



**BOARD OF ADJUSTMENT
AGENDA
July 13th, 2022**

Registration Link: https://us06web.zoom.us/webinar/register/WN_E-paUE5ITmCGj2U_0JA7sw

- I. Call to Order**
- II. Approval of Minutes**
- III. Old Business**

IV. New Business

- 1. Jacobs Group– New Construction** **Variance***
807 SE 3rd Street ([VAR22-0028](#))
 - Rear Setback Variance
- 2. Daniel Hintz & Katie Misiewicz– New Construction** **Variance***
452 SW B Street ([VAR22-0029](#))
 - Side Setback Variance



BOARD OF ADJUSTMENT

Minutes
June 22nd, 2022

Registration Link: https://us06web.zoom.us/webinar/register/WN_X99hCw0vQxeK2zPsG6wIMg

I. Call to Order

- Meeting called to order at 4:00pm

II. Approval of Minutes

- Motion by Pearson to approve the minutes, seconded by Haynie
- Approved 5-0

III. Old Business

IV. New Business

1. Carter Real Estate Development LLC– New Construction

Variance*

903 SE 10th Street ([VAR22-0026](#))

- Appeal of Staff Interpretation Re: SEC 400.07 Sight Distance and Design Speeds
- Rick addresses project withdrawal notice. Asks audience if anyone is attending to discuss.
- Item withdrawn.

2. Mark and Karen Smith – New Construction

Variance*

3720 N Rainbow Farm Road ([VAR22-0027](#))

- Minimum Lot Area Variance
- Christopher reads staff report
- Rick abstains from vote due to project being represented by CEI
- Public hearing opened
- Brittany Gillen from CEI speaks
- Public hearing closed
- Approved 4-0

Motion by Rogers to adjourn the meeting, seconded by Haynie
Meeting adjourned



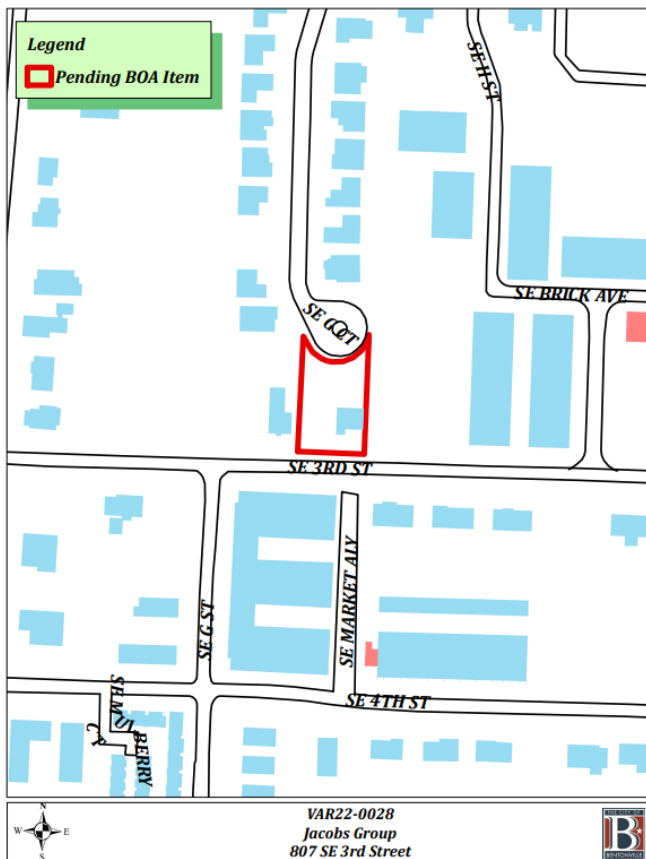
Jacobs Group

807 SE 3rd Street

BOA Date: 7/13/2022

Reviewer: Christopher Hyatt, Planning Technician

Project Number	VAR22-0028
Applicant / Current Owner	Jacobs Group
Site Area	+/- 0.36 Acres
Current Zoning	R-1, Low Density Single-Family Residential
Variance Request	Zoning Code Article: Section 401.07 (d)



Property Description

This property is located at 807 SE 3rd Street and is currently zoned R-1, Low Density Single-Family Residential.

Regulation

Zoning Code Article Section 401.07 (d) states that the minimum rear setback for properties zoned DN-1 is 25 feet and DN-3 is 25 feet.

Variance Request

The applicant is requesting a variance of 13.5 feet from the rear setback of 25 feet for the proposed northern, single family lot located on G Court and 13.5 feet from the rear setback of 25 feet for the proposed southern, rowhomes lot located on 3rd Street.

Background

According to the applicant's narrative, the dual variance request of a total of 27 feet will allow for residential development options for this property, creating urban living with the ability to walk and bike in the downtown area. If approved, the applicant plans to propose a lot split and rezoning to DN-1 for the side facing SE G Court and DN-3 for the side facing SE 3rd Street. This creates the need for a variance request between the two future lots.

Originally the applicant's request for a rezoning to DN-3 was approved by the Planning Commission on 2-15-22, however, when the rezoning request was sent to City Council, they sent the request back to Planning Commission for further consideration, upon which, the Planning Commission ultimately denied the DN-3 request.

In conclusion, the applicant feels this proposal is an attempt to satisfy both the housing needs for the City of Bentonville and the request of the single-family neighborhood to the north, as well as keeping with the character of the rapidly developing multi-family and mixed use area along SE 3rd Street.

Public Comment

Staff **HAS NOT** received public comment regarding this request.

Conditions of Approval

If approved, the following conditions shall apply:

1. The approved variance shall be for the proposed layout, as provided by the applicant within this application.
2. The applicant must obtain a building permit before construction begins.
3. The applicant shall submit a lot split request and rezoning request and receive approval from both Planning Commission and City Council.

Section 301.10.c, Standards of Approval, of the Zoning Code

Standards for approval. A variance from the terms of this chapter shall not be granted by the board of adjustment unless and until:

(1) The applicant demonstrates that:

- a. special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structure or buildings in the same district;
- b. that literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this chapter;
- c. that special conditions and circumstances do not result from the actions of the applicant; and,
- d. that granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, structures, or buildings in the same district.

(2) No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted or nonconforming use of lands, structures, or buildings in other districts shall be considered grounds for the issuance of a variance.

(3) The board of adjustment shall further make a finding that the reasons set forth in the application justify the granting of the variance and that the variance is the minimum variance that will make possible the reasonable use of land, building or structure.

(4) The board of adjustment shall further make a finding that the granting of the variance will be in harmony with the general purpose and intent of this chapter, and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

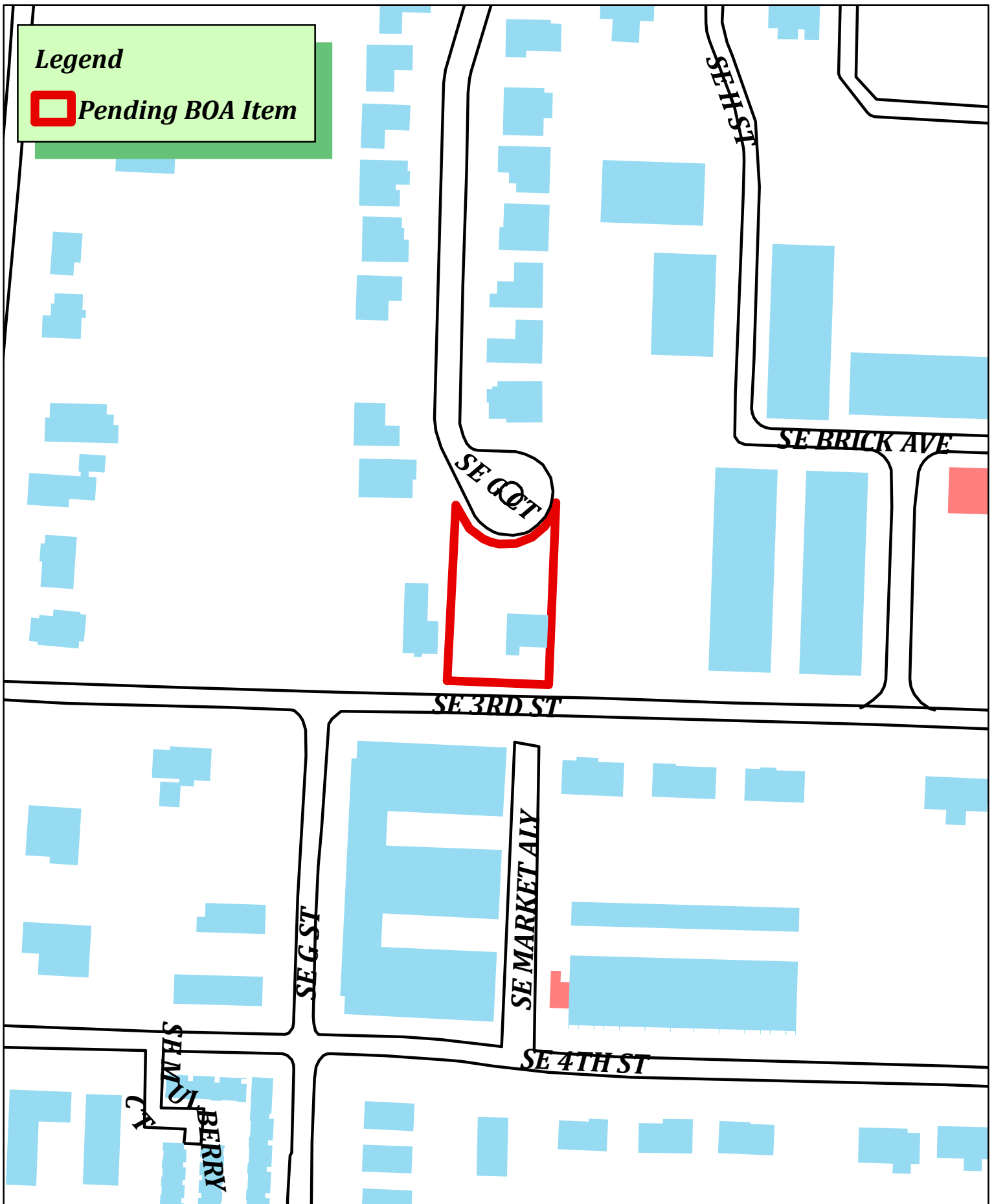
(5) *Conditions.* In granting any variance, the board of adjustment may prescribe appropriate conditions and safeguards that it deems necessary or desirable. Violations of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this chapter.

(6) *Uses.* Under no circumstances shall the board of adjustment grant a variance to allow a use not permissible under the terms of this chapter in the district involved, or any use expressly or by implication prohibited by the terms of this chapter in said district.

Legend



Pending BOA Item



VAR22-0028
Jacobs Group
807 SE 3rd Street

6-24-2022

City of Bentonville
305 SW A Street
Bentonville, Arkansas 72712

RE: 807 SE 3rd Street –Variance for Rear Setback via Board of Adjustment

Dear Board of Adjustment Staff,

We are requesting that the property located at **807 SE 3rd Street**, be granted a Rear Setback Variance of 15 feet.

Reason - The Variance request of 15 feet will allow residential development options for this property, creating urban living with the ability to walk and bike in the downtown area. If approved, we plan to propose a lot split, and rezoning to DN-1 (property facing SE G Court) and DN-3(property facing SE 3rd Street). The Variance request is compatible with existing land use patterns occurring on SE 3rd Street and surrounding area, while still being consistent with the properties on the SE G Court side.

Surrounding Properties – This area of downtown has great potential for infill and redevelopment. SE 3rd Street and the surrounded area is currently under construction for many residential projects.

Use - Residential

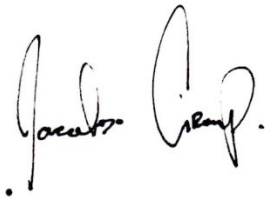
Utilities- Severed by 8” existing water and 8” sewer lines.

Traffic – Additional residential should not have impact on current traffic pattern

Signage – Per Code

Appearance - Contemporary – Brick and siding

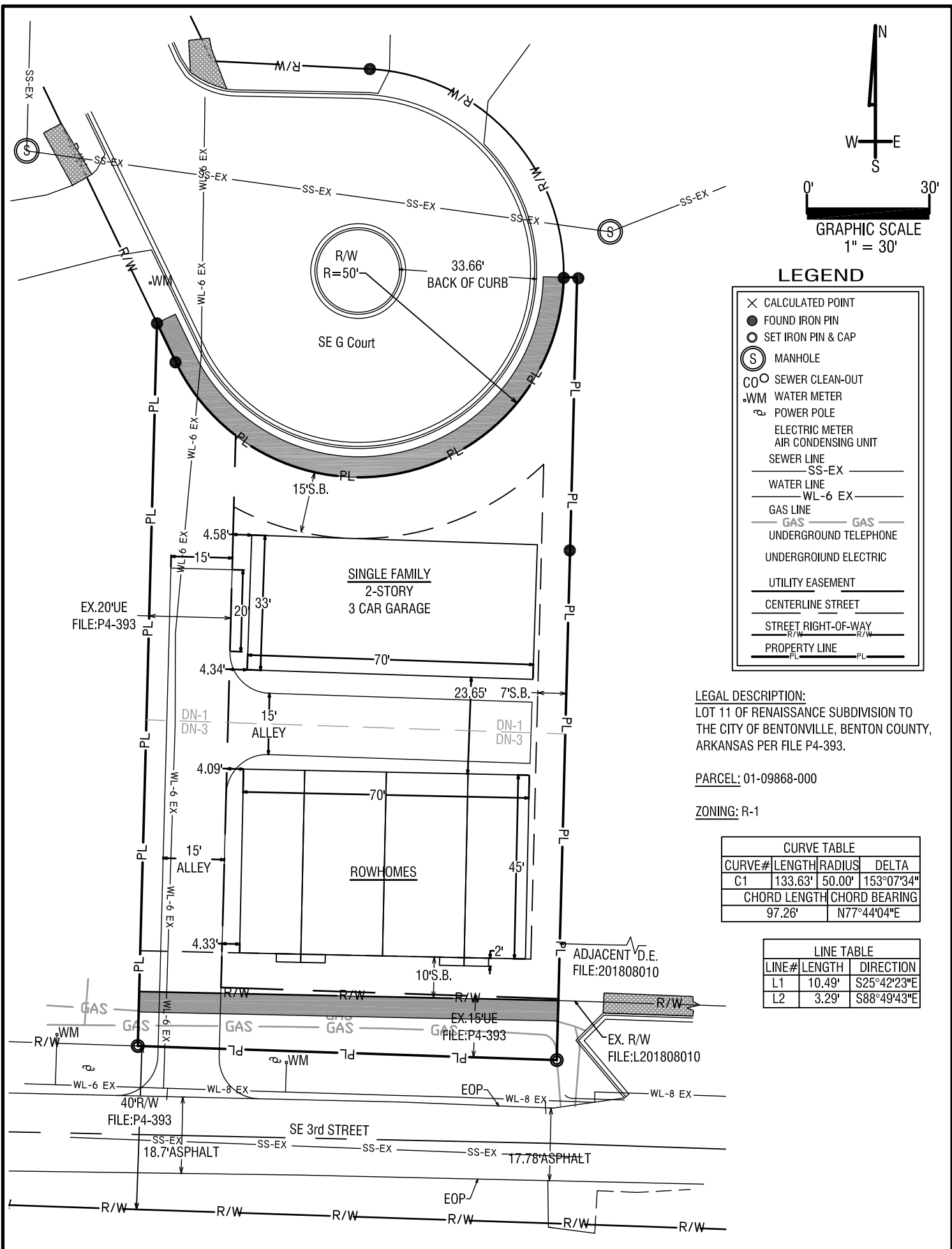
Sincerely,

A handwritten signature in black ink, appearing to read "Jacob Group". The signature is stylized with a large, looped "J" and a cursive "Group".

Jacobs Group

PO Box 1285

Bentonville, AR 72712



JORGENSEN
+ASSOCIATES
Civil Engineering + Surveying

124 W Sunbridge Drive, Suite 5
Fayetteville, AR 72703
Office: 479.442.9127
www.jorgensenassoc.com
Established 1985

124 WEST SUNBRIDGE, SUITE 5 • FAYETTEVILLE, ARKANSAS 72703 • (479) 442-9127 • FAX (479) 582-4807

SCALE: 1"=30'

DATE REVISED

CHECKED BY:

DRAWN BY: PMM

DATE: 25JAN22

DLJ

Z:\LOTS\2022008\SURVEY

BOUNDARY SURVEY

807 SE 3rd STREET, BENTONVILLE, AR



Hintz Residence

452 SW B Street

BOA Date: 7/13/2022

Reviewer: Luke Aitken, Planning Technician

Project Number	VAR22-0029
Applicant / Current Owner	Daniel Hintz
Site Area	+/- 0.16 Acres
Current Zoning	D-E, Downtown Edge
Variance Request	Zoning Code Article: Section 401.07 (c) (1)

Property Description

This property is located at 452 SW B Street and is currently zoned D-E, Downtown Edge.

Regulation

According to Zoning Code Article Section 401.07 (c) (1), with DE zoning, this property is subject to a minimum 7-foot side setback.

Variance Request

The applicant is requesting a variance of 11.5 inches from the minimum 7-foot side setback requirement.

Background

According to the applicant's narrative, they are requesting a variance to allow a new carport and deck structure to extend 11.5 Inches beyond the south side setback of 7 feet. This would allow a fenced bike locker to be built within the side setback area beneath the carport structure. According to the applicant, the existing structures on this lot currently extend past the 7 foot setback on both sides.

The intent of the carport is to serve the Airbnb unit above the attached garage and will be located directly above the existing concrete slab along the southern property line. The size of the carport makes use of the existing driveway while maximizing vehicle parking space. The structure of the bike locker will consist of chain-link fencing and metal panels, it will have a fence like appearance and will be for security purposes only. The applicant states maximizing the width of the carport area will facilitate parking larger vehicles such as vans and trucks which are frequently used by the mountain biking community. The applicant's goal is to provide an amenity that will draw visitors to downtown Bentonville.

The applicant concludes that a literal interpretation of this 7-foot side setback will restrict and limit their abilities to provide semi-covered parking and a secure bike storage area for Airbnb guests.

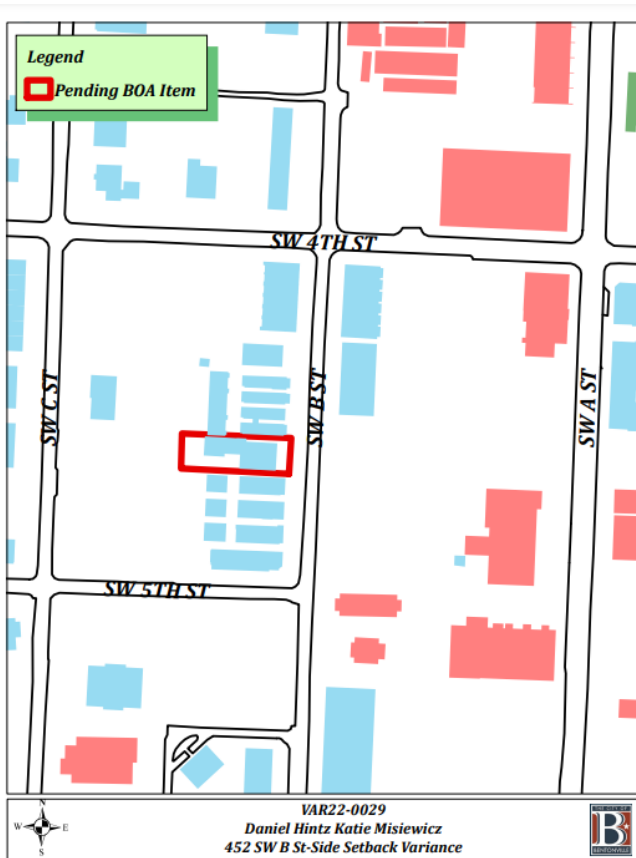
Public Comment

Staff **HAS NOT** received public comment regarding this request.

Conditions of Approval

If approved, the following conditions shall apply:

1. The approved variance shall be for the proposed layout, as provided by the applicant within this application.
2. The applicant must obtain a building permit before construction begins.



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- b. that literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this chapter;
- c. that special conditions and circumstances do not result from the actions of the applicant; and,
- d. that granting the variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands, structures, or buildings in the same district.

(2) No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted or nonconforming use of lands, structures, or buildings in other districts shall be considered grounds for the issuance of a variance.

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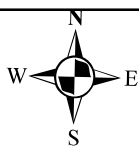
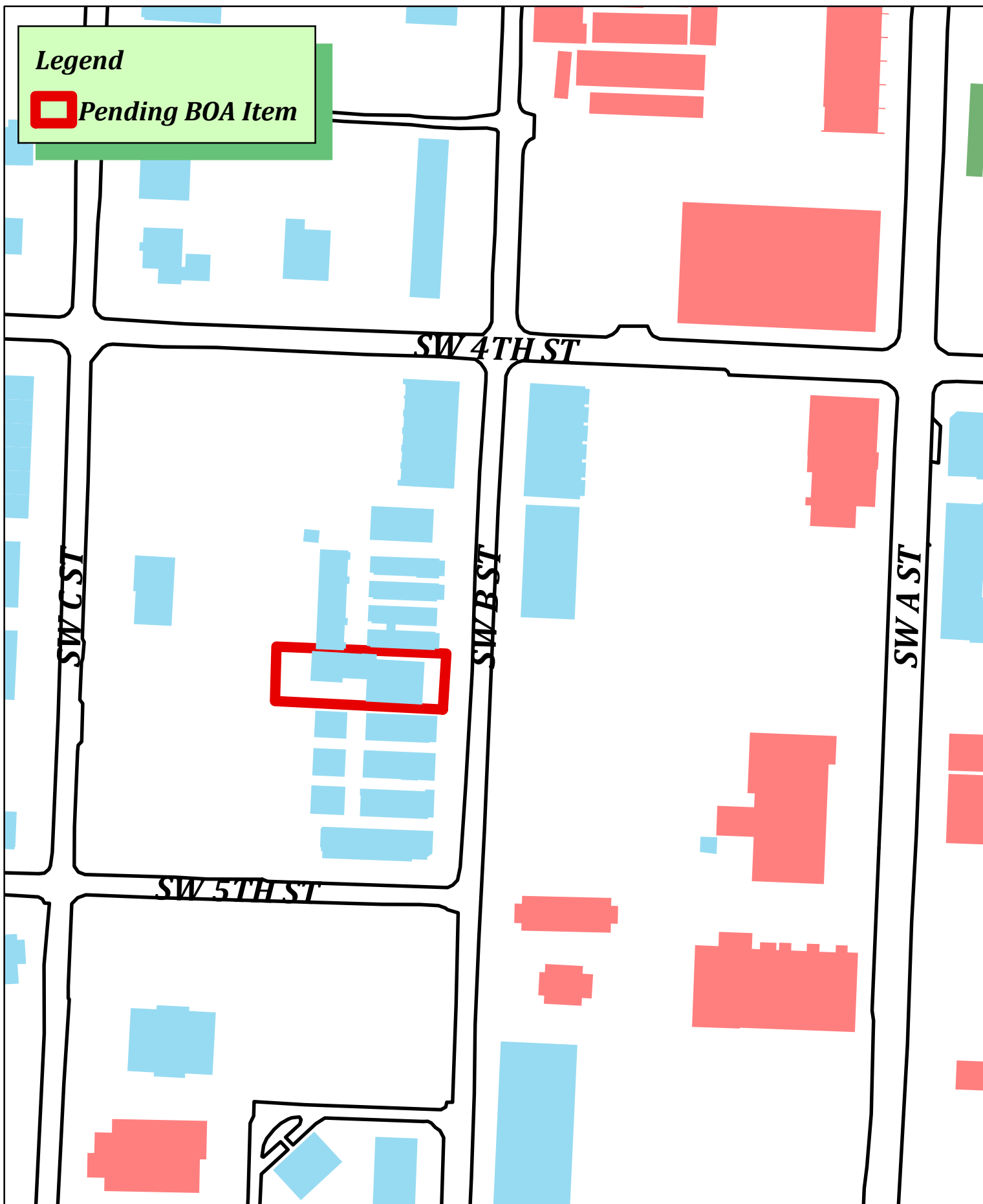
(4) The board of adjustment shall further make a finding that the granting of the variance will be in harmony with the general purpose and intent of this chapter, and will not be injurious to the neighborhood or otherwise detrimental to the public welfare.

(5) *Conditions.* In granting any variance, the board of adjustment may prescribe appropriate conditions and safeguards that it deems necessary or desirable. Violations of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this chapter.

(6) *Uses.* Under no circumstances shall the board of adjustment grant a variance to allow a use not permissible under the terms of this chapter in the district involved, or any use expressly or by implication prohibited by the terms of this chapter in said district.

Legend

 Pending BOA Item



VAR22-0029

***Daniel Hintz Katie Misiewicz
452 SW B St-Side Setback Variance***



1 INCH = 30 FEET

BASIS OF BEARINGS: ARKANSAS-NORTH STATE PLANE GRID

STATE OF ARKANSAS

COUNTY OF Benton

SWORN TO AND SUBSCRIBED BEFORE ME THIS 26 DAY

OF Jan 2015.

Sarah McKinney
NOTARY PUBLIC SIGNATURE

OFFICIAL SEAL
SARAH MCKINNEY
NOTARY PUBLIC, ARKANSAS
BENTON COUNTY
COMMISSION # 12363120
COMMISSION EXP. 10/15/2017

01-04095-000
LEWIS, STEPHANIE
PO BOX 4
BENTONVILLE AR 72712
ZONED R-1

01-04096-000
GAGE, PATRICIA A
405 SW C ST
BENTONVILLE AR 72712
ZONED R-1

01-04097-000
WHORTON, A G & MABEL L
TRUSTEES
407 SW C ST
BENTONVILLE AR 72712
ZONED R-1

01-02451-000
WHORTON, A G & MABEL L
TRUSTEES
407 SW C ST
BENTONVILLE AR 72712
ZONED R-1

CERTIFICATE OF OWNERSHIP

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____

SIGNED: _____

DANIEL M HINTZ & KASSIE M MISIEWICZ
404 SW B STREET, BENTONVILLE, AR 72712

SOURCE OF TITLE: W.D. BOOK 2012, PAGE 6279

CERTIFICATE OF OWNERSHIP

WE THE UNDERSIGNED, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT, SUBDIVIDE SAID REAL ESTATE IN ACCORDANCE WITH THIS PLAT AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC THE STREETS, ALLEYS, DRIVES, EASEMENTS, ETC. AS SHOWN ON SAID PLAT.

DATE OF EXECUTION: _____

SIGNED: _____

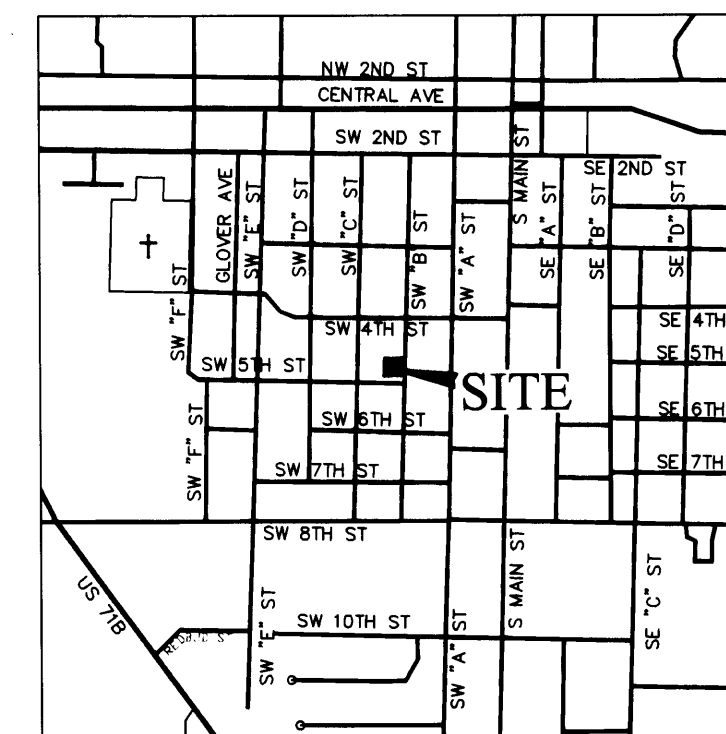
JAKE NEWELL, BIKE RACK REDEVELOPMENT LLC
102 NE LARKSPUR LANE, BENTONVILLE, AR 72712

SOURCE OF TITLE: W.D. BOOK 2013, PAGE 68158

Legend:

- Found Iron Pin
- Set Iron Pin
- ▲ Found Rail Road Rail
- x Fence
- Power Pole
- ⊗ Gas Meter
- ⊗ Water Meter
- Easement

NOTE: SIDEWALKS SHALL BE THE RESPONSIBILITY OF THE BUILDER/OWNER AT TIME OF BUILDING PERMIT ISSUANCE



VICINITY MAP
N.T.S.

PARENT TRACT DEED DESCRIPTION (BOOK 2001, PAGE 6279):

LOT 6 AND THE SOUTH 32 1/2 FEET OF LOT 5, BLOCK 2, T.J. HOLLAND'S SUBDIVISION, TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS.

LOT 9 DESCRIPTION:

PART OF LOT 6 AND PART OF LOT 5, BLOCK 2, T.J. HOLLAND'S SUBDIVISION, TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS AS SHOWN IN PLAT BOOK 31, PAGE 197 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND REBAR AT THE SOUTHWEST CORNER OF SAID LOT 6 THENCE N 02°29'46" E 35.19 FEET TO THE POINT OF BEGINNING, THENCE N 02°29'46" E 47.85 FEET TO A FOUND REBAR, THENCE S 87°33'37" E 147.75 FEET, THENCE S 02°48'55" W 47.80 FEET, THENCE N 87°34'50" W 147.49 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.16 ACRES AND SUBJECT TO ANY AND ALL EASEMENTS OF RECORD OR FACT.

LOT 10 DESCRIPTION:

PART OF LOT 6 AND PART OF LOT 5, BLOCK 2, T.J. HOLLAND'S SUBDIVISION, TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS AS SHOWN IN PLAT BOOK 31, PAGE 197 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND REBAR AT THE SOUTHWEST CORNER OF SAID LOT 6 THENCE N 02°29'46" E 3.19 FEET TO THE POINT OF BEGINNING THENCE N 02°28'46" E 32.00 FEET, THENCE S 87°34'50" E 147.49 FEET, THENCE S 02°48'55" W 32.00 FEET, THENCE N 87°34'50" W 147.31 FEET, TO THE POINT OF BEGINNING AND CONTAINING 0.11 ACRES AND SUBJECT TO ANY AND ALL EASEMENTS OF RECORD OR FACT.

PARENT TRACT DEED DESCRIPTION (BOOK 2013, PAGE 68158):

LOT 7, BLOCK 2, HOLLANDS ADDITION (A/K/A T J HOLLANDS ADDITION), CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS, AS SHOWN IN PLAT BOOK 31, PAGE 197.

LOT 11 DESCRIPTION:

PART OF LOT 7 AND PART OF LOT 6, BLOCK 2, T.J. HOLLAND'S SUBDIVISION, TO THE CITY OF BENTONVILLE, BENTON COUNTY, ARKANSAS AS SHOWN IN PLAT BOOK 31, PAGE 197 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND REBAR AT THE NORTHWEST CORNER OF SAID LOT 7 THENCE N 02°29'46" E 3.19 FEET, THENCE S 87°34'50" E 147.31 FEET, THENCE S 02°48'55" W 66.19 FEET, THENCE N 87°32'32" W 146.84 FEET, THENCE N 02°24'10" E 62.91 FEET, TO THE POINT OF BEGINNING AND CONTAINING 0.22 ACRES AND SUBJECT TO ANY AND ALL EASEMENTS OF RECORD OR FACT.

CERTIFICATE OF APPROVAL

PURSUANT TO THE BENTONVILLE SUBDIVISION REGULATIONS AND ALL OTHER CONDITIONS AND APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED. THIS CERTIFICATE IS HEREBY EXECUTED UNDER THE AUTHORITY OF THE SAID RULES AND REGULATIONS.

DATE OF EXECUTION: _____

Bob McCaslin
BENTONVILLE PLANNING COMMISSION CHAIR
MAYOR, CITY OF BENTONVILLE
Shirley Spence
CITY CLERK, CITY OF BENTONVILLE

Brenda DeShields-Circuit Clerk
Benton County, AR
Book/Pg: 2015/80
Term/Cashier: CASH/Jimmy Bennett
02/05/2015 2:31:14PM
Iran: 318463
Total Fees: \$15.00

Book 2015 Page 80
Recorded in the Above
PLAT Book & Page
02/05/2015

CITY ATLAS PAGE 403

PROPERTY LINE ADJUSTMENT FOR:

T.J. HOLLAND'S SUBDIVISION LOTS 6, 7 & PART OF 5, BLOCK 2 TO BE KNOWN AS LOTS 9, 10 & 11, BLOCK 2

SURVEY 1, INC.

2620 Melody Lane, Springdale, Arkansas 72762
TEL 479-750-1608 FAX 479-750-1629

Gene E. Buescher R.L.S. #1181

REV. 4 1/15/15

W.O. 14216

DRAWN BY: GN

DATE: DEC 1, 2014

SETBACKS, ZONE DE:

FRONT-
NONRESIDENTIAL: 0' MAX
RESIDENTIAL: 0' MAX

SIDE: 6' MIN

REAR-
ADJACENT TO NON-RESIDENTIAL ZONES: 6' MIN
ADJACENT TO RESIDENTIAL ZONES AND BUILDING HEIGHT <20': 6' MIN
ADJACENT TO RESIDENTIAL ZONES AND BUILDING HEIGHT >20': 12' MIN

HEIGHT REQUIREMENTS:

MINIMUM: NONE
MAXIMUM: 60'

ENCROACHMENT REQUIREMENTS:

HEIGHT CLEARANCE: 8' MIN
SETBACK-PRIMARY STREET: 4' MIN
SETBACK-SECONDARY STREET: 6' MIN

LINE	BEARING	DISTANCE
L1	N 87°32'32" W	6.00'

THIS PROPERTY IS NOT IN THE 100 YEAR FLOOD ZONE ACCORDING TO F.E.M.A. MAP 05007C0255K, DATED JUNE 5, 2012.

THIS SURVEY WAS COMPLETED JANUARY 23, 2014 AND IS FOR THE SOLE USE OF THE PARTY STATED HEREON.

CERTIFICATE OF SURVEYING ACCURACY

I, GENE BUESCHER, HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A BOUNDARY SURVEY MADE BY ME AND BOUNDARY MARKERS AND LOT CORNERS SHOWN HEREON ACTUALLY EXIST AND THEIR LOCATION, TYPE AND MATERIAL ARE CORRECTLY SHOWN AND ALL MINIMUM REQUIREMENTS OF THE ARKANSAS MINIMUM STANDARDS FOR LAND SURVEYORS HAVE BEEN MET.

DATE: 1-27-15

SIGNED: *Gene E. Buescher*
ARKANSAS LS #1181



500-20N-30W-0-31-130-04-1181

This drawing is an instrument of service and is the sole property of Verdant Studio, LLC. Any use of this drawing without written consent by Verdant Studio, LLC is prohibited. The architect shall not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work, for acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents. Drawing shall be included as for reference only and are not to be used for construction purposes. The General Contractor shall be responsible for obtaining all necessary permits and for the safety of the construction site. The architect shall not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work, for acts or omissions of the contractor, subcontractors or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents. Drawing shall be included as for reference only and are not to be used for construction purposes.

HINTZ RESIDENCE

CAR PORT & DECK

452 SW B ST., BENTONVILLE, AR 72712



ABBREVIATIONS LIST			
A		E	
AB	Anchor Bolt	EA	Each
ABV	Above	EFIS	Ext. Insul. and Fin. System
A/C	Air Conditioning(er)	EJ	Expansion Joint
AD	Area Drain	ELEC	Electric(al)
ADJUST	Adjustable	ELEV	Elevation
AFF	Above Finished Floor	EQ	Equal
ALT	Alternative	EQUIP	Equipment
APPROX	Approximate	ETR	Existing to Remain
ARCH	Architect(ural)	EXG	Existing
		EXT	Exterior
		EW	Each Way
B		F	
BD	Board	FAC FIN	Factory Finish
BIT	Bitumen	FAS	Paster(er)
BLDG	Building	FBO	Furnished By Others
BLK	Block	FD	Floor Drain
BLKG	Blocking	FE	Fire Extinguisher
BM	Beam	FF	Finish Floor
BOT	Bottom	FIN	Finish(ed)
BRK	Brick	FIX	Fixture
		FLASH	Flashing
C		FLR	Flooring
CAB	Cabinet	FOUND	Foundation
CC	Center to Center	FP	Fireproof(ing)
CF	Cubic Foot	FTG	Footing
CJ	Control Joint	FR	Fire Rate(d)(ing)
CL	Closet	FRM	Frame(d)(ing)
CLG	Ceiling	FURR	Furring(ed)
CLR	Clear(ance)	FV	Field Verify
CMU	Concrete Masonry Unit		
COL	Column	G	
CONC	Concrete	GA	Gauge
CONST	Construction	GALV	Galvanized
CONT	Continuous	GC	General Contractor
COR	Corridor	GL	Glass or Glazing
CPT	Carpet	GYP BD	Gypsum Board
CRS	Course/Coursing		
CT	Ceramic Tile	H	
CTR	Center	HB	Hose Bib
CW	Cold Water	HC	Hollow Core
CY	Cubic Yard	HDWD	Hardwood
D		HDWR	Hardware
DEMO	Demolish/Demolition	HW	Hollow Metal
DH	Double Hung	HORIZ	Horizontal
DIM	Dimension	HT	Height
DIV	Division	HVAC	Heating, Ventilation
DL	Dead Load	HWC	& Air-Conditioning
DR	Door		Hot Water
DS	Down Spout	I	
DTL	Detail	INSUL	Insulate(d)(ation)
DWG	Drawing(s)	INT	Interior
DWR	Drawer		

INDEX TO DRAWINGS			
SHEET	SHEET TITLE	ISSUE	REVIS...
COVER SHEET			
G-001	COVER SHEET		
SITE PLANS			
A-101	SITE PLAN		
FLOOR PLANS			
A-201	PLANS & EXTERIOR ELEVATIONS		
A-202	DETAILS		

GENERAL REQUIREMENTS

1. THE GENERAL REQUIREMENTS OF THE CONTRACT FOR CONSTRUCTION ARE HERE IN MAKE PART OF CONTRACT DOCUMENTS.
2. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODE, REGULATIONS, AND ORDINANCES HAVING JURISDICTION.
3. ALL CONSTRUCTION SHALL CONFORM TO STANDARD BUILDING INDUSTRY STANDARDS AND SPECIFICATIONS.
4. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES.
5. NO DEFECTIVE WORK IN WORKMANSHIP, QUALITY OR DEFICIENT IN ANY OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE ARCHITECTS FAILURE TO DISCOVER OR IDENTIFY DEFECTS OR DEFICIENCIES DURING THE COURSE OF CONSTRUCTION. DEFECTIVE WORK DISCOVERED WITHIN THE TIME PERIOD OF THE CONTRACTOR GUARANTEE PERIOD SHALL BE REPLACED OR CORRECTED AS IS ACCEPTABLE TO THE OWNER. NO PAYMENT WHETHER PARTIAL OR FINAL SHALL BE CONSTRUED AS AN ACCEPTANCE OF ANY DEFECTIVE WORK.
6. NOT ALL CONDITIONS MAY BE SHOWN IN DETAILS. CONTRACTOR SHALL PROVIDE INSTALLATIONS WHICH ARE IN CONFORMANCE WITH TYPICAL DETAILS FOR ATYPICAL CONDITIONS. TYPICAL DETAILS SHALL BE CONSTRUED TO PERTAIN TO ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
7. OMISSIONS OR CONFLICTS IN THE DRAWINGS OR OWNER SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND OWNER. THE ARCHITECT AND OWNER SHALL BE ADVISED PRIOR TO PROCEEDING WITH THE WORK.
8. BEFORE PERFORMING ANY WORK OR ORDERING ANY MATERIAL, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS. ANY DIFFERENCES SHALL BE SUBMITTED TO THE ARCHITECT & OWNER FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.
9. THE WORD "WALL" AND "PARTITION" ARE USED INTERCHANGEABLY IN THESE DOCUMENTS.
10. "TYPICAL" OR "TYP." IS DEFINED AS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
11. "SIMILAR" OR "SIM." IS DEFINED AS COMPARABLE CHARACTERISTICS TO THE CONDITION NOTED.
12. "FIELD VERIFY" "F.V." OR "FV" IS DEFINED AS A INSTANCE WHERE THE CONTRACTOR IS TO VERIFY DIMENSIONS OR CONDITIONS IN THE FIELD BEFORE PROCEEDING WITH WORK.
13. ALL MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS, UNLESS A HIGHER QUALITY/METHOD OF INSTALLATION HAS BEEN INDICATED WHICH DOES NOT AFFECT THE PRODUCTS WARRANTY, UL LISTING, OR EFFECTIVENESS.
14. THERE SHOULD BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED, UNLESS APPROVED OTHERWISE BY THE ARCHITECT/OWNER. WHERE THE TERM "OR EQUAL" IS USED, THE ARCHITECT & OWNER SHALL DETERMINE IF SUBMITTED MATERIAL/PRODUCT IS "EQUAL". CONTRACTOR TO SUBMIT INFORMATION FOR BOTH INDICATED PRODUCT AND THE SUBSTITUTED PRODUCT WITH A LINE BY LINE COMPARISON IF REQUIRED BY THE ARCHITECT.
15. ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL HAVE A DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL BE REQUIRED TO BE FIELD TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER AND THEIR CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION WILL NEED TO BE SUBMITTED AND APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
16. EQUIPMENT INSTALLATION MAY REQUIRE SEPARATE PERMITS: PROVIDE CALCULATIONS AND ANCHORAGE DETAILS FOR ALL EQUIPMENT WEIGHING 400 LBS. OR MORE. NOTE THAT EQUIPMENT AT ANY WEIGHT MOUNTED AT MORE THAN 4 FEET ABOVE FLOOR HEIGHT SHALL BE PROVIDED WITH ANCHORAGE (ASCE 7-05 SEC. 13.1.4)
17. REFLECTED CEILING PLANS/ELECTRICAL PLANS: THE CONTRACTOR SHALL COORDINATE ANY AND ALL MECHANICAL, ELECTRICAL, COMMUNICATIONS, PLUMBING, AND STRUCTURE THAT ARE REQUIRED FOR CLEARANCES INDICATED ON THE DRAWINGS.
18. THE DESIGN WORK DOES NOT INCLUDE STRUCTURAL & ENGINEERING DESIGN. ALL REMARKS REGARDING STRUCTURAL ELEMENTS ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY SIZING, CONNECTION, AND LOCATION WITH A LICENSED STRUCTURAL ENGINEER, IN THE JURISDICTION.
19. ALL DIMENSIONS ARE TO NEW-FRAMED WALL FINISHES AS INDICATED. DIMENSIONS TO EXISTING WALL ARE TO FINISH MATERIALS AS INDICATED. CONTACT ARCHITECT IMMEDIATELY IF DISCREPANCY ARISES.
20. STUD WALLS TO BE 3 1/2" SOUTHERN YELLOW PINE STUDS OR DOUGLAS FIR @ 16" O.C. UNLESS OTHERWISE NOTED.
21. PROVIDE 5 1/2" SOUTHERN YELLOW PINE STUDS OR DOUGLAS FIR @ ALL TOILET LOCATIONS AND OTHER LOCATIONS IF NOTED ON PLANS. ALL WALLS 12" OR HIGHER MUST BE 5 1/2" GYP OR DF.
22. ALL EXTERIOR JOINTS BETWEEN DISSIMILAR MATERIALS TO BE SEALED.
23. ALL DISSIMILAR INTERIOR FINISHES TO BE CAULKED.
24. DO NOT DRILL OR CUT HOLES IN THE CONCRETE SLAB WITHOUT CONSULTING ARCHITECT OR OWNER.
25. DIMENSIONS SHOWN ON CONSTRUCTION DOCUMENTS. DRAWINGS ARE NOT TO BE SCALED.



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Rogers, Arkansas 72756
www.verdant-studio.com

HINTZ RESIDENCE CAR PORT & OUTDOOR DECK

452 SW B St.
Bentonville, AR 72712

PERMIT SET 5.17.22

CLIENT CONTACT INFO:

**DANIEL HINTZ & KASSIE
MISIEWICZ**

452 SW B St.
Bentonville, AR 72712

PERMIT SET 5.17.22
REV. 1 - PERMIT SET 6.14.22

PROJECT NO: ARP-22-017

DRAWN BY: AC

CHECKED BY: WS

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COVER SHEET

G-001

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SITE LEGEND

PROPERTY LINE

SETBACK LINE

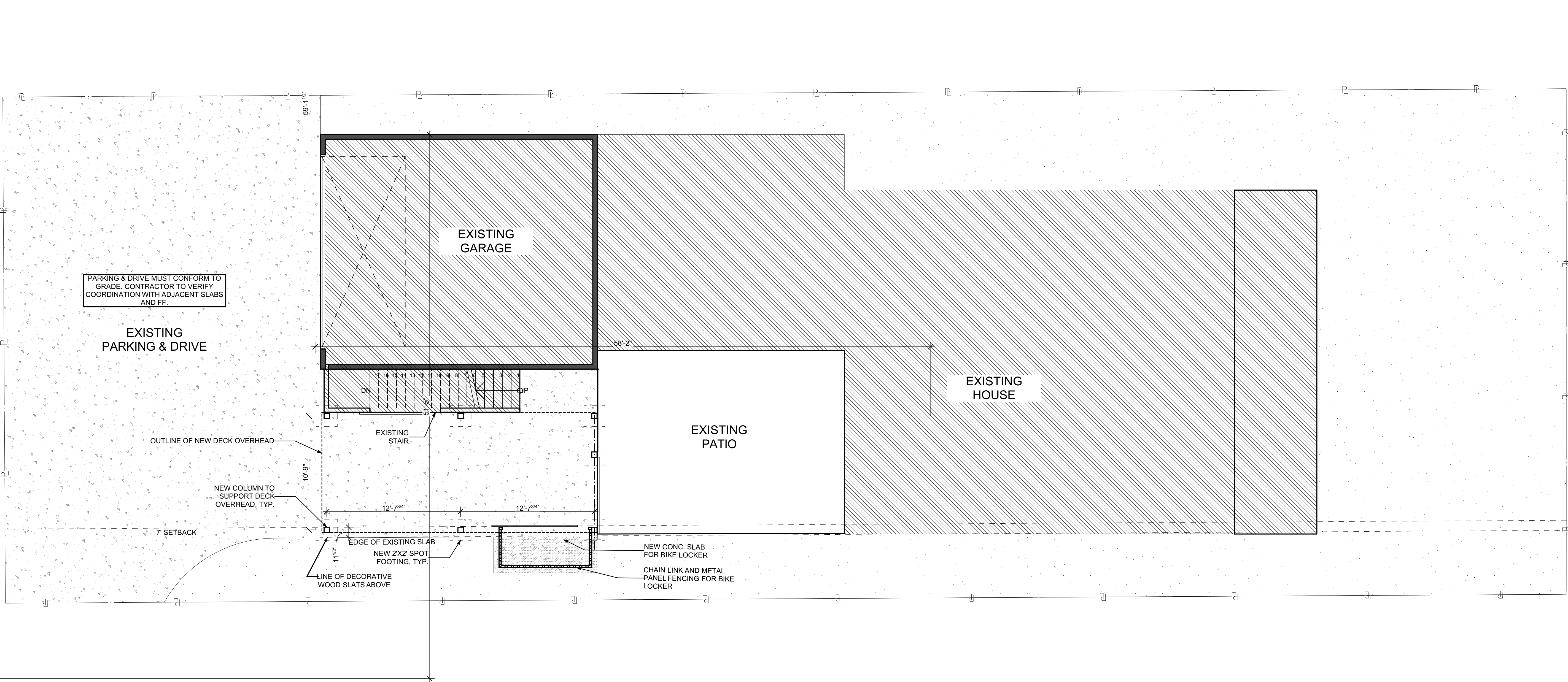
PAVING

GRASS

EXISTING

GENERAL NOTES:

1. SITE BOUNDARY INFORMATION IS PROVIDED BY OTHERS. VERIFY OVERALL DIMENSIONS BEFORE CONSTRUCTION.
2. LANDSCAPING DESIGN PROVIDED BY OTHERS. PLANTINGS ARE REPRESENTATIONAL ONLY.
3. THE ARCHITECT DOES NOT HAVE ACCESS TO GRADING INFORMATION. CONTRACTOR IS RESPONSIBLE TO VERIFY THAT SITE CONDITIONS MEET NECESSARY GRADING AND DRAINAGE REQUIREMENTS. ANY ADJUSTMENT TO THE LOCATION OF THE BUILDING TO BE APPROVED BY ARCHITECT.



1 SITE PLAN
SCALE: 1" = 6'



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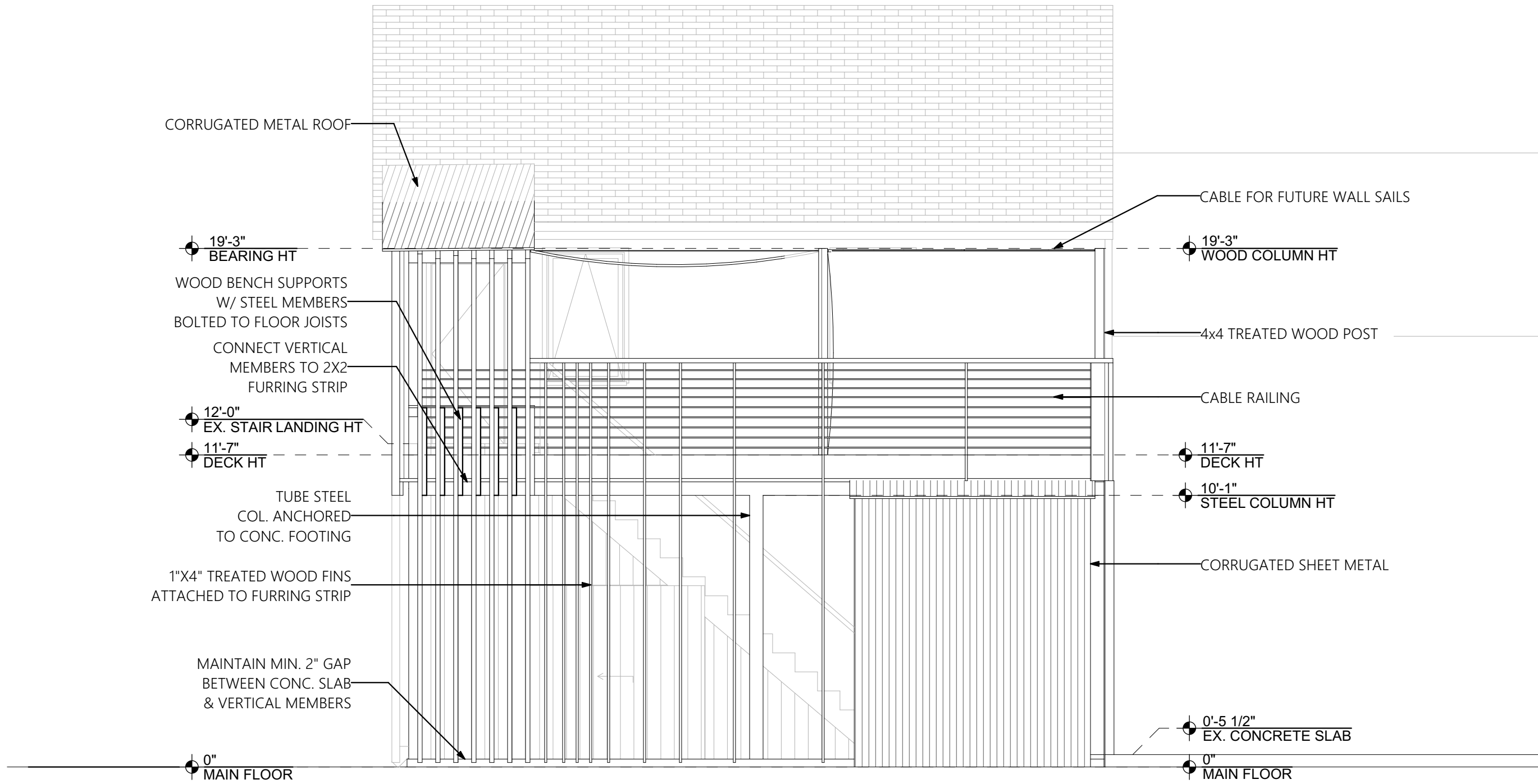
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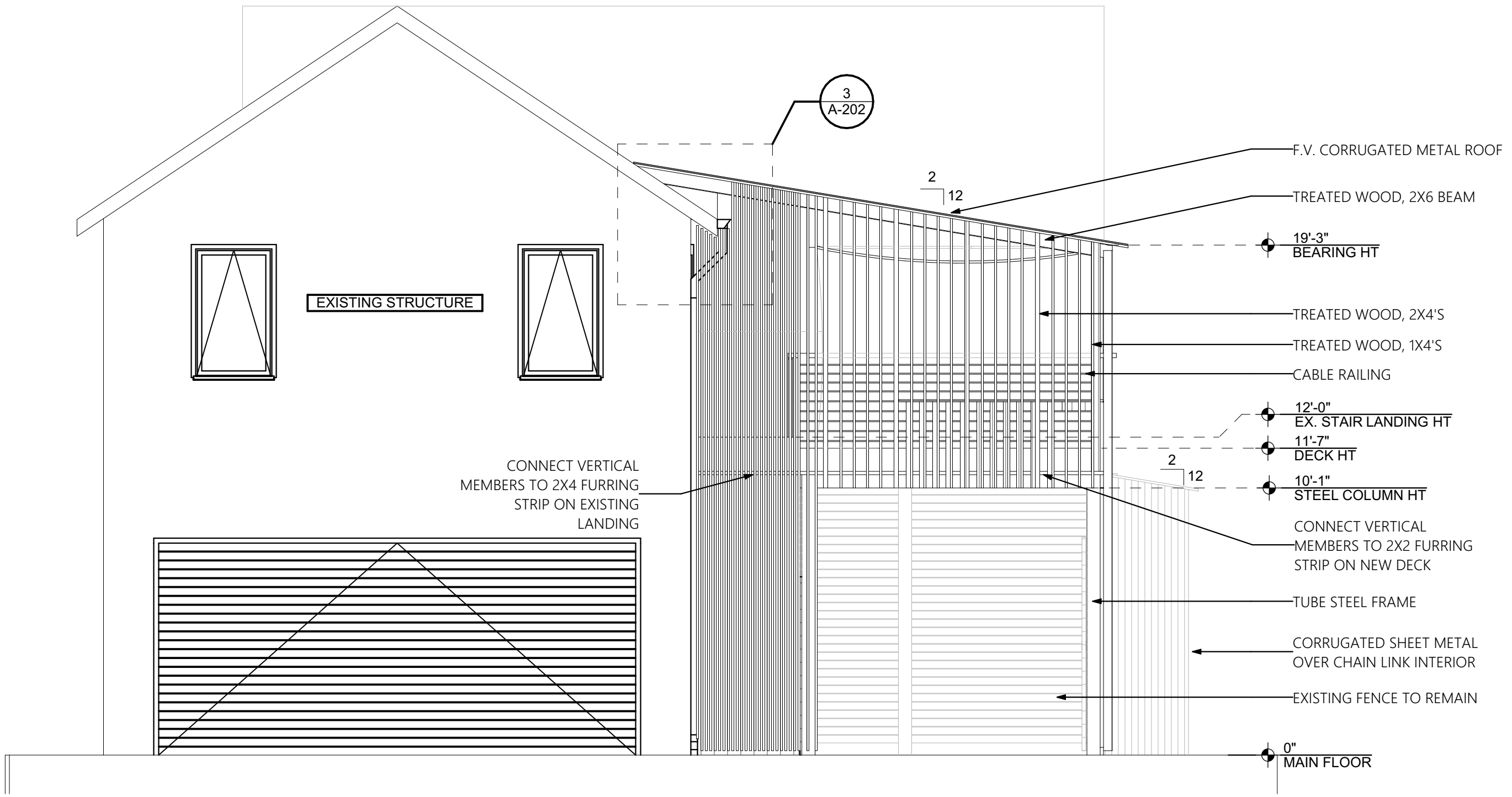
SITE PLAN

A-101

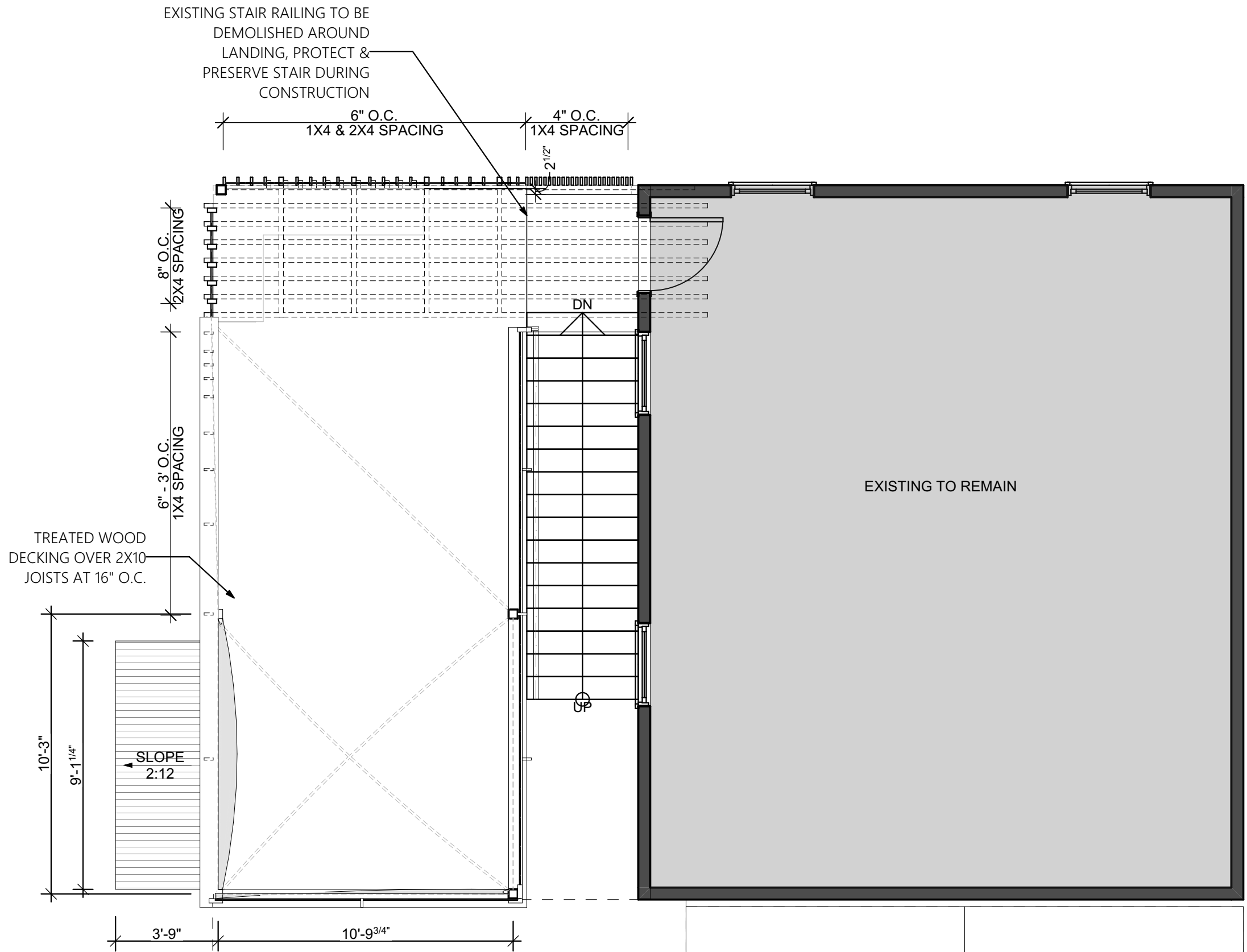
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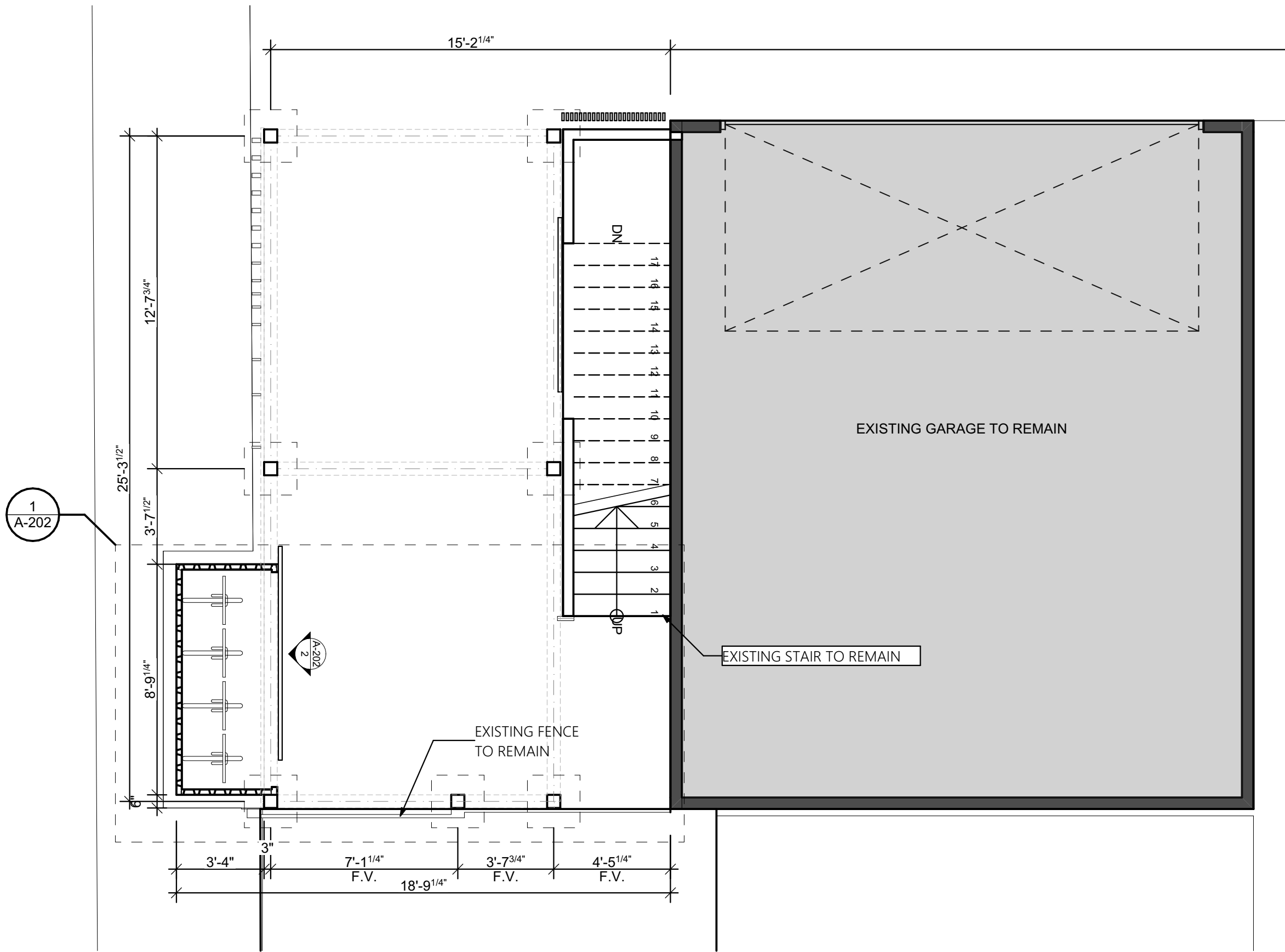
④ SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



② WEST ELEVATION
SCALE: 1/4" = 1'-0"



③ SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



① MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



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PLANS & EXTERIOR
ELEVATIONS

A-201

June 24, 2022

**Variance Application Narrative
RE: 452 SW B Street, Bentonville AR**

The owners, Daniel Hintz and Kassie Misiewicz, of 452 SW B Street, respectfully request a variance to allow a new carport/deck structure to extend 11.5" beyond the south side setback line and to allow a fenced bike locker to be built within the side setback area. The variance is requested for the following reasons:

- The carport will be located directly above the existing concrete slab. The size of the carport makes use of the existing driveway without adding impervious area while maximizing vehicle parking space.
- The intent of the carport is to serve the Airbnb unit above the garage. Maximizing the width in the carport area will facilitate larger vehicles such as vans and trucks which are frequently used by the mountain biking community. The goal is to provide an amenity that will draw visitors to the Downtown Edge district.
- The urban scale & aesthetic of the new carport/deck matches existing buildings in the district and on this street and alley. The existing structures on this lot currently extend past the 7' setback on both sides.
- A literal interpretation of the 7' setback will restrict and limit the abilities of the owner to provide semi-covered parking and a secure bike storage area for Airbnb guests.
- The structure of the bike locker consisting of chain-link fencing and metal panels is most like a fence and for security purposes only. As such, it is appropriately located within the side setback area.