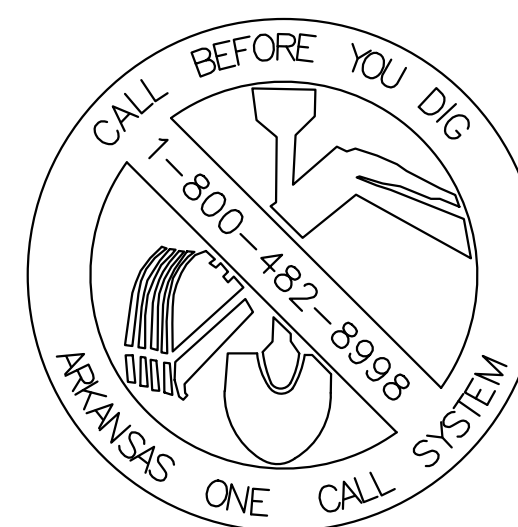
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